

**MEETING DATE: 01-10-19**

# **PLANNING COMMISSION**

**Case No. P19-03  
PP#028-19C-20-149  
SPD-1**



# CITY of MEDINA

## Planning Commission

### January 10, 2019 Meeting

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**Case No:** P19-03

**Location:** Northwest 10 acres of SPD-1

**Applicant:** Benchmark Mgmt, LLC

**Subject:** SPD-1 – Final Site Plan Review

**Zoning:** C-3 & Special Planning District – 1 (SPD-1)

**Submitted by:** Jonathan Mendel, Community Development Director 

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**Background:**

The underlying SPD-1 was enacted in 1999 and development has such recently commenced on a portion of it in 2017. On July 12, 2018, the applicant was before the Planning Commission requesting an amendment to the SPD-1 conceptual plan and design guidelines. The request changed various subsections of Section C.2(C) to incorporate minimum lot sizes, site layout and maximum unit density changes that meet current industry standards for a wider range of unit configurations.

The Planning Commission recommended the proposed amendments to the design guidelines and conceptual plan. This recommendation was approved by the City Council on October 22, 2018 and effective November 22, 2018.

The Planning Commission reviewed and approved the applicant's Preliminary Site Plan request at the December 13, 2018 meeting for a 67 unit, 15 building attached single family development on 10 acres.

The next step is a Final Site Plan Review by the Planning Commission as required by Section 1114.10 of the Planning and Zoning Code.

**Proposal:**

There has been a minor change since the December 13, 2018 PC meeting and approval regarding to the project scope. The preliminary plan was a 67 unit, 15 building attached single family project on ten acres. In the intervening time between December 13, 2018 and now, the applicant has had to adjust the site plan and number of units slightly due to Army Corps of Engineer's review of the project's wetland delineation. As a result, the applicant made a minor adjustment to the project's interior street layout and reduced the number of dwelling units to 66.

Therefore, for the final site plan review, the applicant plans to develop a 66 unit attached single family project. The project is planned for the northwest corner (10 acres) of the ~40 acre South Court Village (Special Planning District 1).

The proposed project will consist of 14 individual buildings with 3-6 units per building. The individual units are two story with ~1,700 sqft, three bedrooms, attached 2-car garages and full basements. These buildings are spread around an internal private street system with two access point to the new created public local street (Mast Parkway), which is internal to SPD-1.

The SPD process requires the Planning Commission review the Final Site Plan to verify conformance with the approved Conceptual Development Plan and Guidelines and Preliminary Site Plan (see Section 1114.10).

Please find attached to this report:

1. Proposed final development plans received January 2, 2019.
2. Aerial photograph

**Final Site Plan Review:**

The following is a summary of the items that must be submitted as part of the Final Site Plan (see Section 1114.10):

- A. **Buildings:** Location, height, elevations, arrangement, and identification of all buildings and uses on the subject property and, where applicable, location and arrangement of all lots with lot dimensions shall be provided;
- B. **Open space and recreation:** Location and arrangement of all common open space areas and recreational facilities, including lot dimensions;
- C. **Landscaping plan:** Include identification of planting areas, the location, type and height of walls and fences shall be provided; also any vegetative buffers;
- D. **Signs:** Location of signs indicating their orientation, lighting, size and height;
- E. **Stormwater detention:** Including a system of stormwater control for runoff and detention for both before and after construction;
- F. **Utilities:** Indicate location of other utilities such as electric, telephone, cable television, etc. including the type of service, and the width of easements;
- G. **Circulation system:** Location of all proposed and existing pedestrian and vehicular systems shall be identified;



- H. **Lighting:** Exterior lighting and any street furniture or outdoor decorative structures proposed, refuse storage areas and proposed method of screening;
- I. **Development schedule:** A schedule of development, including the staging or phasing of:
  - a. Streets, utilities and other public facility improvements, in order of priority;
  - b. Public/ Common Area - dedication of land to public use or set aside for common ownership;
  - c. Buildings and uses, in order of priority of construction.

Staff has reviewed the submittal and determined the applicant has provided everything, but the proposed development identification sign. This is a minor item for a Subdistrict "C" project in SPD-1. The SPD-1 development guidelines specifically references compliance with Section 1147.11 regulations and procedures, which regulates residential and public facilities signage generally in the City of Medina. Not having this specific, but minor project detail is acceptable and can be handled administratively by City staff through the normal sign permit review process.

Lastly, Section 1114.10 requires the Planning Commission to determine whether the Final Site Plan conforms to the approved Conceptual Plan and Preliminary Plan. If so, the Planning Commission should approve the Final Site Plan. As stated earlier, the Final Site Plan is not exactly the same as the December 13, 2018 approved Preliminary Plan due to the Army Corps of Engineers' review of the project. This necessitated a minor reconfiguration to the northwest corner of the internal road way and reduction in dwelling unit count from 67 to 66, which is a 1.5% change. These changes are exceedingly minor in scale and do not substantively change the nature of the proposed project and it's relation to neighboring properties inside and outside SPD-1.

#### **City Department Comments:**

**City Engineer:** No comment at this time.

**Building Department:** No comment at this time

**Police Department:** No comments

**Service Department:** No comment at this time.

**Water/Backflow:** No comment at this time.

**Fire Department:** No comments

**Engineering Department:** No comment at this time.

**Streets/Sanitation Department:**

**Economic Development:** No comment.

**City Forester:** No comment at this time.

#### **General Discussion:**

In reviewing the approved Conceptual Plan and Preliminary Site Plan against the proposed Final Site Plan review, staff believes, despite non-substantive differences between the Final Site Plan and the approved Preliminary Site Plan, the proposed Final Site Plan conforms.



**Recommendation:**

Based on review of the SPD-1 approved Conceptual Plan and Preliminary Site Plan, staff recommends the Planning Commission **approve** the proposed Final Site Plan with the following conditions:

1. Subject to permit review and approval by the City of Medina Building Department
2. Subject to the permit review and approval of the site improvement plan by the City of Medina Engineering Department.
3. All proposed signage for the project shall conform to the applicable regulations and procedures of Chapter 1147 of the City of Medina Planning and Zoning Code.





