

**MEETING DATE: 04-11-19**

# **PLANNING COMMISSION**

**Case No. P19-07**

**216 S. Jefferson  
222 S. Jefferson  
226 S. Jefferson**

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# CITY of MEDINA

## Planning Commission

### April 11, 2019 Meeting

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**Case No:** P19-07

**Address:** 216, 222 & 226 S. Jefferson St.

**Applicant:** Anthony Vacanti (Buckingham, Doolittle & Burroughs, LLC)  
representing SDSS Properties, LLC

**Subject:** Rezone 216, 222 & 226 S. Jefferson Street from R-3 to M-U and Site  
Plan Approval to develop the properties for commercial use

**Submitted by:** Jonathan Mendel, Community Development Director 

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#### **Subject Site:**

The subject site is three platted lots addressed 216, 222 and 226 S. Jefferson St. located on the east side of the 200 block of S. Jefferson St. and each lot has an existing single family detached residential structure.

#### **Project Introduction:**

The applicant requests rezoning the subject properties from R-3, High Density Urban Residential to M-U, Multi-Use and Site Plan approval to develop the properties for commercial use under the M-U district and general zoning code regulatory framework.

The applicant proposes developing the subject properties for commercial use and provide parking for the subject site and existing Dominic's restaurant directly across S. Jefferson St. The most prominent part of the development plan is the shared 26 space parking area crossing the sides and rear of the subject properties.

As part of the site development plan, there are some noncompliant items (parking spaces in the required front yard and screening planting placement) for which the applicant requests variances. These variance requests will be reviewed by the Board of Zoning Appeals at the April 11, 2019 meeting.

Please find attached to this report:

1. Applicant's narrative in support of the rezoning received March 12, 2019
2. Site development plans received March 22, 2019 and March 28, 2019
3. Current City of Medina Zoning Map

4. Future Land Use map from the City of Medina 2007 Comprehensive Plan Update and a detail of the subject property's immediate vicinity on the map
5. City of Medina M-U (Chapter 1129) zoning district regulations
6. Aerial photograph with City of Medina Zoning Districts overlay.

**Present Zoning:**

The subject property is presently zoned R-3 High Density Urban Residential. The permitted uses include single-family detached dwellings. The conditionally permitted uses include two-family dwellings, group homes, schools, churches, etc. Commercial and office uses are not permitted in the R-3 zoning district.

**Proposed Zoning:**

The applicant proposes rezoning the subject properties to M-U, Multi-Use. This zoning district permits a limited range of commercial uses such as office, convenience retail, two-family, single-family, etc. The conditionally permitted uses are a range of uses such as multi-family dwellings, churches and restaurants.

The applicant provides discussion points to support their request to rezone from R-3 to M-U, which are attached in the packet.

**2007 City of Medina Comprehensive Plan Update – Future Land Use Map**

The Future Land Use map in the Comprehensive Plan Update is a visual guide for future municipal planning and land use within the city. The map currently designates the subject properties *Mixed Use*.

**Staff Analysis:**

In evaluating the proposed rezoning, the following items must be considered:

- Consistency with the 2007 City of Medina Comprehensive Plan Update – Future Land Use Map
- Consider all possible permitted and conditionally permitted uses in the proposed zoning district and lot development standards.

The City's 2007 Comprehensive Plan Update designates the subject properties as *Mixed Use*, which is the same as the Future Land Use designation for the properties to the south on the east side of the 200 S. Jefferson St. that will continue being zoned R-3. This is also the designation for properties currently zoned M-U nearby on the 300 blocks of E. Washington St. and E. Smith Rd.

The *Mixed Use* designation is defined in the Comprehensive Plan as follows:

The Mixed Use land use classification allows a combination of limited commercial uses and residential uses. Most of the Mixed Use areas in the City are located adjacent to commercial or industrial areas, however the Mixed Use classification should also be considered in outlying areas of the City along major corridors, such as Weymouth Road. Regulations should be stratified to address the different and unique characteristics of each Mixed Use area. Regulations for areas near the Historic District should maintain the present residential

streetscape, while allowing non-residential land uses that are compatible with remaining residential uses. Regulations for outlying areas of the City should include greater flexibility and not necessarily require reuse of the existing housing stock. Mixed Use areas should include nonresidential uses that are compatible with existing residential uses and do not place excessive demands on City infrastructure and services.

This Future Land Use designation and its equivalent M-U zoning district were created to provide the flexible use of specific areas of historical housing where there may be need to allow a limited variety of residential and commercial uses for the houses in an effort to prevent possible deterioration or neglect if residential demand is not as strong as the commercial use demand.

As for the subject site, these properties are directly across the street from C-2, Central Business District (west side of the 200 block of Jefferson St.), which is a much more intensive commercial zoning district than the M-U and this block of Jefferson St. is part of the truck route around the southern side of central Medina. This involves regular heavy truck and car traffic moving north and south bound. The east side of the 200 block of S. Jefferson St. (including the subject properties) was likely designated Mixed Use in the comprehensive plan process due to the specific neighborhood environment on this segment of S. Jefferson St, which may not be optimal for residential-only uses/zoning.

In regards to the M-U district permitted and conditionally permitted uses and development standards, the M-U district in this specific neighborhood context could be considered an appropriate scale reduction zoning buffer between the C-2 zoned properties on the west side of the 200 block of S. Jefferson St. and the R-3 zoned and developed properties to the east along E. Washington St. and E. Smith Rd. In practical terms, the applicant's proposed site development plan for this site is the almost the complete extent of improvements that could be constructed under the applicable site development standards of the zoning code. Lastly, it is unlikely the more intensive M-U conditionally permitted uses (such as daycare, church or nursing home) would be viable at this site due the M-U restriction on building and site improvement scale and the small size of the site.

### **Site and Improvement Plan Review under M-U zoning**

#### **Site Plan Standards**

Section 1109.04 of the Planning and Zoning Code outlines guidelines for the development and redevelopment of properties within the City. Section 1109.04(A) establishes eight general provisions for development within the City. Several of the provisions apply to the applicant's proposal, but specifically the following are most applicable:

- (1) Strengthen, protect, enhance and improve the existing visual and aesthetic character of the City, and to prevent the creation or perpetuation of nuisances or blight in the City.
- (2) To integrate developments into the surrounding environment, as well as to ensure that each new development and redevelopment will be attractive.

The proposed project will adhere to and reinforce the above general purposes as this project will be consistent with the M-U district site design intent and regulations with one exemption. Section 1129.07(a) of the M-U district prohibits parking areas within the minimum required 40 foot front yard setback. The proposed parking area is designed with three parking spaces located in the front yard setback on the north side of the proposed parking area. The applicant is requesting a variance to this prohibition which will be reviewed by the Board of Zoning Appeals at the April 11, 2019 meeting.

### **Landscaping Plan**

Under the M-U zoning and the intent to use these properties as commercial, the landscaping and screening requirements of Section 1149.05 are applicable to the north, east and south perimeters of the subject site. These landscaping and screening buffers are required as the adjacent properties are still residential zoned districts and the applicant's development must provide improvements that mitigate typical negative impacts of commercial sites on residential properties. The applicant proposes an effectively compliant screening method of a 6 foot tall board-on-board fence with plantings placed on the inside of the fence. This method doesn't exactly comply with the method permitted (fence or wall placed near the property line with plantings between the property line and the fence or wall). The applicant is also requesting a variance from the Board of Zoning Appeals to permit the plantings to be placed inside the fence instead of outside the fence.

