

**MEETING DATE: 01-10-19**

# **PLANNING COMMISSION**

**Case No. P19-01  
520 E. Smith Road**



**CITY of MEDINA**  
**Planning Commission**  
**January 10, 2019 Meeting**

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**Case No:** P19-01

**Address:** 520 E. Smith Road

**Applicant:** Janel Strelau

**Subject:** Site Plan Review – parking lot expansion

**Zoning:** C-S, Commercial Service District

**Submitted by:** Jonathan Mendel, Community Development Director 

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**Site Location:**

The subject site is located on the south side of the 520 block of E. Smith Road.

**Project Introduction:**

The applicant seeks Site Plan approval to expand the existing 6 space parking area to 16 spaces. The parking area will serve a proposed salon business.

Please find attached to this report:

1. Proposed project description and site plans received December 19 & 20, 2018
2. Aerial photo map

**Site Plan and Improvement Plan Review:**

**Design Review Guidelines – Section 1109.04(C)(14)**

Approaches, drives and parking areas shall be of appropriate size and scale in relation to the appearance of the proposed development from public rights-of-way, adjacent property and the internal portion of the site itself. Such appropriate scale shall be achieved by the width of approaches and drives, by having adequate but not excessive parking, and by using landscaping within large parking areas. Curbing and adequate landscaping shall be provided between driveway aprons.

The proposed parking expansion complies with the minimum parking area design requirements and the applicable Site Plan design guidelines.

**Parking Standards:**

Section 1145.04(a) of the Zoning Code requires 1 parking space per 300 sqft of floor area for a salon. The proposed salon occupies 1,300 sqft of the existing building's ground floor. Therefore, 4 parking spaces are required and 16 are being provided leaving a 12 space surplus.

**Site Lighting:**

Parking lot lighting is required for this expansion, but is not included in this application. It will be required to be submitted and reviewed during the site improvement permit review by the City Engineering Department.

**Landscaping:** Since the proposed parking area is surrounded by existing landscaped areas and under 20 spaces, a formal landscape plan is not required.

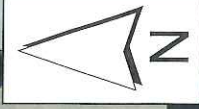
**Recommendation:**

Staff recommends the Planning Commission **approve** the Site Plan application on the following conditions.

1. Subject to review and approval by the Medina Engineering Department
2. Subject to review and approval by the City of Medina Building Department for the permits for the site lighting plan as required by Section 1145.09(c) of the City of Medina Planning and Zoning Code

**ESMITH RD**

**Subject property**



**1 inch = 60 feet**

**P19-01  
520 E. Smith  
SPA - expand parking area  
January 10, 2019**



## Jonathan Mendel

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**From:** janel strelau <janelbb47@hotmail.com>  
**Sent:** Thursday, December 20, 2018 7:08 AM  
**To:** Jonathan Mendel  
**Subject:** 520 East Smith Rd

I Janel Strelau owner of Hair Classics would like to put parking lot at 520 East Smith Rd for the use of our clients . I opened Hair Classics 5years ago and with growth we needed more parking than our existing parking. We are moving the salon from 725 North Court to better service our guests . We would now have enough parking.