**Subject Site**

BRISTOL LN

FOXBOROUGH DR

GLOUCESTER DR

ROCKPORT DR

WATERBURY DR

HIGHPOINT DR

WOSTER PIKE

LEXINGTON RIDGE DR

BAR HARBOR COVE

NANTUCKET COLONY CIR

**Special Planning District No. 1**



1 inch = 300 feet

**P19-03  
Court Street Village  
Final  
Site Plan Review  
January 10, 2019**

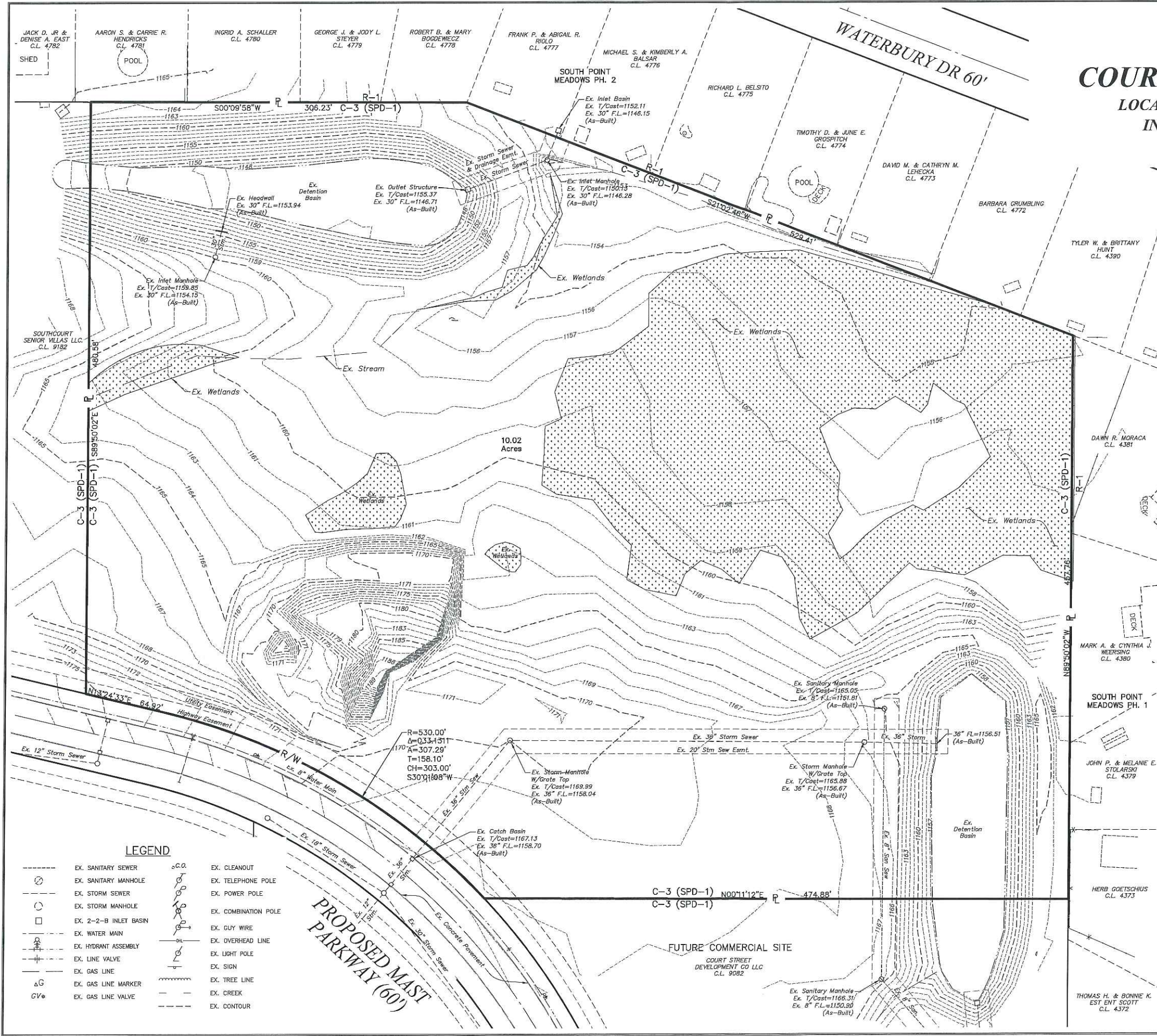
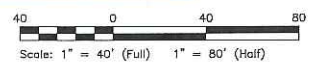
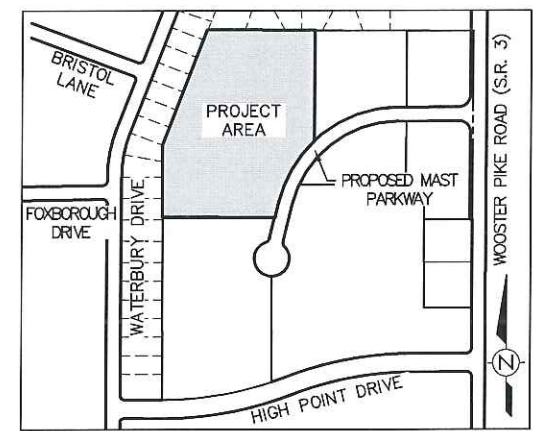
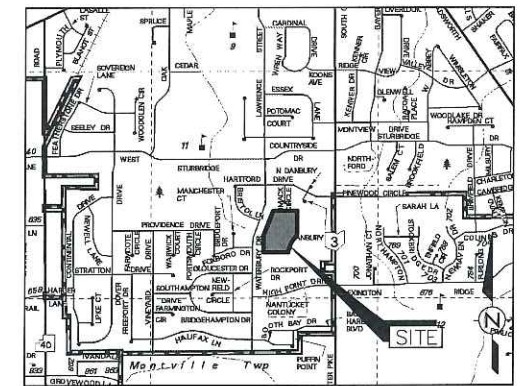


# FINAL SITE PLAN FOR COURT STREET VILLAGE

LOCATED IN THE CITY OF MEDINA  
IN THE COUNTY OF MEDINA  
AND STATE OF OHIO

**DEVELOPER:**  
BENCHMARK MANAGEMENT LLC.  
109 WEST LIBERTY STREET  
MEDINA, OHIO 44236

INDEX OF DRAWINGS	
SHEET	DESCRIPTION
1	EXISTING CONDITIONS PLAN
2	SITE LAYOUT AND PRELIMINARY UTILITY PLAN
3	PRELIMINARY GRADING PLAN
4	SITE LANDSCAPING AND LIGHTING PLAN



**LEGEND**

- |  |                       |  |                      |
|--|-----------------------|--|----------------------|
|  | EX. SANITARY SEWER    |  | EX. CLEANOUT         |
|  | EX. SANITARY MANHOLE  |  | EX. TELEPHONE POLE   |
|  | EX. STORM SEWER       |  | EX. POWER POLE       |
|  | EX. STORM MANHOLE     |  | EX. COMBINATION POLE |
|  | EX. 2-2-B INLET BASIN |  | EX. GUY WIRE         |
|  | EX. WATER MAIN        |  | EX. OVERHEAD LINE    |
|  | EX. HYDRANT ASSEMBLY  |  | EX. LIGHT POLE       |
|  | EX. LINE VALVE        |  | EX. SIGN             |
|  | EX. GAS LINE          |  | EX. TREE LINE        |
|  | EX. GAS LINE MARKER   |  | EX. CREEK            |
|  | EX. GAS LINE VALVE    |  | EX. CONTOUR          |

REVISIONS	DATE	DESCRIPTION
1	12/20/18	Final Plan Submitted
2	12/20/18	Revised Site Layout

**FINAL SITE PLAN - COURT STREET VILLAGE**  
 LOCATED IN  
 CITY OF MEDINA  
 COUNTY OF MEDINA  
**CUNNINGHAM & ASSOCIATES, INC.**  
 CIVIL ENGINEERING and SURVEYING  
 203 W. LIBERTY ST. MEDINA, OHIO 44236 330-725-5980

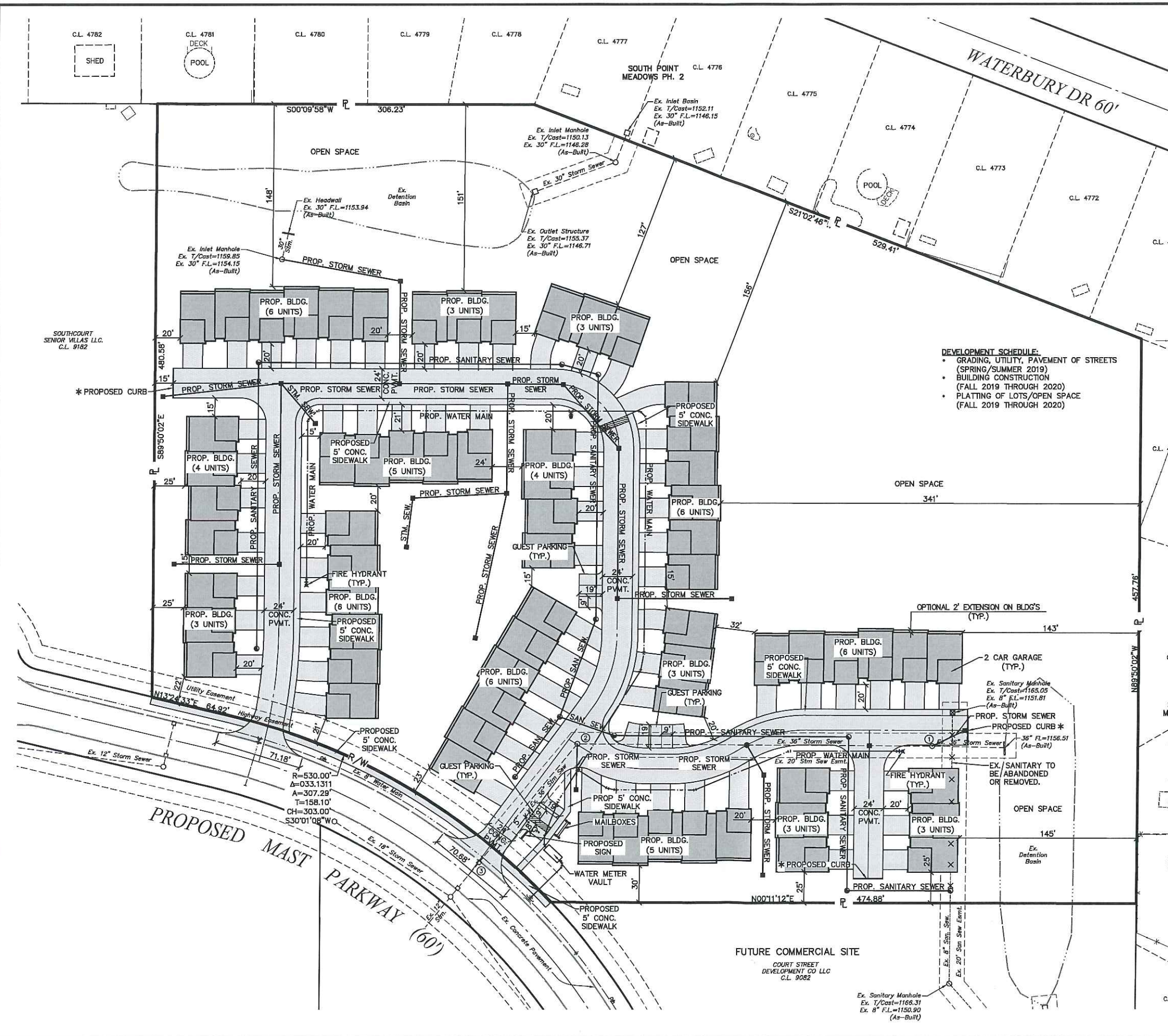
**EXISTING CONDITIONS PLAN**  
 SHEET TITLE:

DRAWN BY: TEM  
 DATE: 11/21/18  
 CHECKED BY:  
 DATE:  
 PROJECT No.  
 17-107  
 ACAD FILE No.  
 MCL\17107-FSP3

SCALE: PLAN: 1"=40'  
 PROFILE: Horz. Vert.