Additionally, under Section 1155.01(c)(1) of the zoning code, the proposed screening fence and plantings must be reduced to a maximum of 3 feet tall within the minimum required 40 foot front yard setback or removed completely in order to provide necessary clear sight vision triangles at the intersection of the private drives and the public sidewalk/street.

### **Site Lighting**

Planning and Zoning Code Section 1145.09(c) requires exterior lighting for parking areas and site circulation areas. The applicant's site lighting plan complies with applicable site lighting requirements.

### **Parking**

Section 1145.04(d) exempts the subject property from the requirements of 1145.04(A), because the site is within the Medina Downtown Parking District 1. Though, if they provide parking, the design should comply with the parking area dimensional requirements of the code. The proposed parking area complies with the dimensional requirements for parking areas.

### **City Department Comments:**

**Building Department.** No comment at this time

**Police Department.** No comment at this time.

**Water/Backflow.** No comment at this time.

**Fire Department.** No comment at this time.

**Engineering Department.** No comment at this time.

**Economic Development.** No comment at this time.

**City Forester.** No comment at this time.

### **General staff comment**

#### **Rezoning**

The proposed rezoning to M-U is consistent with the City of Medina 2007 Comprehensive Plan Future Land Use Map designation and use definition. Generally, future land use maps in comprehensive plans are designed to guide zoning map changes to provide some objective predictability for land owners.

The proposed site improvement plan for commercial use of the subject site under the M-U zoning is almost completely compliant with the various applicable Site Plan design guidelines, M-U district, parking design and landscaping/screening requirements of the zoning code. Though, given the rezoning request, any Site Plan approval under the M-U district zoning must be conditioned on City Council approval of a rezoning ordinance and that ordinance taking effect and the community.

#### **Recommendation:**

Staff recommends the following actions:

1. Recommend to the City Council rezoning 216, 222 & 226 S. Jefferson St. from R-3 High Density Urban Residential to M-U, Multi-Use.
2. Recommend Site Plan approval of the proposed development plan for 216, 222 & 226 S. Jefferson St. with the following conditions:
  - Site Plan approval is subject to City Council approving an ordinance to rezone 216, 222 & 226 S. Jefferson St. from R-3, High Density Urban Residential to M-U, Multi-Use and the ordinance taking effect.
  - Board of Zoning Appeals approves the variances from Section 1129.07(a) and 1149.05(c)(4) of the City of Medina Planning and Zoning Code.
  - Under Section 1155.01(c)(1) of the zoning code, the proposed screening fence and plantings must be reduced to a maximum of 3 feet tall within the minimum required 40 foot front yard setback or removed completely in order to provide necessary clear sight vision triangles at the intersection of the private drives and the public sidewalk/street.

Applicant's  
narrative in support  
of the rezoning  
received March 12,  
2019



March 12, 2019

**VIA HAND DELIVERY**

City of Medina Planning Department  
132 North Elmwood Street  
Medina, Ohio 44256

**RE: 216 S. Jefferson St., Medina, Ohio 44256 / 222 S. Jefferson St., Medina, OH 44256 /  
226 S. Jefferson St., Medina, Ohio 44256**

To Whom It May Concern:

The undersigned and the law firm of Buckingham, Doolittle & Burroughs, LLC represents SDSS Properties, LLC (“SDSS”) regarding the enclosed planning application concerning the above referenced properties (“the Properties”). SDSS is requesting that the Properties be rezoned from R-3 High Density Urban Residential District to M-U Multi-Use District.

SDSS ultimately plans to utilize the Properties for residential purposes, in addition to commercial, professional and administrative offices with off street, shared parking as reflected in the survey and preliminary plans enclosed herewith. SDSS intends to utilize the current structures on the Properties and does not intend to materially alter the exterior of the Properties<sup>1</sup>, but plans to remodel the interior for business purposes as may be needed in the future. In order to further such M-U Multi-Use District use, SDSS proposes adding a shared parking area and access drives as shown. SDSS will be submitting, under separate cover, an application for site plan approval for such alterations.

While the Properties are currently zoned R-3 High Denisty Urban Residential, the properties located directly to the west, across S. Jefferston Street, are zoned C-2 Central Business District. Additionally, the City of Medina, Ohio Comprehensive Plan Update has identified the Properties’ future land use as “Mixed Use.” According to the Comprehenisve Plan, “Mixed Use allows a combination of limited commercial uses and residential uses. . . Mixed Use areas should include nonresidential uses that are compatible with existing residential uses and do not place excessive demands on City infrastructure and services.” SDSS’s proposed rezoning is consistent with the City’s Comprehensive Plan. SDSS’s use of the Properties as residential and small commercial / professional / administrative offices, with parking, will not be disruptive to the surrounding uses and will not place excessive demands on City services or infrastructure.

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<sup>1</sup> SDSS does plan to make exterior and interior changes, as required by law, in order to make the Properties suitable for business purposes.

MAR 12 2019

Not only is the proposed rezoning consistent with the Comprehensive Plan, but it is also consistent with the purpose of the Multi-Use District. Section 1129.01 of the City's Ordinances outlines the purposes behind such district:

The Multi-Use District is established to allow a combination of limited commercial uses and residential uses in areas of the City located adjacent to commercial areas that indicate a changing trend. The purpose of the district is to maintain the present residential streetscape, while allowing alternative land uses where necessary that are compatible with the remaining residential uses with a residential environment. Uses in the district are limited to those most likely to use the existing residential building without putting excessive demands on mechanical or utility systems.

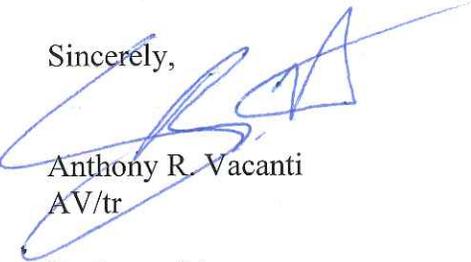
This rezoning will allow a combination of commercial and residential uses, the property is located adjacent to a commercial area, and will maintain the residential streetscape. There will be no excessive demands on mechanical or utility systems.

There will be more than adequate off-street parking available. SDSS intends to share its parking across all three Properties, as well as with Dominic's Italian Restaurant and Jo Jo's Sports Bar & Grille, which are currently suffering from a lack of adequate parking due to the library expansion and library patrons using the off-street parking for those locations. Notably, Code Section 1145.04(c) makes it clear that "[j]oint use of parking is encouraged." SDSS will be submitting with the site plan application a parking, landscaping, and lighting plan (the enclosed plans are preliminary and for reference only).

Because the proposed rezoning is consistent with the City's Comprehensive Plan, Multi-Use District purposes, and will alleviate the parking congestion that currently exists in the immediate area, the requested zoning map amendment should be approved.

We look forward to working with the City on this project. Please do not hesitate to contact me should you have any questions or require any additional information.