Thank you Janel Strelau

Sent from my iPhone

# PRELIMINARY SITE PLAN FOR HAIR CLASSICS SALON

LOCATED IN THE CITY OF MEDINA  
IN THE COUNTY OF MEDINA  
AND STATE OF OHIO



LOCATION MAP

OWNER: STRELAU PROPERTIES LLC  
JANEL STRELAU  
7417 PAWNEE RD.  
SPENCER, OHIO 44275  
TELEPHONE: (330) 441-2630

**INDEX OF DRAWINGS**

- 1 - EXISTING CONDITIONS PLAN
- 2 - PRELIMINARY SITE PLAN

| REVISIONS | DATE | DESCRIPTION | INT. |
|-----------|------|-------------|------|
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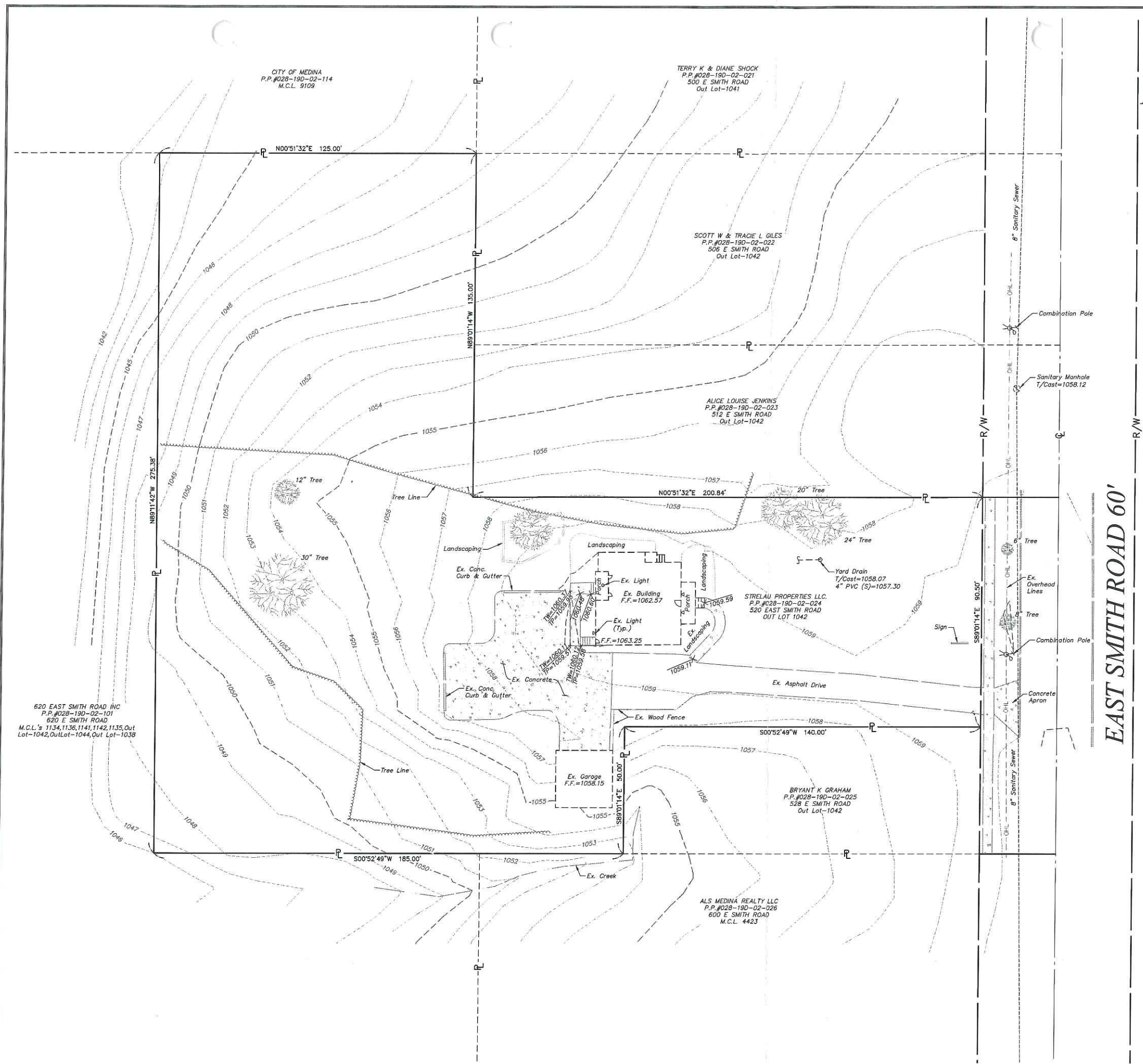
**520 EAST SMITH ROAD**  
COUNTY OF MEDINA  
**CUNNINGHAM & ASSOCIATES, INC.**  
CIVIL ENGINEERING and SURVEYING  
203 W. LIBERTY ST. MEDINA, OHIO 44256 330-725-5980

**EXISTING CONDITIONS**

DRAWN BY: CAH  
DATE: 11/20/18  
CHECKED BY:  
DATE:  
PROJECT No.  
18-175  
ACAD FILE No.  
M.L. 118-175\_CP

SCALE: PLAN- 1"=20'  
PROFILE-Hor. Vert.

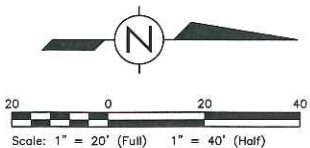
SHEET NO.  
**1**  
**2**



**EAST SMITH ROAD 60'**

**LEGEND**

|  |                      |
|--|----------------------|
|  | EX. SANITARY SEWER   |
|  | EX. SANITARY MANHOLE |
|  | EX. STORM SEWER      |
|  | EX. YARD BASIN       |
|  | EX. COMBINATION POLE |
|  | EX. CONTOUR          |
|  | EX. CREEK            |
|  | EX. TREE LINE        |