SHEET NO.  
**1**  
**4**



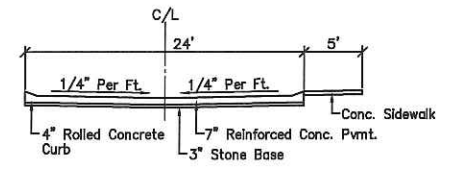


**SITE DATA:**  
 ZONING DISTRICT: C-3 (General Commercial)  
 SPECIAL PLANNING DISTRICT NO. 1: SUBDISTRICT "C"  
 ALLOWABLE DWELLING UNITS/ACRE: 8 UNITS/AC. MAX.  
 MAXIMUM UNITS ALLOWED: 80 UNITS  
 UNITS PROVIDED: 66 UNITS  
 PART OF PERMANENT PARCEL NUMBER: 028-19C-20-149  
 TOTAL SITE AREA: 10.02 ACRES  
 PROPOSED LOT COVERAGE: 34%

NOTE: OPEN SPACE TO BE OWNED AND MAINTAINED BY AN H.O.A.

**TRAFFIC IMPACT:**  
 TOWNHOUSES: 5.86 AVERAGE TRIPS/DAY/UNITS  
 PROPOSED UNITS: 67 UNITS  
 TOTAL TRIPS GENERATED: (5.86 X 67)=393 TRIPS/DAY  
 PROPOSED UNIT - 'ROSECLIFF' 42'-4" x 28'-± TYPICAL

**PARKING SUMMARY:**  
 PARKING SPACE DIMENSIONS: 9 FEET x 19 FEET  
 PARKING CALCULATIONS:  
 2.0 SPACES PER UNIT - MULTI-FAMILY  
 (PLUS 1 VISITOR SPACE PER 5 UNITS)  
 SPACES REQUIRED (67 UNITS): 148 SPACES  
 PARKING PROVIDED:  
 GARAGE SPACES: 134 SPACES  
 DRIVEWAY SPACES: 134 SPACES  
 OFF STREET PARKING SPACES: 11 SPACES  
 TOTALS: 279 SPACES



**DEVELOPMENT SCHEDULE:**  
 • GRADING, UTILITY, PAVEMENT OF STREETS (SPRING/SUMMER 2019)  
 • BUILDING CONSTRUCTION (FALL 2019 THROUGH 2020)  
 • PLATTING OF LOTS/OPEN SPACE (FALL 2019 THROUGH 2020)

TYPICAL STREET SECTION

**LEGEND**

--- EX. SANITARY SEWER	--- EX. WATER MAIN
--- PROP. SANITARY SEWER	--- PROP. WATER MAIN
○ EX. SANITARY MANHOLE	--- EX. HYDRANT ASSEMBLY
○ PROP. SANITARY MANHOLE	--- PROP. HYDRANT ASSEMBLY
--- EX. STORM SEWER	--- EX. LINE VALVE
--- PROP. STORM SEWER	--- EX. WATER SHUTOFF
○ EX. STORM MANHOLE	--- EX. WATER METER
○ PROP. STORM MANHOLE	--- EX. TELEPHONE POLE
○ EX. STORM INLET MANHOLE	--- EX. POWER POLE
□ EX. CURB INLET BASIN	--- EX. GUY WIRE
□ EX. 2-2-B INLET BASIN	--- EX. OVERHEAD LINE
■ PROP. 2-2-B INLET BASIN	--- EX. POWER/LIGHT POLE
△ EX. GAS LINE	--- EX. SIGN
△G EX. GAS LINE MARKER	
GV EX. GAS LINE VALVE	

NOTE: PROPOSED GAS, ELECTRIC, AND COMMUNICATION LINES TO BE INSTALLED ALONG PROPOSED STREETS. EXACT LOCATION TO BE DETERMINED BY UTILITY PROVIDERS.

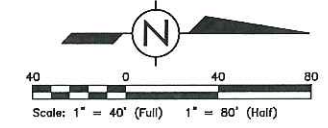
**Ex. Structure Chart**

① Ex. Storm Manhole W/Grate Top Ex. T/Cast=1165.88 Ex. 36" F.L.=1156.67 (As-Built)	② Ex. Storm Manhole W/Grate Top Ex. T/Cast=1169.99 Ex. 36" F.L.=1158.04 (As-Built)	③ Ex. Catch Basin Ex. T/Cast=1167.13 Ex. 36" F.L.=1158.70 (As-Built)
--	--	--

**LEGEND:**

■	PROPOSED CONCRETE PAVEMENT
■	PROPOSED BUILDING

\* NOTE: DEVELOPER TO PROVIDE ADEQUATE BARRIER AT END OF PAVEMENT LOCATIONS TO CONSIST OF POSSIBLE GUARDRAIL, GUARD POSTS, LANDSCAPING, ETC. TO BE FINALIZED DURING ENGINEERING REVIEW OF PLANS.



NO.	DATE	DESCRIPTION
1	12/20/18	Final Plan Submitted
2	12/20/18	Revised Site Layout

**FINAL SITE PLAN - COURT STREET VILLAGE**  
 LOCATED IN  
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 COUNTY OF MEDINA  
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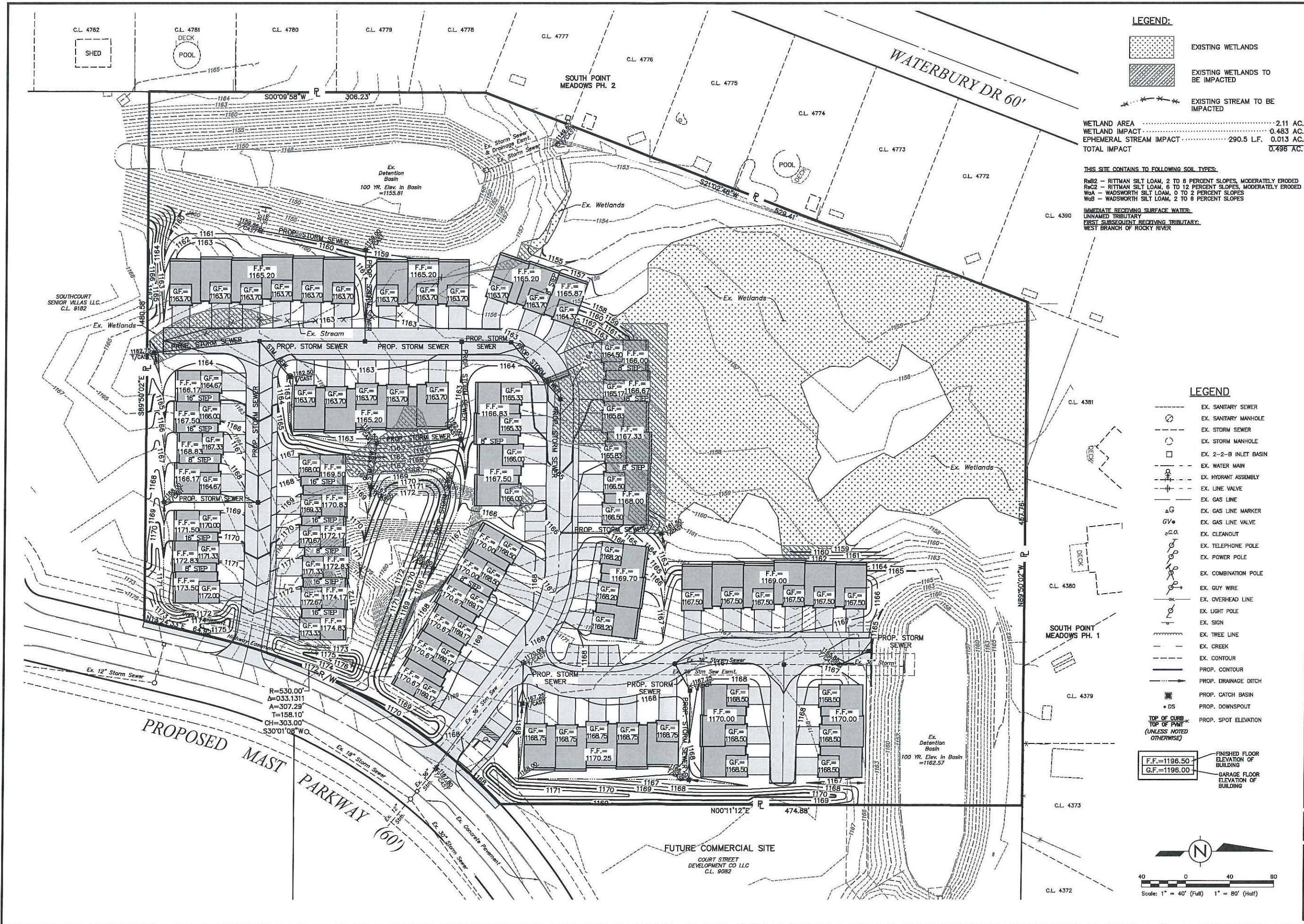
**SHEET TITLE:**  
 SITE LAYOUT AND PRELIMINARY UTILITY PLAN

**DRAWN BY:** TEM  
**DATE:** 1/21/18  
**CHECKED BY:**  
**DATE:**  
**PROJECT No.:** 17-107  
**ACAD FILE No.:** M.L. 17107-FSP3

**SCALE:** PLAN: 1"=40'  
 PROFILE: Vert.

**SHEET NO.:** 2 / 4





**LEGEND:**

- EXISTING WETLANDS
- EXISTING WETLANDS TO BE IMPACTED
- EXISTING STREAM TO BE IMPACTED

WETLAND AREA ..... 2.11 AC.  
 WETLAND IMPACT ..... 0.483 AC.  
 EPHEMERAL STREAM IMPACT ..... 290.5 L.F. 0.013 AC.  
 TOTAL IMPACT ..... 0.496 AC.