Sincerely,



Anthony R. Vacanti  
AV/tr

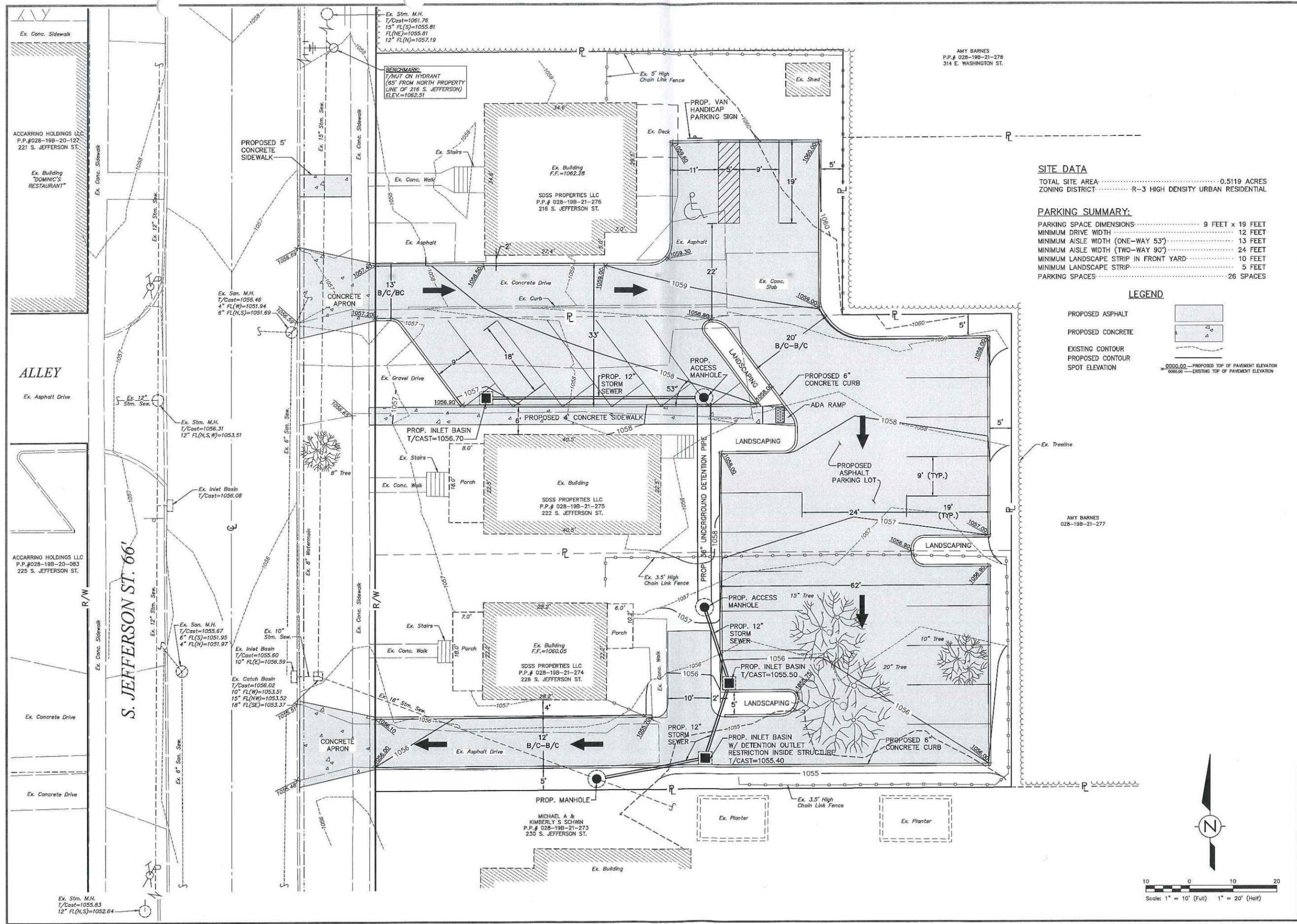
Enclosure(s)

cc: SDSS Properties, LLC

Site development  
plans received  
March 22, 2019 and  
March 28, 2019



M:\Job Folders\2018\18-117\Drawings\18-117-SP.dwg, 3/22/2019 10:25 AM, Autocad



**SITE DATA**  
 TOTAL SITE AREA ..... 0.5119 ACRES  
 ZONING DISTRICT ..... R-3 HIGH DENSITY URBAN RESIDENTIAL

**PARKING SUMMARY:**  
 PARKING SPACE DIMENSIONS ..... 9 FEET x 19 FEET  
 MINIMUM DRIVE WIDTH ..... 12 FEET  
 MINIMUM AISLE WIDTH (ONE-WAY 53') ..... 13 FEET  
 MINIMUM AISLE WIDTH (TWO-WAY 90') ..... 24 FEET  
 MINIMUM LANDSCAPE STRIP IN FRONT YARD ..... 10 FEET  
 MINIMUM LANDSCAPE STRIP ..... 5 FEET  
 PARKING SPACES ..... 26 SPACES

**LEGEND**

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT ELEVATION

\* 0000.00 — PROPOSED TOP OF PAVEMENT ELEVATION  
 0000.00 — EXISTING TOP OF PAVEMENT ELEVATION

REV.	DATE	DESCRIPTION

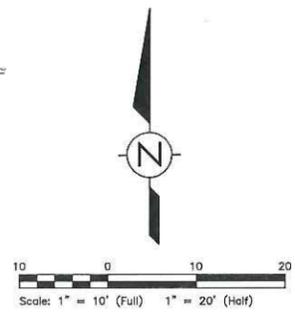
**216, 222, & 226 S. JEFFERSON ST.**  
 LOCATED IN  
 COUNTY OF MEDINA  
**CUNNINGHAM & ASSOCIATES, INC.**  
 CIVIL ENGINEERING and SURVEYING  
 203 W. LIBERTY ST., MEDINA, OHIO 44026 330-723-5980

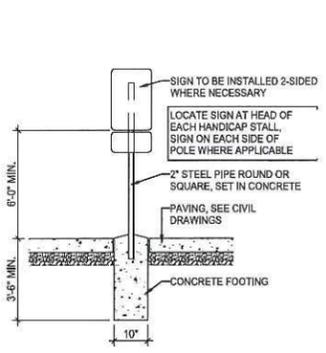
**PRELIMINARY SITE PLAN**

DRAWN BY: CAH  
 DATE: 03/22/19  
 CHECKED BY: NEJ  
 DATE: 03/22/19  
 PROJECT No.  
 18-117  
 ACAD FILE No.  
 M...18-117-SP

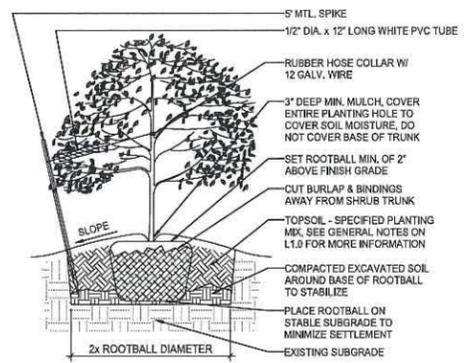
SCALE: PLAN- 1"=10'  
 PROFILE-Hor. Vert.