M:\sub Folders\2018\18-175\Drawings\18-175\_CP.dwg, 11/19/2018 1:57 PM, AutoCAD

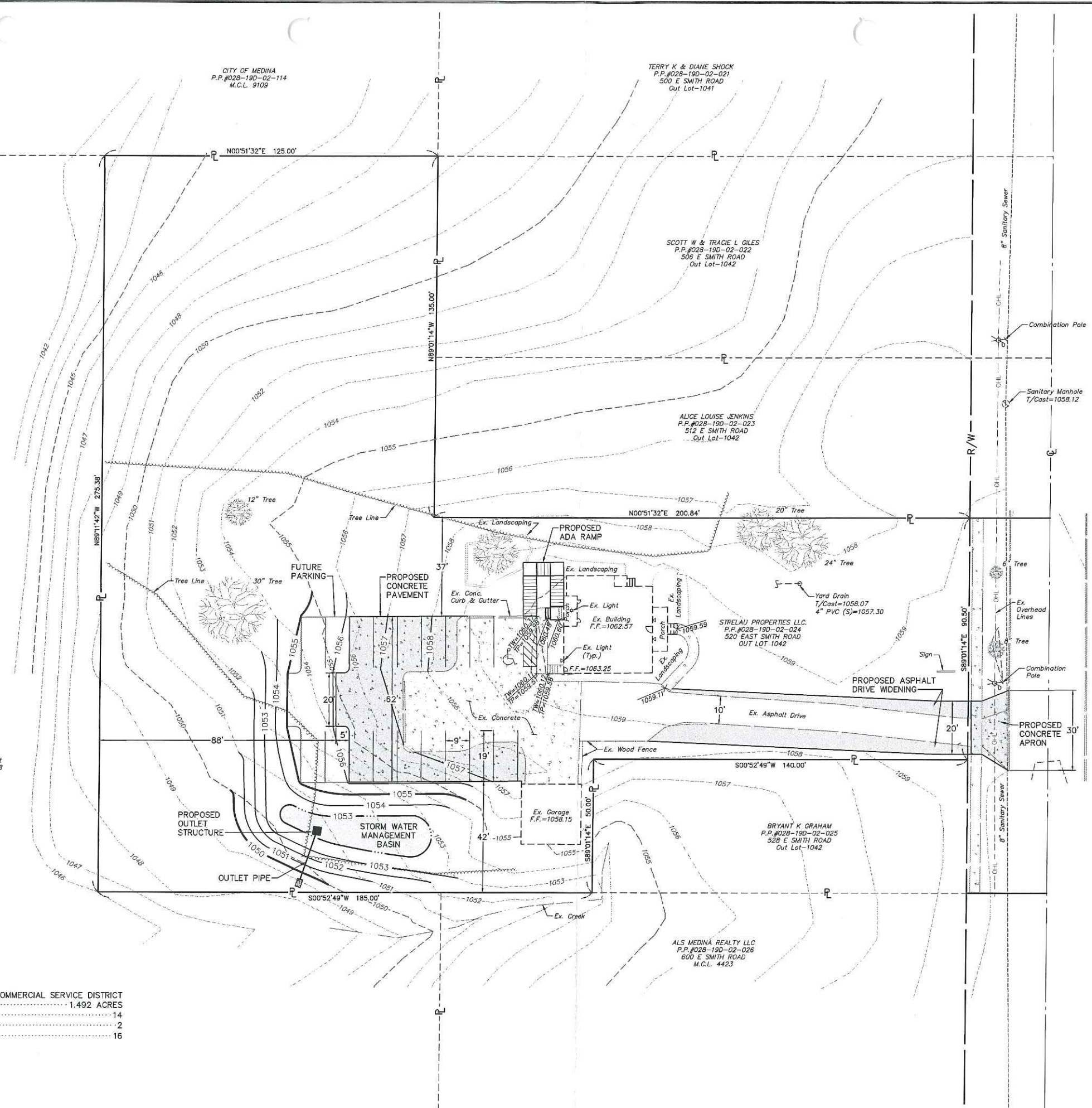
**LEGEND**

|  |                      |
|--|----------------------|
|  | EX. SANITARY SEWER   |
|  | EX. SANITARY MANHOLE |
|  | EX. STORM SEWER      |
|  | EX. YARD BASIN       |
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|  | EX. CONTOUR          |
|  | EX. CREEK            |
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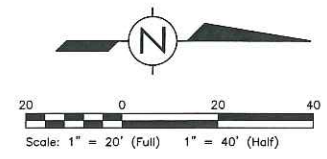
620 EAST SMITH ROAD INC  
P.P.#028-190-02-101  
620 E SMITH ROAD  
M.C.L.'s 1134,1136,1141,1142,1135,Out  
Lot-1042,OutLot-1044,Out Lot-1038

**SITE DATA**

|                      |                                 |
|----------------------|---------------------------------|
| ZONING DISTRICT      | C-S COMMERCIAL SERVICE DISTRICT |
| SITE AREA            | 1.492 ACRES                     |
| PARKING SPACES       | 14                              |
| GARAGE SPACES        | 2                               |
| TOTAL PARKING SPACES | 16                              |



EAST SMITH ROAD 60'



| DATE | DESCRIPTION | BY |
|------|-------------|----|
|      |             |    |
|      |             |    |
|      |             |    |
|      |             |    |

**520 EAST SMITH ROAD**  
LOCATED IN COUNTY OF MEDINA  
**CUNNINGHAM & ASSOCIATES, INC.**  
CIVIL ENGINEERING AND SURVEYING  
203 W. LIBERTY ST. MEDINA, OHIO 44226 330-725-5980

SHEET TITLE:  
**PRELIMINARY SITE PLAN**

|               |                |
|---------------|----------------|
| DRAWN BY:     | CAH            |
| DATE:         | 11/20/18       |
| CHECKED BY:   |                |
| DATE:         |                |
| PROJECT No.   | 18-175         |
| ACAD FILE No. | M...118-175_CP |

SCALE: PLAN- 1"=20'  
PROFILE-Hor-  
Vert.

|           |
|-----------|
| SHEET NO. |
| 2 / 2     |