**THIS SITE CONTAINS TO FOLLOWING SOIL TYPES:**  
 RnB2 - RITTMAN SILT LOAM, 2 TO 8 PERCENT SLOPES, MODERATELY ERODED  
 RnC2 - RITTMAN SILT LOAM, 6 TO 12 PERCENT SLOPES, MODERATELY ERODED  
 WnA - WADSWORTH SILT LOAM, 0 TO 2 PERCENT SLOPES  
 WnB - WADSWORTH SILT LOAM, 2 TO 8 PERCENT SLOPES

**IMMEDIATE RECEIVING SURFACE WATER:**  
 UNNAMED TRIBUTARY  
**FIRST SUBSEQUENT RECEIVING TRIBUTARY:**  
 WEST BRANCH OF ROCKY RIVER

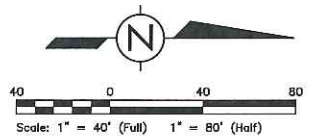
**LEGEND**

- EX. SANITARY SEWER
- EX. SANITARY MANHOLE
- EX. STORM SEWER
- EX. STORM MANHOLE
- EX. 2-2-B INLET BASIN
- EX. WATER MAIN
- EX. HYDRANT ASSEMBLY
- EX. LINE VALVE
- EX. GAS LINE
- EX. GAS LINE MARKER
- EX. GAS LINE VALVE
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- EX. TELEPHONE POLE
- EX. POWER POLE
- EX. COMBINATION POLE
- EX. GUY WIRE
- EX. OVERHEAD LINE
- EX. LIGHT POLE
- EX. SIGN
- EX. TREE LINE
- EX. CREEK
- EX. CONTOUR
- PROP. CONTOUR
- PROP. DRAINAGE DITCH
- PROP. CATCH BASIN
- PROP. DOWNSPOUT
- PROP. SPOT ELEVATION

TOP OF CURB  
 TOP OF PINT  
 (UNLESS NOTED OTHERWISE)

F.F.=1196.50  
 G.F.=1196.00

FINISHED FLOOR ELEVATION OF BUILDING  
 GARAGE FLOOR ELEVATION OF BUILDING



REVISIONS	DATE	DESCRIPTION	INT.	BY
1	12/20/18	Final Plan Submitted	TEJ	
2	1/29/19	Revised Site Layout	TEJ	

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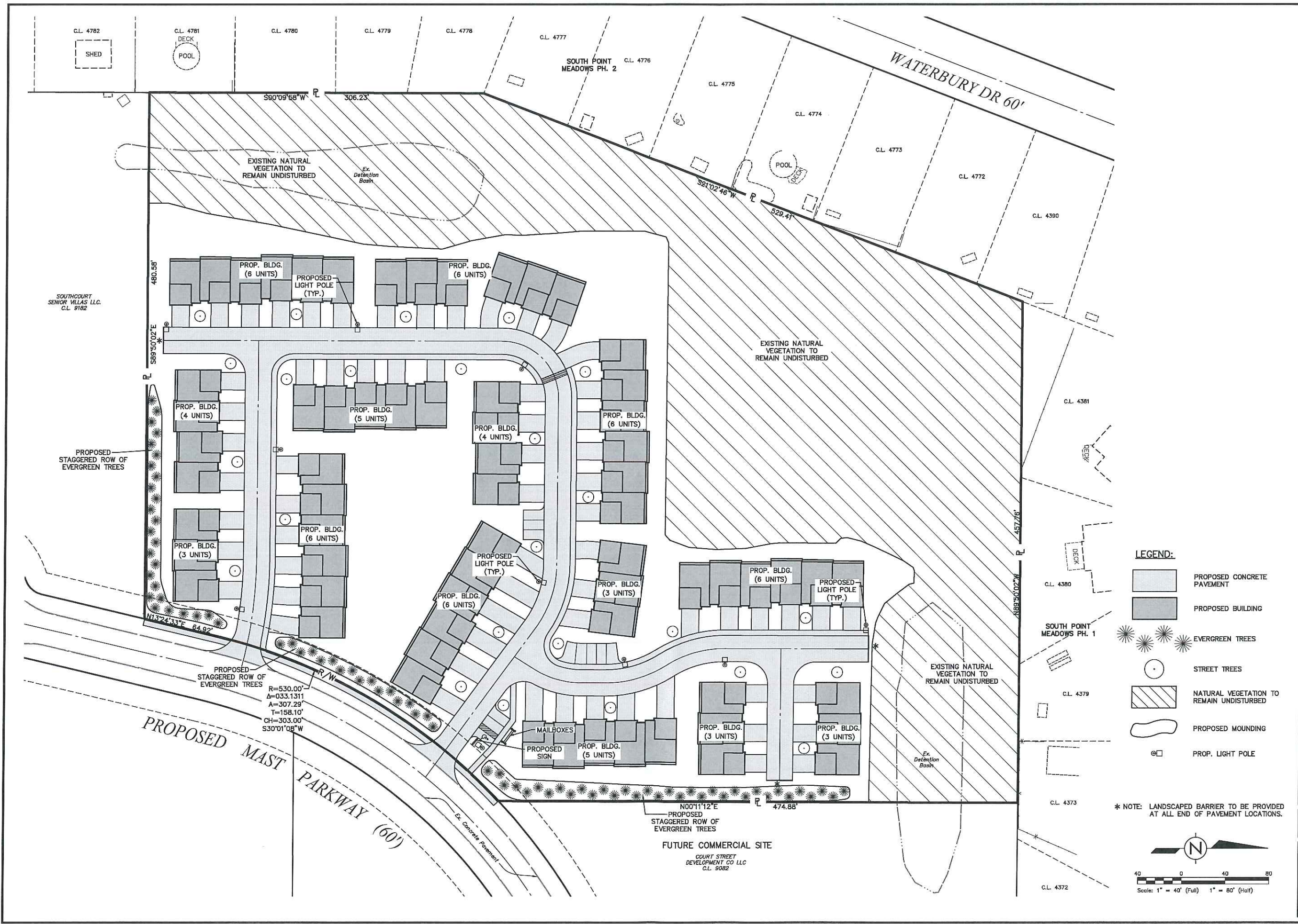
**PRELIMINARY GRADING PLAN**

DRAWN BY: TEM  
 DATE: 1/27/18  
 CHECKED BY:  
 DATE:  
 PROJECT No.  
 17-107  
 ACAD FILE No.  
 M-L-17107-FSP3

SCALE: PLAN- 1"=40'  
 PROFILE-Hor.-  
 Vert.

SHEET NO.  
 3  
 4





DATE	DESCRIPTION	BY
12/20/18	Final Plan Submittal	TEM
12/28/18	Revised Site Layout	TEM

**FINAL SITE PLAN - COURT STREET VILLAGE**  
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**SITE LANDSCAPING AND LIGHTING PLAN**

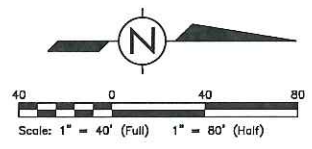
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 DATE: 11/21/18  
 CHECKED BY:  
 DATE:  
 PROJECT No. 17-107  
 ACAD FILE No. M:\17107-FSP3

SCALE: PLAN: 1" = 40'  
 PROFILE: Horz. 1" = 40'  
 Vert. 1" = 20'

SHEET NO. 4/4

- LEGEND:**
- PROPOSED CONCRETE PAVEMENT
  - PROPOSED BUILDING
  - EVERGREEN TREES
  - STREET TREES
  - NATURAL VEGETATION TO REMAIN UNDISTURBED
  - PROPOSED MOUNDING
  - PROP. LIGHT POLE

\* NOTE: LANDSCAPED BARRIER TO BE PROVIDED AT ALL END OF PAVEMENT LOCATIONS.