SHEET NO.  
 2 / 2

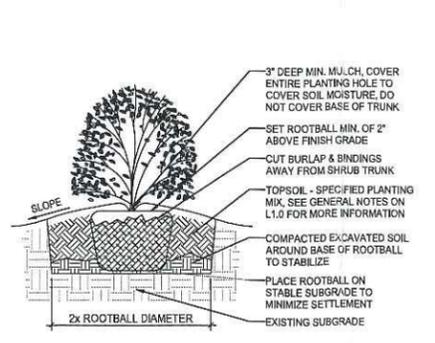




**4 ACCESSIBLE SIGN POLE**  
SCALE: 1/2" = 1'-0"



**3 DECIDUOUS TREE PLANTING**  
SCALE: 1/2" = 1'-0"



**2 SHRUB PLANTING**  
SCALE: 1/2" = 1'-0"

**LANDSCAPING LEGEND**

SYMBOL	NAME	SIZE	CONDITION
AC PL	ACER PLAT. 'GLOBOSUM'	2" CAL.	B&B
IR PL	GLOBE NORWAY MAPLE		
IR VS	IRIS VERSICOLOR	24" HT.	CONT.
IR BF	BLUEFLAG IRIS		
AS NO	ASTER NOVAE-ANGIAE	24" HT.	CONT.
AS NE	NEW ENGLAND ASTER		
CA CA	CALAMAGROSTIS CANADENSIS	1 GAL.	CONT.
BJ GR	BLUEJOINT GRASS		
TH EM	THUJA EMERALD	48" HT.	CONT.
EM AR	EMERALD GREEN ARBOR VITAE		
ON SF	ONOCLEA SENSIBILIS	24" HT.	CONT.
SN FE	SENSITIVE FERN		

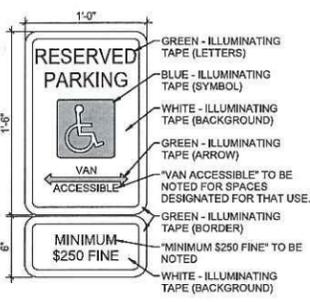
**NOTE:**  
ALL PLANTS CALLED OUT ON THIS PLAN ARE SUGGESTED SELECTIONS ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL PLANTS ACCORDING TO EXPOSURE AND OTHER ON SITE CONDITIONS. DESIGNER IS NOT RESPONSIBLE FOR FAILED PLANTINGS

\* SPECIES, MATURITY, AND PLANTING OF STREET TREES IN THE PUBLIC RIGHT OF WAY ARE TO BE COORDINATED AND FINALIZED WITH THE CITY OF MEDINA.

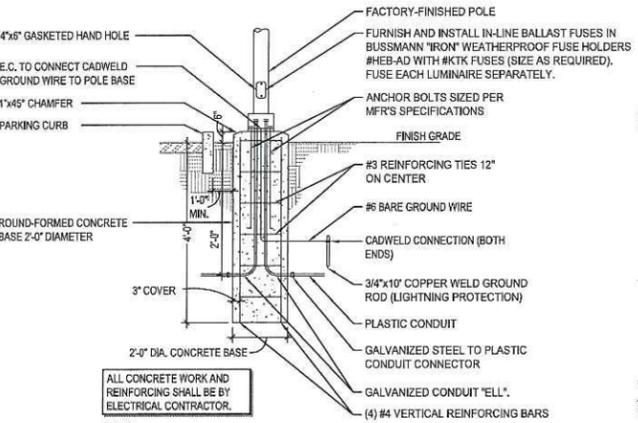
PLANT COUNTS GIVEN ONLY FOR NEW PLANTS PART OF REVISED DRAWINGS FOR THE AMENDMENT TO THE EXISTING CASE FILE.

PLEASE CONTACT THE MEDINA CITY ARBORIST CURTIS WELLOCK AT (330) 350-2034 PRIOR TO COMMENCING WITH ANY LANDSCAPE WORK WITHIN THE ROAD RIGHT-OF-WAY.

- GENERAL NOTE**  
REFER TO CIVIL DRAWINGS FOR SPECIFIC PARKING DESIGN LAYOUT, DIMENSIONS AND DETAILS.
- GENERAL LANDSCAPE NOTES**
- ALL SINGLE STEM TREES TO HAVE STRAIGHT TRUNK AND SYMMETRICAL CROWNS.
  - ALL SINGLE TRUNK SHADE TREES TO HAVE CENTRAL LEADER, TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
  - ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
  - ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED, FULL TO THE GROUND AND SYMMETRICAL IN SHAPE.
  - ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
  - IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
  - ALL PLANTING BEDS SHALL BE MOUNDED TOWARD THE CENTER. ISLANDS TO BE KEYS AT PERIMETER EDGE TO HOLD / MAINTAIN MULCH.
  - CONTRACTOR TO VERIFY UTILITY ROUTINGS AND COORDINATE THIS WORK WITH EXISTING UTILITY LOCATIONS. ADJUST PLANT MATERIAL ACCORDINGLY.
  - PROVIDE DOUBLE SHREDDED HARDWOOD BARK MULCH 3" DEEP MIN. AT ALL PLANTING BEDS. PROVIDE A MIN. 3" DIAMETER MULCH BED AROUND EACH INDIVIDUAL TREE UNLESS TREES ARE INCORPORATED IN A PLANTING BED. MULCH COLOR TO BE BLACK UNLESS OTHERWISE SPECIFIED BY THE OWNER. CONTRACTOR SHALL SUBMIT MULCH SAMPLES TO OWNER FOR APPROVAL PRIOR TO ORDERING.
  - ALL PLANTING BEDS TO RECEIVE A MIN. 6" DEPTH OF SOIL MIX AFTER FINAL GRADE IS ESTABLISHED. SOIL MIX SHALL CONSIST OF 50% SCREENED TOPSOIL, 25% SAND AND 25% LEAF HUMUS. ALL SEEDED AREAS TO RECEIVE A MINIMUM OF 2" OF CLEAN FINE GRADED TOPSOIL, FREE OF ALL ROCKS AND DELETERIOUS DEBRIS.
  - CONTRACTOR TO APPLY STARTER FERTILIZER (20-25-6) OR APPROVED SIMILAR FOR ALL LAWN AND PLANT MATERIALS.
  - ANY PLANT MATERIAL SUBSTITUTIONS TO BE VERIFIED AND APPROVED BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - PLACEMENT OF PLANTING MATERIALS SHALL NOT AFFECT THE INTENDED DRAINAGE PATTERN OF THE FINAL GRADING PLAN. THIS INCLUDES BUT IS NOT LIMITED TO PLACING PLANT MATERIALS IN SWALES OR CREATING MOUNDS THAT BLOCK THE INTENDED SURFACE DRAINAGE PATTERN.
  - PLANT LISTS ARE PROVIDED FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL PLANT MATERIALS INDICATED ON THE PLANS, AND MAINTAINING FOR A MINIMUM OF 90 DAYS.
  - ALL PLANTINGS SHALL RECEIVE A (1) YEAR COMPLETE REPLACEMENT WARRANTY.
  - CONTRACTOR SHALL EXTEND IRRIGATION SYSTEM AS NEEDED TO PROVIDE PROPER IRRIGATION TO ALL PLANTING AREAS.
  - ALL PLANTS CALLED OUT ON THIS PLAN ARE SUGGESTED SELECTIONS ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL PLANTS ACCORDING TO EXPOSURE AND OTHER ON SITE CONDITIONS. DESIGNER IS NOT RESPONSIBLE FOR FAILED PLANTINGS.