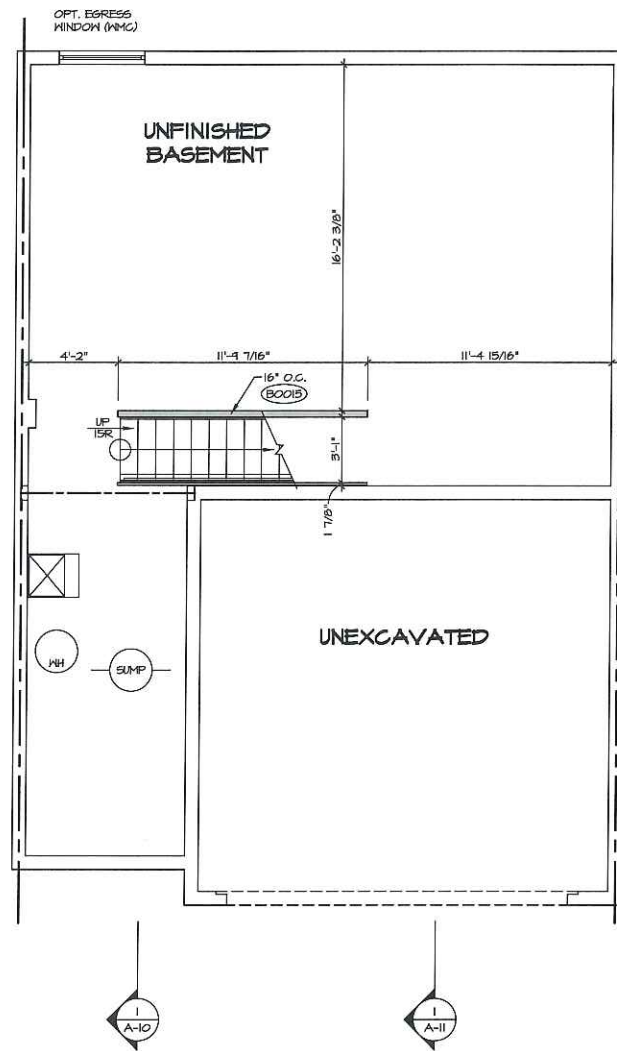




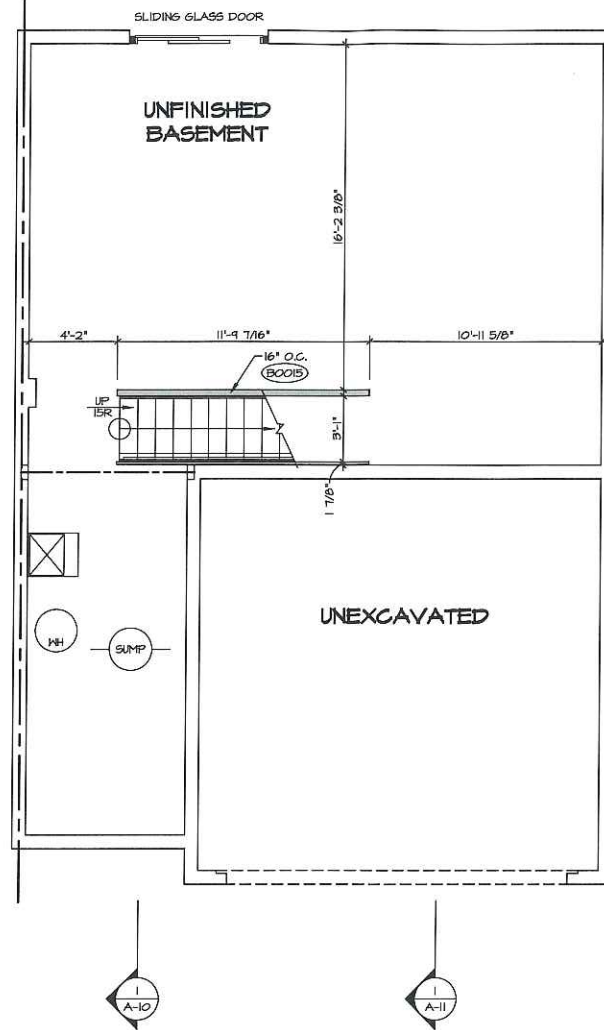




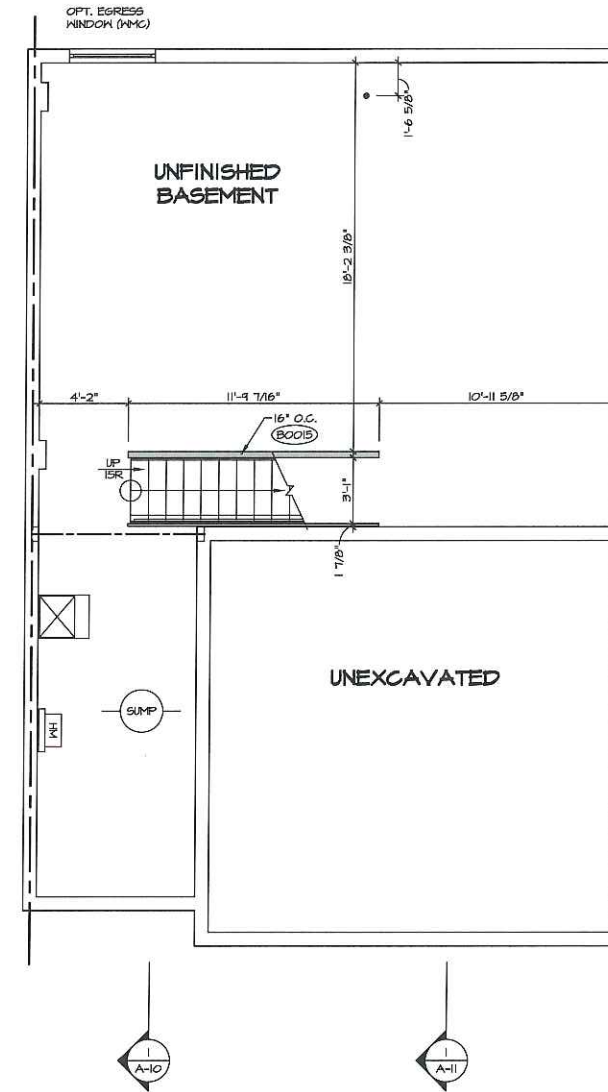




1 **BASEMENT FLOOR PLAN**  
 SCALE: 1/4" = 1'-0" INTERIOR UNIT "SAO"



2 **BASEMENT FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 END UNIT "SAE"  
 SLIDING GLASS DOOR  
 WALKOUT BASEMENT "DSC"  
 2 CAR GARAGE - FRONT ENTRY "SCB"  
 FRONT ENTRY "SCB"



3 **BASEMENT FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 TANKLESS WATER HEATER  
 2 CAR GARAGE - FRONT ENTRY "SCC"  
 END UNIT "SAE"

**NOTES:**  
 1. GENERAL NOTES (N-1)  
 2. SCHEDULES (N-2)  
 3. LVL NAILING SCHEDULE (N-1)  
 4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

**LEGEND**

	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE JACKS
	BEAM-HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

SHEET NO. <b>A-7</b>	MODEL <b>ROSECLIFF</b>	SET NO. RSC00	DATE 8/5/18	REVISIONS
	DRAWING TITLE BASEMENT FLOOR PLAN	VERSION 06	DRAWN BY JAB	1 8/15/18 301-EGRESS WINDOW REVISION
OPTION DESCRIPTION LEVEL ENTRY UNFINISHED BASEMENT	DATE 8/5/18	OPTION FTA	2 8/28/18 369 - ADDED INSULATION NOTE AT STAIR (PAR 498957)	3 8/28/18 488 - ADDED INSULATION NOTE AT STAIR (PAR 498957)
16	MEC		4 9/7/18 111 - DRAINING ALIGNMENT	5 9/27/18 326 - REMOVED STAIR MALL NOTE
				6 10/18 441 - TANKLESS WATER HEATER ADDED (DNR 4184)

**NVR**  
 NVR, Inc.  
 Architects  
 21 Dye Court, Suite A  
 Frederick, MD 21702

PROJECT: RYANHOMES\ROSECLIFF\_RSC00\_06\Struct\Interior\_Sht\Basement\_Floor\_Plan\16 A-7 BSMT\_UNFIN.dwg 08/07/18 - 7:32 am









REVERSE PLAN  
ELEVATION "P"

PER PLAN  
ELEVATION "K"

PER PLAN  
ELEVATION "L"

PER PLAN  
ELEVATION "M"

PER PLAN  
ELEVATION "K"

PER PLAN  
ELEVATION "N"

1  
B-2  
**6-UNIT BUILDING ELEVATION PLAN-A**  
SCALE: 1/8" = 1'-0"  
SET NUMBER: RSC26-06



REVERSE PLAN  
ELEVATION "P"

PER PLAN  
ELEVATION "K"

PER PLAN  
ELEVATION "L"

PER PLAN  
ELEVATION "M"

PER PLAN  
ELEVATION "K"

PER PLAN  
ELEVATION "N"