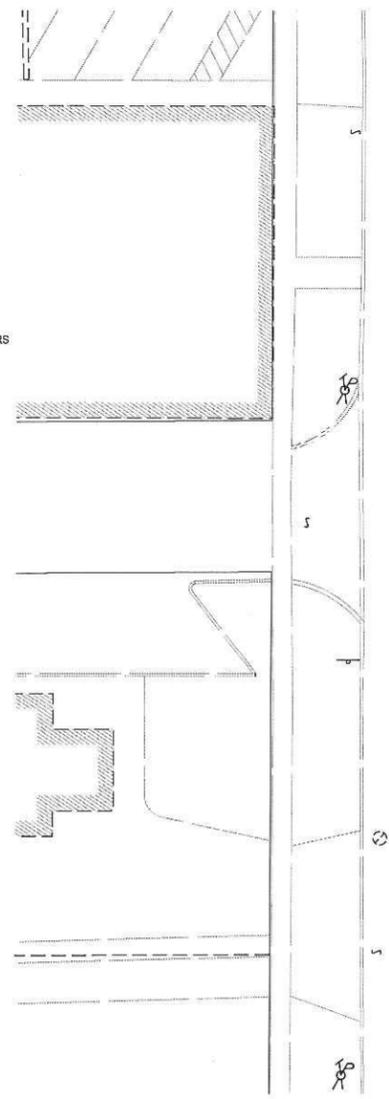


**5 ACCESSIBLE PARKING SIGNAGE**  
SCALE: 1-1/2" = 1'-0"

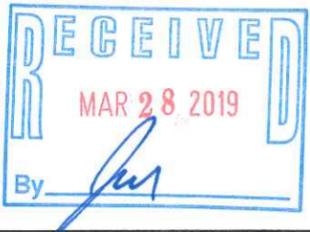


- NOTES:**
- 3500 P.S.I. MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
  - IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
  - FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS. USE TEMPORARY SLEEVE IF REQUIRED.
  - FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 P.S.F. (TO BE VERIFIED BY ON-SITE GEOTECH) INCREASE BASE DEPTHS AS REQUIRED.

**6 LIGHT POLE BASE DETAIL**  
SCALE: 3/4" = 1'-0"



**1 LANDSCAPE PLAN**  
SCALE: 1/16" = 1'-0"



**REVISIONS**

- 03/27/2019 INITIAL CITY OF MEDINA REVIEW COMMENTS

phone 330.666.5770  
fax 330.666.8812

3660 Embassy Parkway  
Fairlawn, OH 44333

**MPG ARCHITECTS**  
MANN • PARSONS • GRAY

mpg-architects.com

**LANDSCAPE PLAN**

PROJECT #: 17818 DATE: MARCH 21, 2019

**S. JEFFERSON STREET PARKING**

216, 222 & 226 S. JEFFERSON STREET  
MEDINA, OHIO 44256

- FLAG NOTES - LANDSCAPE PLAN**
- LINE IDENTIFY EXTENT OF LANDSCAPING BEDS. SEE GENERAL NOTES ABOVE FOR MORE INFORMATION.
  - NEW CONCRETE SIDEWALK TO CONNECT TO EXISTING SIDEWALK. 4" REINFORCED CONCRETE WITH 6# W1.4xW1.4 WWF REINFORCING OVER 4" GRANULAR FILL OVER WELL COMPACTED EARTH. CONTROL JOINTS @ 5'-0" O.C. MAX. - REFER TO CIVIL DRAWINGS.
  - EXISTING CONCRETE SIDEWALK.
  - EXISTING BUILDING.
  - NEW CONCRETE CURB - REFER TO CIVIL DRAWINGS.
  - PROVIDE ACCESSIBLE RAMP WITH INTEGRATED DETECTABLE WARNING BUMPS - REFER TO CIVIL DRAWINGS.
  - NEW ASPHALT PAVED DRIVE AND PARKING - REFER TO CIVIL DRAWINGS.
  - NEW TRAFFIC DIRECTION FLOW - REFER TO CIVIL DRAWINGS.
  - NEW 6" TALL P.T. BOARD ON BOARD FENCE WITH P.T. 4x4 POSTS SPACES AT 8'-0" O.C. MAX AND SET IN 12" DIA. x 42" DEEP CONCRETE FOOTING - CONTRACTOR TO COORDINATE COLOR AND STYLE WITH OWNER.
  - NEW ISLAND WITH PLANTINGS.
  - NEW PARKING AREA LIGHTING POLE.
  - ACCESSIBLE PARKING SPACE.
  - ACCESSIBLE PARKING SIGNAGE.
  - ACCESSIBLE PARKING AISLE.

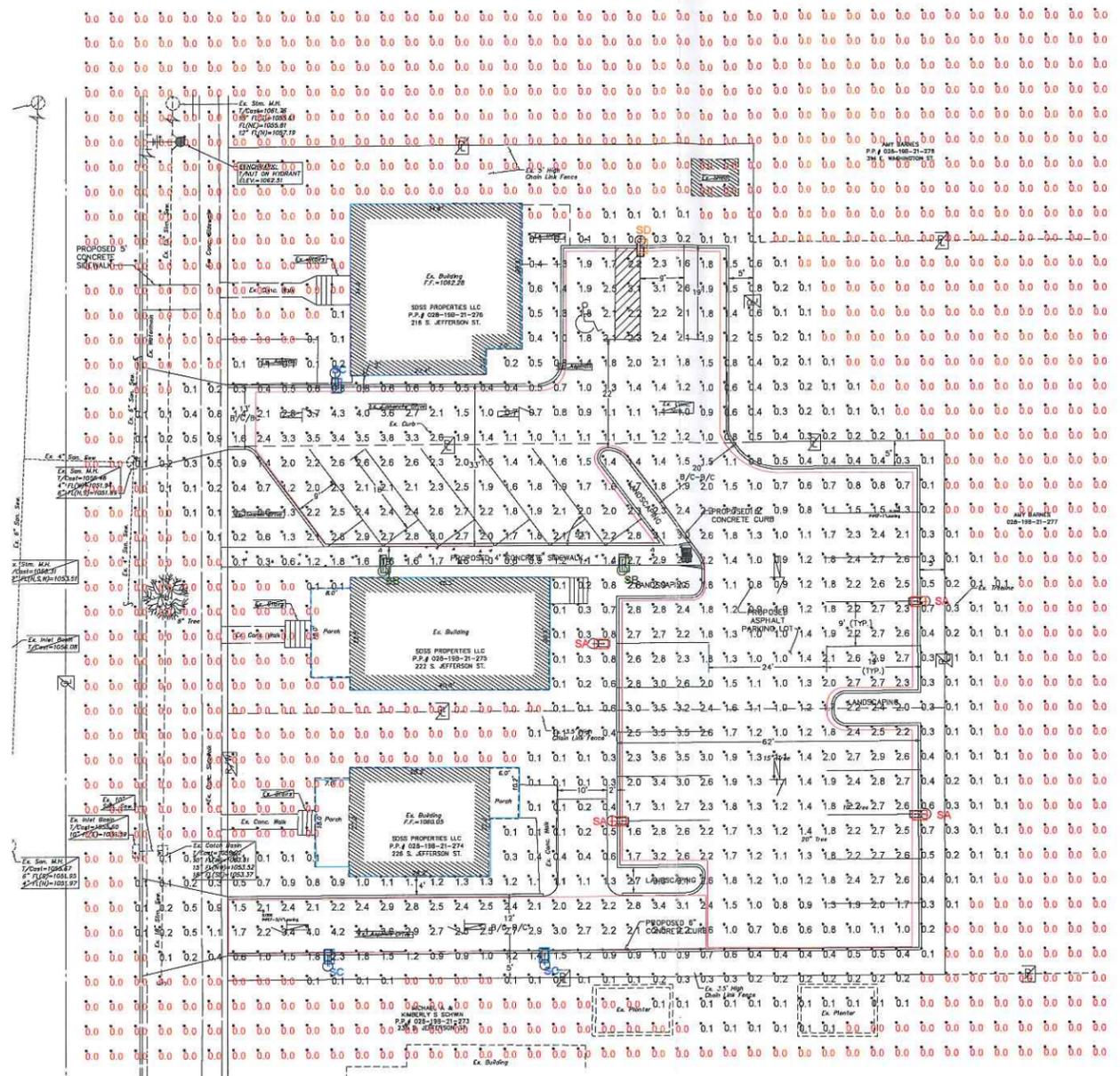
**LIGHTING LEGEND**

SYMBOL	TYPE	HEIGHT	QUANTITY
⊕	SITE LIGHTING	10'-0"	9

**SITE INFORMATION**

PARCELS: 028-199-21-276, 028-199-21-275, 028-199-21-274  
PARCEL SIZE: 0.14 AC (-6,476 SQ. FT.) + 0.18 (-7,862 SQ. FT.) + 0.18 (-7,886 SQ. FT.) = 0.51 AC

PARKING AREA: +/-10,561 SQ. FT.  
LANDSCAPING BEDS TOTAL: +/-2,185 SQ. FT.  
PARKING SPACES: 26 (INCLUDING 2 ACCESSIBLE)



Symbol	Qty	Label	LLF	Lum. Lumens	Description	Filename	Lum. Watts
SA	4	.90	.2758	KIM LIGHTING: ALTI-28L-40-4K7-4W-UNV-ASQ-DB-BC-WHATLEY; SS4-8-AB-DBZ-SMS-DTC	ALTI-28L-40-4K7-4W-BC.les	38	
SB	2	.90	.2758	KIM LIGHTING: ALTI-28L-40-4K7-4W-UNV-ASQ-DB-BC-WHATLEY; SS4-9.5-AB-DBZ-SMS-DTC	ALTI-28L-40-4K7-4W-BC.les	38	
SC	3	.90	.1865	KIM LIGHTING: ALTI-28L-20-4K7-2-UNV-ASQ-DB-BC-WHATLEY; SS4-8-AB-DBZ-SMS-DTC	ALTI-28L-20-4K7-2-BC.les	22	
SD	1	.90	.2305	KIM LIGHTING: ALTI-28L-20-4K7-4-UNV-ASQ-DB-BC-WHATLEY; SS4-8-AB-DBZ-SMS-DTC	ALTI-28L-20-4K7-4-BC.les	22	

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
driveway	illuminance	Fc	2.30	4.2	0.6	3.83	7.00
parking areas	illuminance	Fc	1.92	4.3	0.6	3.20	7.17

NOTES:  
 1. TYPES-SA, SC & SD OVERALL MOUNTING HEIGHT: 8' POLE + 2' CONCRETE BASE = 10' A.F.G.  
 2. TYPE-SB OVERALL MOUNTING HEIGHT: 8.5' POLE + .5' CONCRETE BASE = 9' A.F.G.  
 3. DARK BRONZE FINISH  
 4. ILLUMINANCE READINGS TAKEN ON THE PAVEMENT

PHOTOMETRIC STUDY  
 Scale: 1/16" = 1' - 0"

#	Date	Comments

Revisions

Drawn By:  
 Checked By:  
 Date: 3/22/2019  
 Scale:

S. Jefferson St. Parking Lot  
 Site Lighting Photometric Study

# Current City of Medina Zoning Map



# Zoning District Map

Effective February 21, 2018 (Ord. 15-18)

## Legend

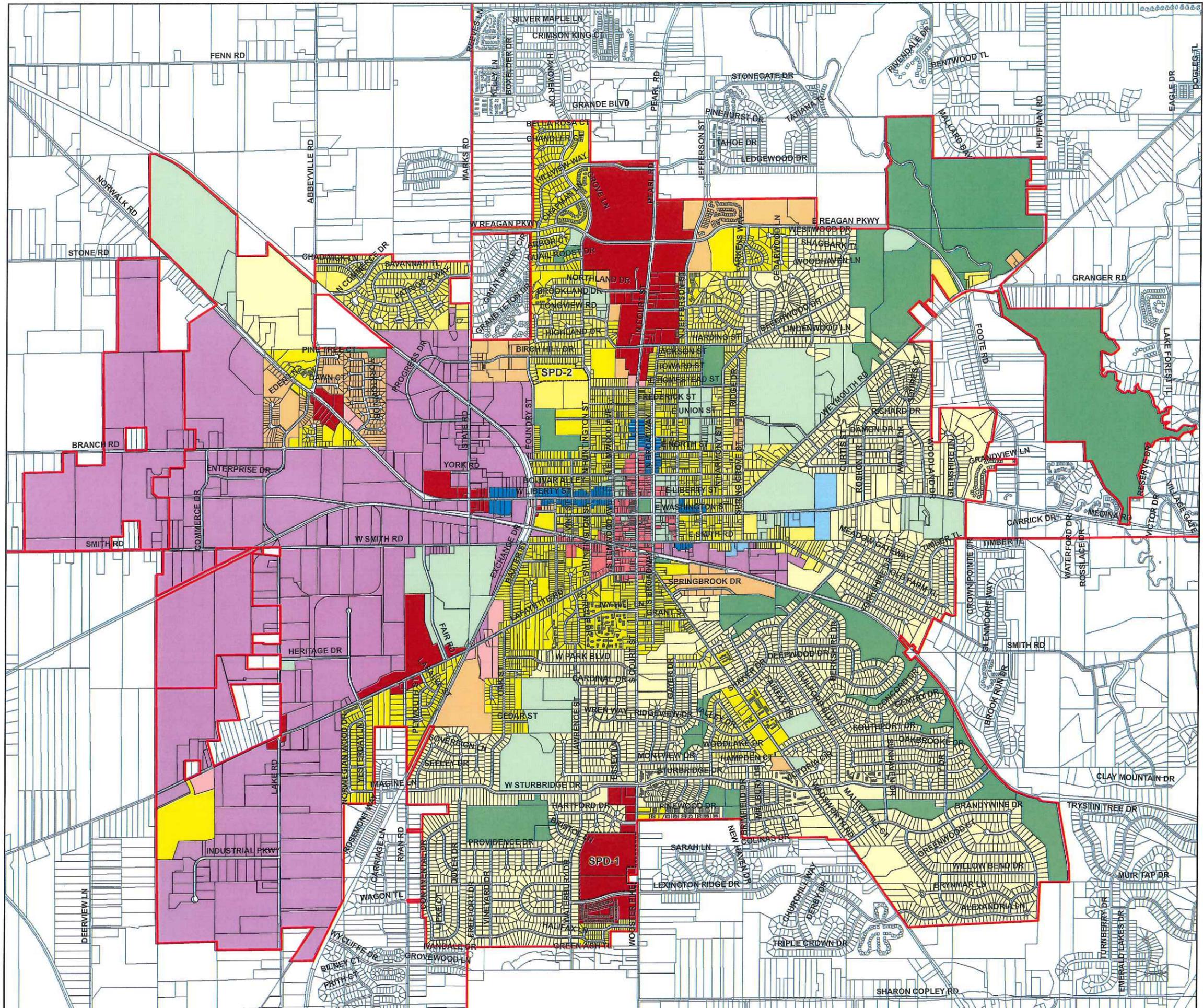
- City Boundary
- O-C Open Space Conservation
- R-1 Low Density Urban Residential
- R-2 Medium Density Urban Residential
- R-3 High Density Urban Residential
- R-4 Multi-Family Residential
- M-U Multi-Use
- P-F Public Facilities
- C-S Commercial Service
- C-1 Local Commercial
- C-2 Central Business
- C-3 General Commercial
- I-1 Industrial