2  
B-2  
**6-UNIT BUILDING ELEVATION PLAN-B**  
SCALE: 1/8" = 1'-0"  
SET NUMBER: RSC26-06

STANDARD BUILDING CONFIGURATION



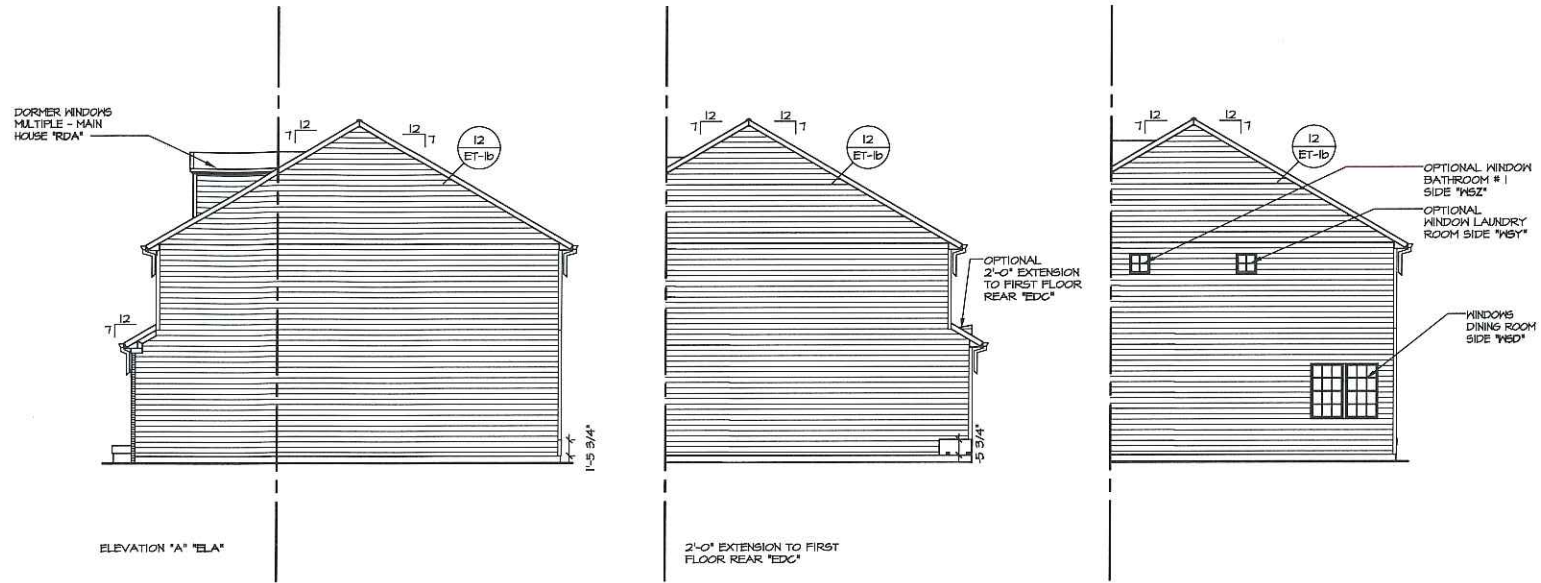
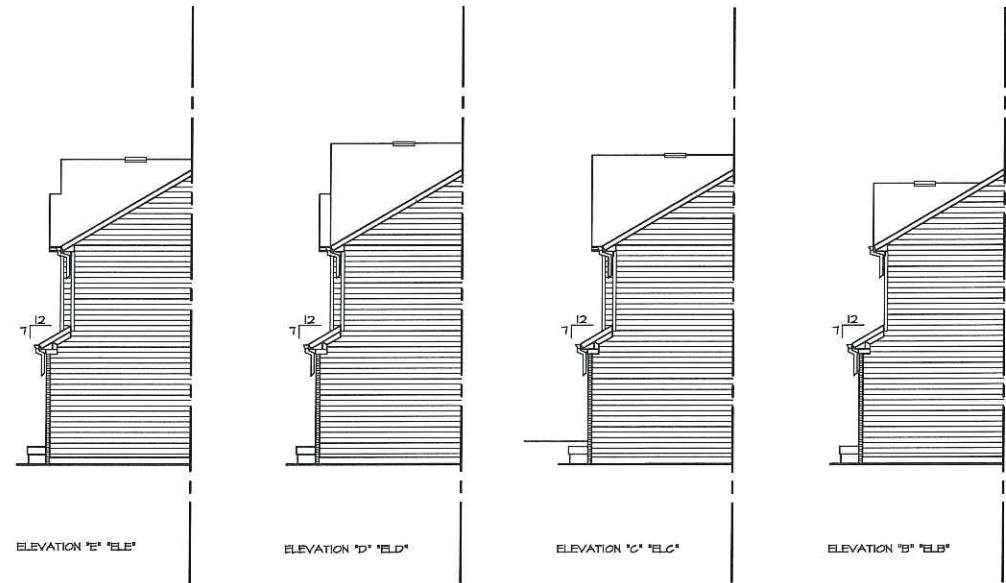
NVR, Inc.  
Architecture  
5035 Westview Drive, Suite 100  
Frederick, MD 21733

MODEL	ROSECLIFF	SET NO. RSC00	VERSION 06
DRAWING TITLE	6-UNIT ELEVATION	DRAWN BY	AKS
OPTION DESCRIPTION	ELEVATIONS	DATE	5/1/17
SHEET NO.	B-2	OPTION	
	505.2		

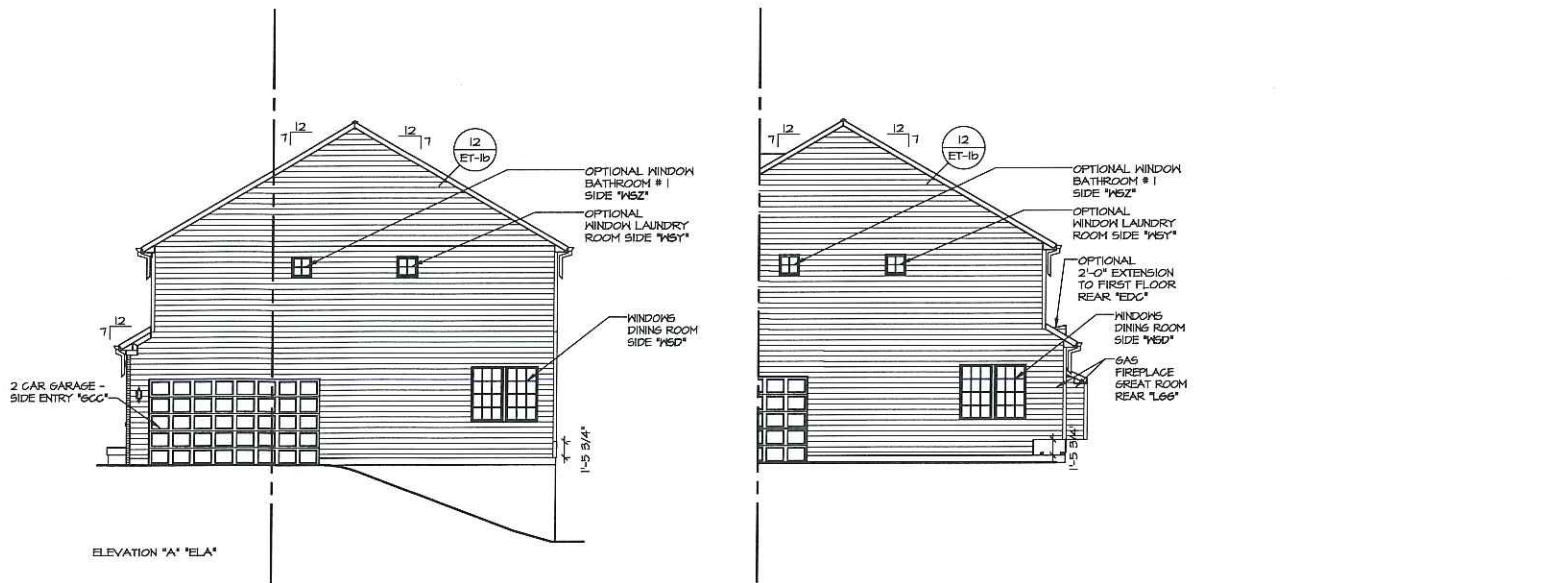
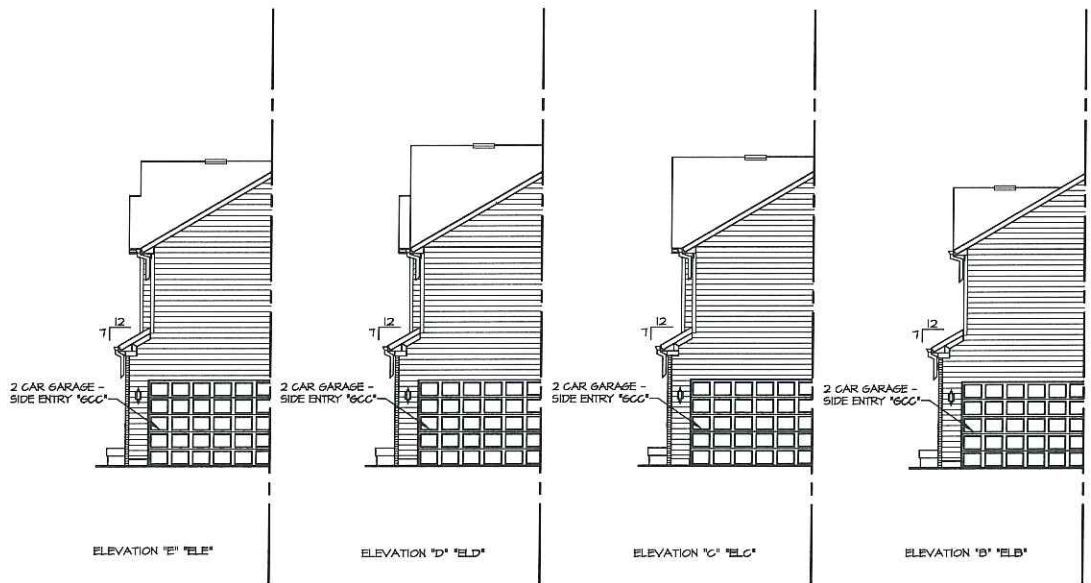
J:\PROJECTS\RYANHOMES\ROSECLIFF\_RSC00\_06A\Streets\505.2\_B-2\_6UNIT\_STRE\_ELEVATIONS.dwg 08/14/18 10:44 am

REV. NO.	DATE	REMARKS

NVR, Inc. hereby certifies that the drawings, specifications, and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, without the express written consent of NVR, Inc.