### Note:

This map is updated frequently and may not represent the most current information. To ensure accurate information contact the City of Medina at 330-764-4652.

The lot lines of this map are representative of the actual lot lines and are not intended to be substituted for an official survey or used to resolve boundary or area issues. Secure a survey, consult County records or the City Clerk of Council records for dimensions and areas of lots and boundaries.

Prepared by City of Medina  
Community Development Department  
February 22 2018



Future Land Use map  
from the City of  
Medina 2007

Comprehensive Plan  
Update and a detail of  
the subject property's  
immediate vicinity on  
the map



WASHIN

E. SMITH

E SM

Subject site

ADWAY



City of Medina M-U  
(Chapter 1129) zoning  
district regulations

**CHAPTER 1129**  
**M-U Multi-Use District**

- 1129.01** Purpose.
- 1129.02** Principally permitted uses.
- 1129.03** Accessory uses.
- 1129.04** Conditionally permitted uses.
- 1129.05** Lot development standards.
- 1129.06** Supplemental regulations.
- 1129.07** Off-street parking and loading.
- 1129.08** Signage.
- 1129.09** Landscape and buffering.

**CROSS REFERENCES**

- Definitions - see P. & Z. Ch. 1105
- District established - see P. & Z. 1113.01

### **1129.01 PURPOSE.**

The Multi-Use District is established to allow a combination of limited commercial uses and residential uses in areas of the City located adjacent to commercial areas that indicate a changing trend. The purpose of the district is to maintain the present residential streetscape, while allowing alternative land uses where necessary that are compatible with the remaining residential uses with a residential environment. Uses in the district are limited to those most likely to use the existing residential building without putting excessive demands on mechanical or utility systems.

(Ord. 109-14. Passed 6-23-14.)

**1129.02 PRINCIPALLY PERMITTED USES.**

The following uses shall be permitted in the M-U Multi-Use District:

**Residential  
Public/Semi-Public  
Commercial**

- Bed and Breakfast Inn
- None
- Convenience Retail
- Single Family Attached Dwelling
- Funeral Home
- Single Family Detached Dwelling
- Office - Professional,  
Medical and  
Administrative
- Two Family Dwelling
- Personal and Professional  
Services

(Ord. 109-14. Passed 6-23-14.)

**1129.03 ACCESSORY USES.**

The following uses shall be permitted as accessory uses in the M-U Multi-Use District:

- (a) Accessory buildings and uses.
- (b) Home Occupation.

(Ord. 109-14. Passed 6-23-14.)

**1129.04 CONDITIONALLY PERMITTED USES.**

The following uses shall be permitted as conditionally permitted uses in the M-U Multi-Use District subject to the requirements of Chapter 1153, Conditional Uses. Numerical identification after each item corresponds to specific standards in Section 1153.04, Conditionally Permitted Use Regulations.

Residential	Public/Semi-Public	Commercial
<ul style="list-style-type: none"> <li>• Group Home up to 8 Individuals</li> </ul>	<ul style="list-style-type: none"> <li>• Cemetery 3,7,20</li> </ul>	<ul style="list-style-type: none"> <li>• Child Day Care Center and Nursery 2,5,9,11,14</li> </ul>
<ul style="list-style-type: none"> <li>• Group Home 9 - 16 Individuals</li> </ul>	<ul style="list-style-type: none"> <li>• Conservation Use</li> </ul>	<ul style="list-style-type: none"> <li>• Multiple Uses in a Single Building</li> </ul>
<ul style="list-style-type: none"> <li>• In-Law Suite</li> </ul>	<ul style="list-style-type: none"> <li>• Publicly Owned or Operated Governmental Facility 3,7,8,11</li> </ul>	<ul style="list-style-type: none"> <li>• Personal and Professional Services with Drive-Thru</li> </ul>
<ul style="list-style-type: none"> <li>• Multi-Family Dwelling 5,11,16,26,27,28,29</li> </ul>	<ul style="list-style-type: none"> <li>• Public or Quasi-Public Owned Park or Recreation Facility 1, 2, 3, 4, 5, 9, 11, 14, 22, 24, 25</li> </ul>	
<ul style="list-style-type: none"> <li>• Nursing Home, Assisted Living Facility, Independent Living Facility 1,2,3,5,7,9,11,14</li> </ul>	<ul style="list-style-type: none"> <li>• Religious Place of Worship 1,3, 7,11,12,14</li> </ul>	
	<ul style="list-style-type: none"> <li>• Urban Garden</li> </ul>	

(Ord. 109-14. Passed 6-23-14.)

**1129.05 LOT DEVELOPMENT STANDARDS.**

Lots in the M-U Multi-Use District shall adhere to the following standards:

Minimum Lot Size	<ul style="list-style-type: none"> <li>• 7,000 square feet Single Family Detached Dwelling</li> <li>• 14,000 square feet Two Family Dwelling and Other Uses</li> <li>• 5,400 square feet per Dwelling Unit for Multi-Family and Single Family Attached</li> <li>• No minimum lot size for non-residential uses</li> </ul>
Minimum Lot Width at Building Line	<ul style="list-style-type: none"> <li>• 65 Feet Single Family Detached Dwelling</li> <li>• 85 Feet Two Family Detached Dwelling</li> <li>• 100 Feet for Multi-Family and Single Family Attached</li> <li>• 50 Feet for non-residential uses</li> </ul>
Minimum Lot Frontage	• 40 Feet
Maximum Lot Depth	• None
Minimum Usable Open Space	• 25%
Maximum Lot Coverage	• 60%
Maximum Building Size	• None
Maximum Building Width	• None
Minimum Front Yard	• 40 Feet
Minimum Rear Yard	<ul style="list-style-type: none"> <li>• 30 Feet for Principal Use or Structure</li> <li>• 5 Feet for Accessory Use or Structure</li> </ul>
Minimum Side Yard	<ul style="list-style-type: none"> <li>• 5 Feet for Principal Use or Structure</li> <li>• 5 Feet for Accessory Use or Structure</li> </ul>
Maximum Height	<ul style="list-style-type: none"> <li>• 35 Feet for Principal Use or Structure</li> <li>• 15 Feet for Accessory Use or Structure</li> </ul>
Minimum District Size	• n/a

(Ord. 109-14. Passed 6-23-14.)