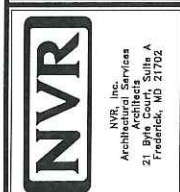
1 SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION  
SCALE: 1/8" = 1'-0"  
SIDE ENTRY GARAGE '6CC' WITH WALKOUT BASEMENT REAR

REV. NO.	DATE	REMARKS
1	12/29/16	HT - STANDARD DETAILS 5.3.0

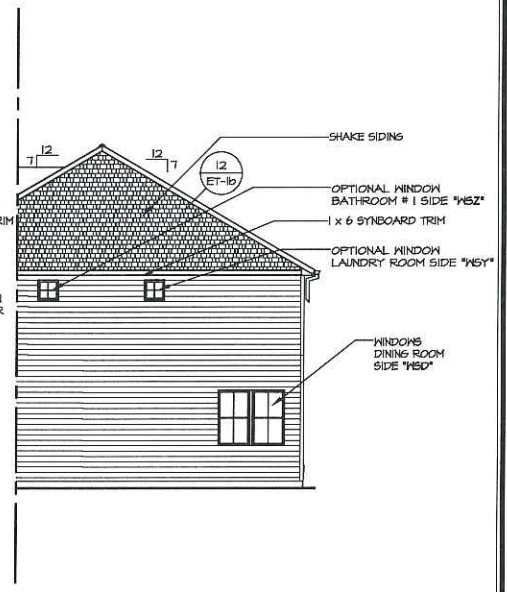
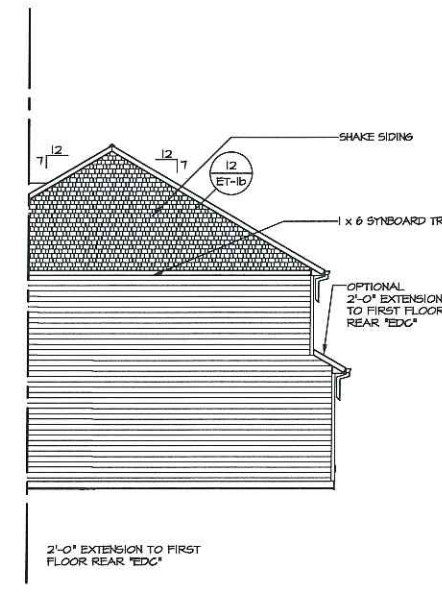
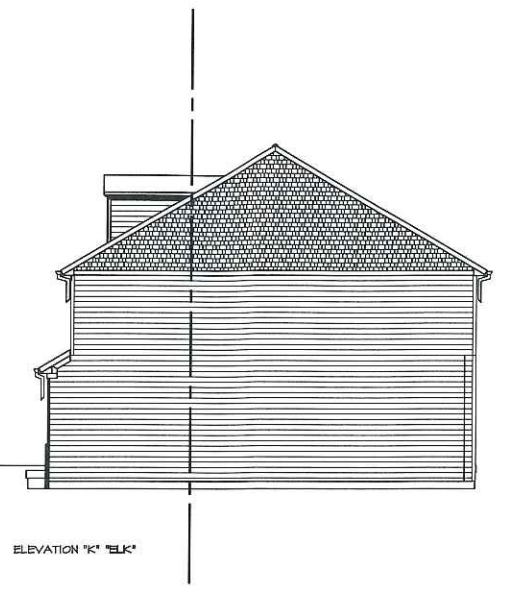
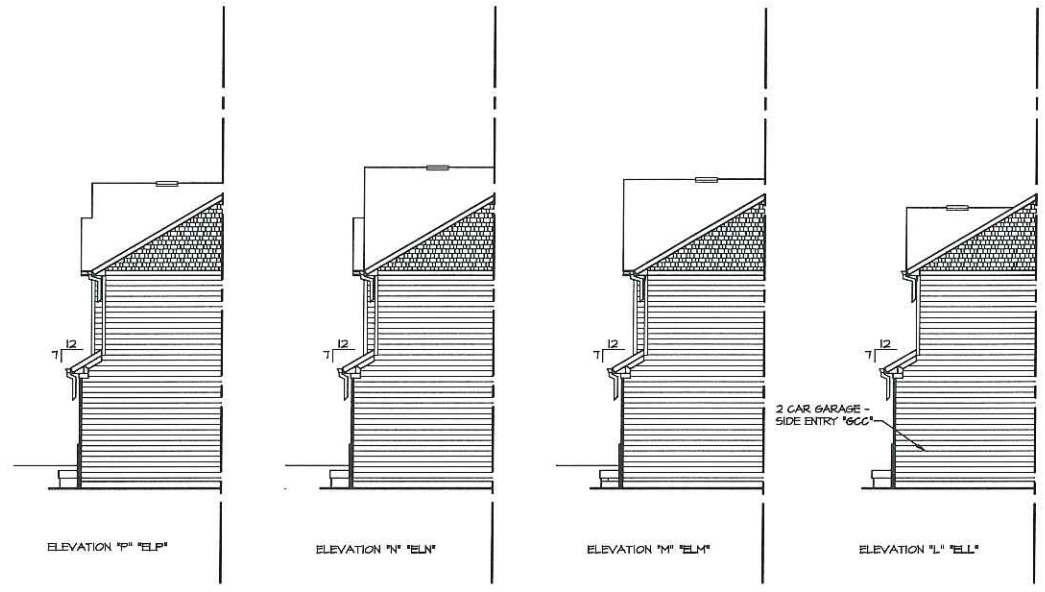
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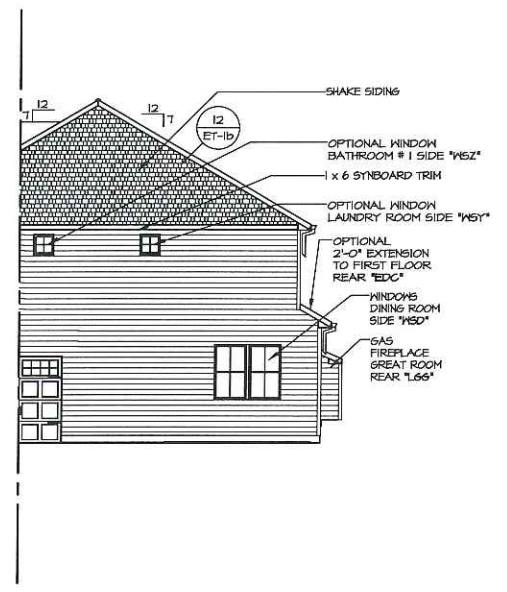
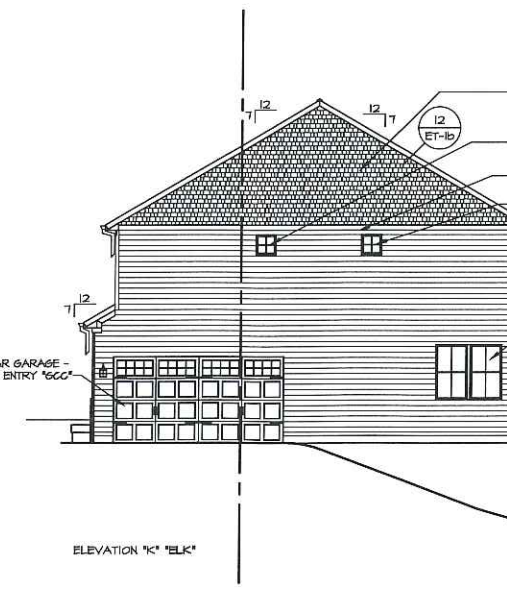
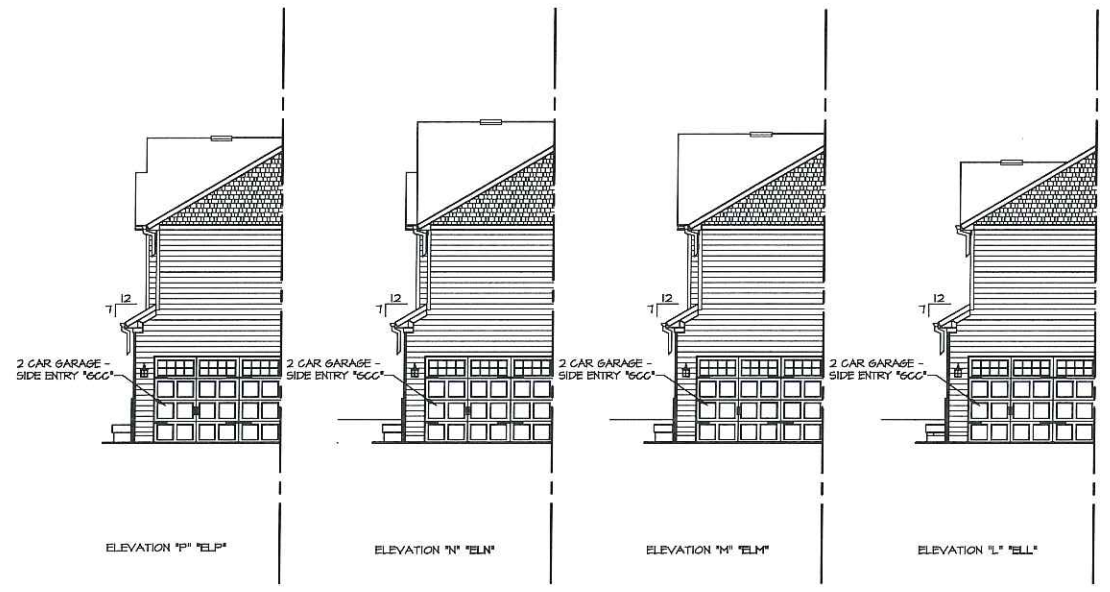
MODEL	ROSECLIFF
DRAWING TITLE	RIGHT ELEVATION
OPTION DESCRIPTION	ELEVATION 'A', ELEVATION 'B', ELEVATION 'C', ELEVATION 'D', ELEVATION 'E'
SHEET NO.	A-2
OPTION	B

J:\PROJECTS\RYANHOMES\ROSECLIFF\_RSC00\_06\Sheets\Master Set\Elevations\8 A-2 ELV\_RIGHT.dwg 08/07/18 7:31 am





1 SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION  
SCALE: 1/8" = 1'-0"  
SIDE ENTRY GARAGE "GGC" WITH WALKOUT BASEMENT REAR

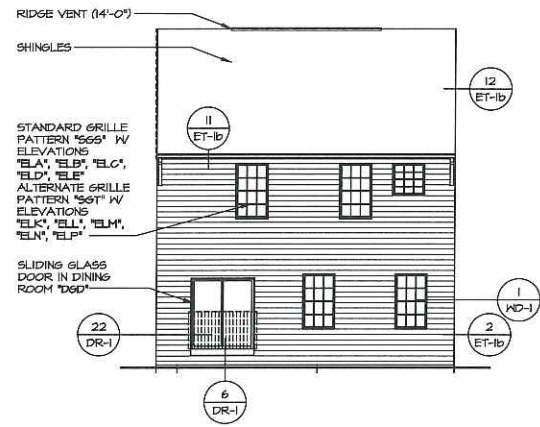
REV. NO.	DATE	REMARKS
1	12/28/16	HT - STANDARD DETAILS 9.0

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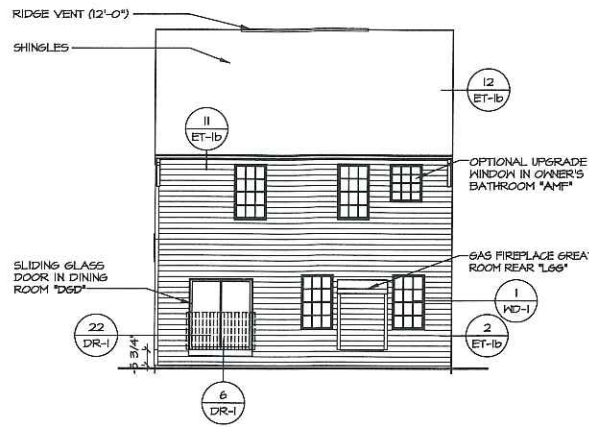
**NVR**  
NVR, Inc.  
Architectural Services  
21 Bryn Court, Suite A  
Frederick, MD 21702

MODEL	SET NO. RSC00	VERSION 06	DRAWN BY KAD	DATE 10/7/15	OPTION SAE, ELK, ELL, ELM, ELP, ELP
DRAWING TITLE	SIDE ELEVATIONS				
PROJECT DESCRIPTION	COTTAGE ELEVATIONS				
OPTION DESCRIPTION	ELEVATION "K", ELEVATION "L", ELEVATION "M", ELEVATION "N", ELEVATION "P"				
SHEET NO.	A-2				
DATE	9				

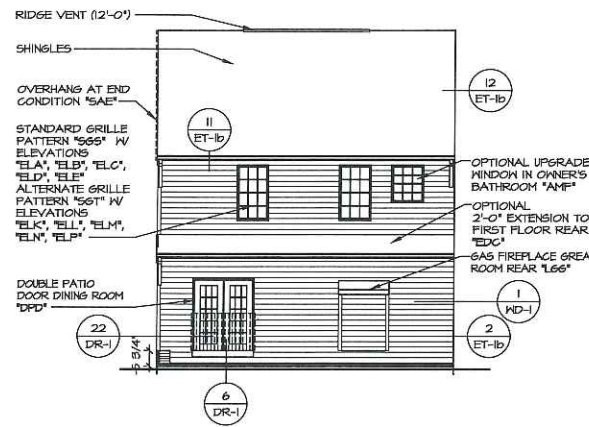




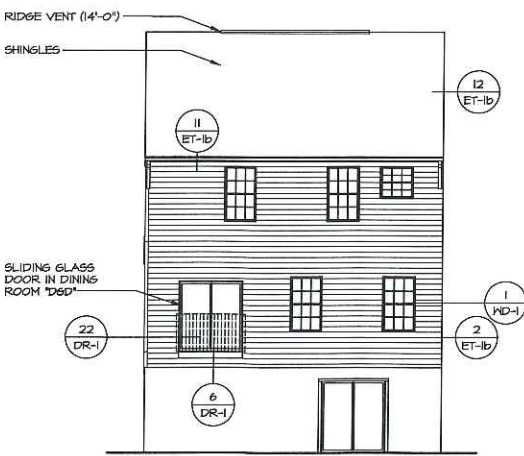
**1 REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



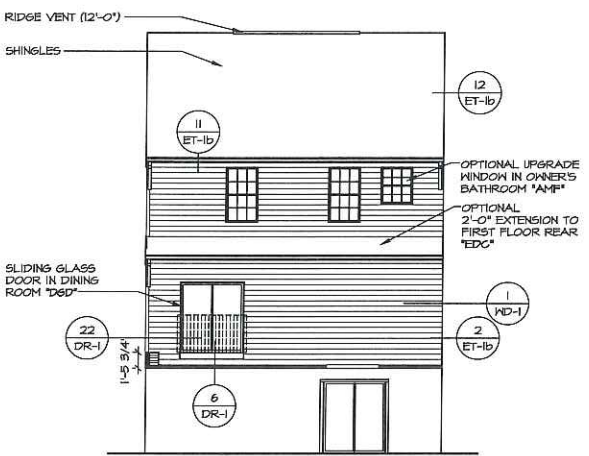
**2 REAR ELEVATION**  
SCALE: 1/8" = 1'-0"  
END CONDITION "SAE"  
OWNER'S BATHROOM "AMF"  
GAS FIREPLACE GREAT ROOM REAR "L66"



**3 REAR ELEVATION**  
SCALE: 1/8" = 1'-0"  
END CONDITION "SAE"  
2'-0" EXTENSION TO FIRST FLOOR REAR "EDC"



**4 REAR ELEVATION**  
SCALE: 1/8" = 1'-0"  
END CONDITION "SAE"  
WITH WALKOUT BASEMENT REAR



**5 REAR ELEVATION**  
SCALE: 1/8" = 1'-0"  
END CONDITION "SAE"  
2'-0" EXTENSION TO FIRST FLOOR REAR "EDC"  
WITH WALKOUT BASEMENT REAR

REV. NO.	DATE	REMARKS
1	5/2/16	JPS - REVISED DETAIL CALLOUTS
2	6/2/16	GLS - REV. CENTER LINES OF WINDOWS GREAT RM. TO REMOVE FF. (PAX ID 34619)
3	11/29/16	JPS - REVISED PATIO DOOR SAFETY RAIL
4	12/29/16	HT - STANDARD DETAILS 3.0

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MODEL	ROSECLIFF
DRAWING TITLE	REAR ELEVATIONS
SHEET NO.	A-3
OPTION DESCRIPTION	LEVEL ENTRY
OPTION	10
SET NO.	RSC00_06
VERSION	06
DRAWN BY	KAD
DATE	10/1/15