#### 1129.06 SUPPLEMENTAL REGULATIONS.

- (a) All uses permitted under Section 1129.02, other than one and two-family residences, shall be permitted only after review and approval of site plans by the Planning Commission according to the standards, criteria and regulations of Chapter 1109.
- (b) Exterior lighting shall not shine directly on adjacent properties and shall be designed to be compatible with a residential area.
- (c) Nothing in this chapter shall be interpreted to prohibit multiple or mixed uses within a single structure.
- (d) No fire escapes or other exterior stairways to upper floors of a building shall be located on a building facade facing a street.
- (e) All uses shall use the existing residential buildings in the district. Additions made to existing residential buildings after the effective date of this section shall be limited to twenty- five percent (25%) of the area of the principal building as it existed on the effective date of this section or 1,250 square feet, whichever is less.
- (f) When residential buildings are adapted for other uses permitted in the district, the new use shall maintain the same basic residential environment in terms of the building exterior, landscaping and operation of the nonresidential use.
- (g) All new buildings proposed for the M-U District after the effective date of this section shall not exceed twenty-five percent (25%) of the average of the floor areas of all principal residential buildings on lots adjacent to and across the street from the lot on which the new building is to be located, with the source for all such information to be Medina County tax parcel records. In addition, all new buildings shall be compatible with the existing residential environment in terms of scale, proportion, facade materials and color.
- (h) All uses shall be conducted in a manner which is compatible with a residential neighborhood.
- (Ord. 109-14. Passed 6-23-14.)

**1129.07 OFF-STREET PARKING AND LOADING.**

Off-street parking and loading shall be regulated pursuant to Chapter 1145, Off-Street Parking and Loading.

(a) Off-street parking shall not occupy any part of any required front yard or required side yard, but may be included in a required rear yard to within five (5) feet of the rear property line. Joint use of parking areas is encouraged. The Planning Commission may permit parking to extend to the side or rear property line in the case of a joint parking area for new conversions only. Existing conversions shall follow the variance process through the Board of Zoning Appeals.

(b) Parking shall be reviewed by the Planning Director to ensure that off-street parking areas are in character with surrounding residential development. This includes with width of access drives, parking in the rear yard and paving of the parking area(s).

(Ord. 109-14. Passed 6-23-14.)

**1129.08 SIGNAGE.**

Signage shall be regulated pursuant to Chapter 1147, Signs.  
(Ord. 109-14. Passed 6-23-14.)

**1129.09 LANDSCAPE AND BUFFERING.**

Landscape and buffering shall be regulated pursuant to Chapter 1149, Screening and Landscaping.  
(Ord. 109-14. Passed 6-23-14.)

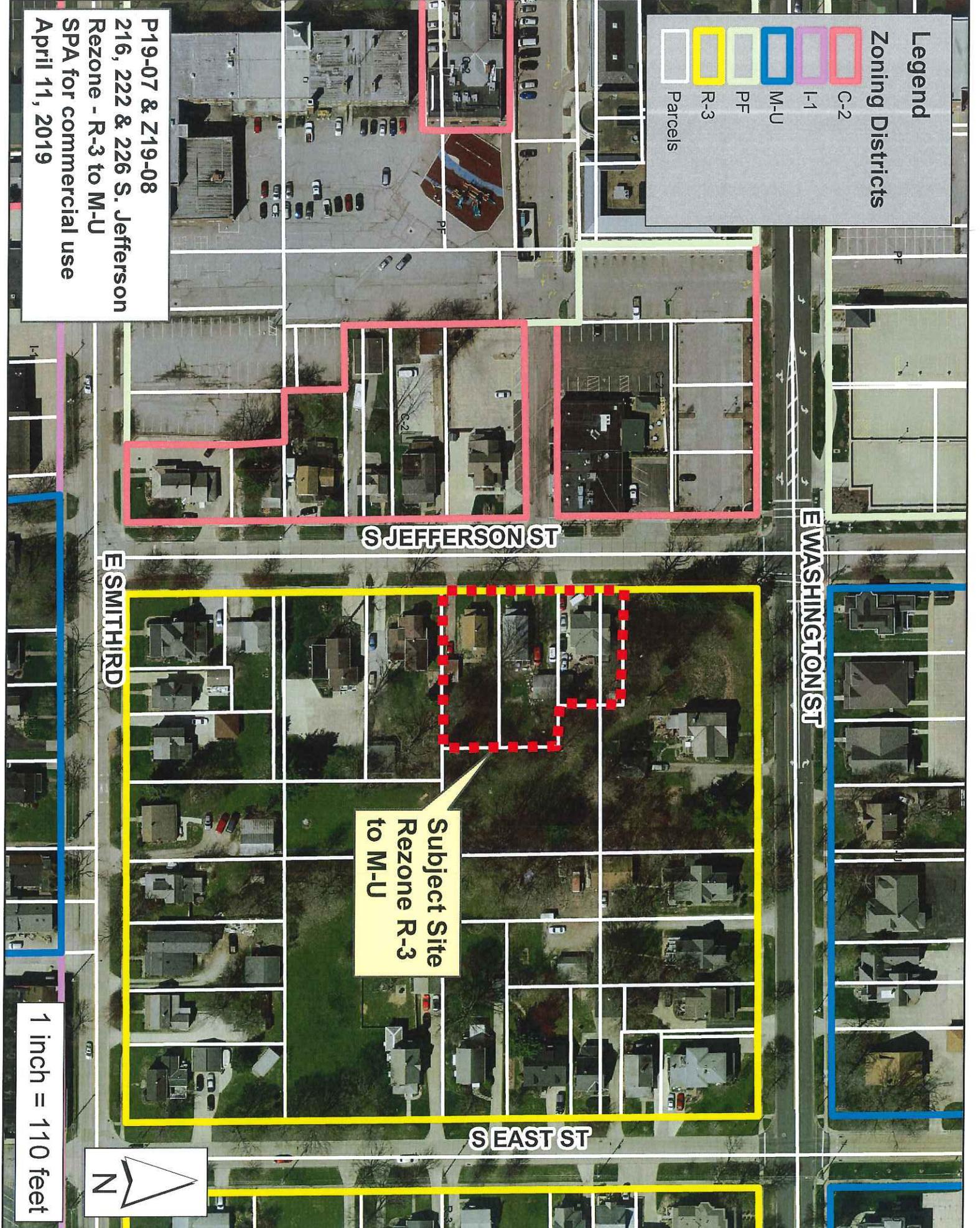
Aerial photograph  
with City of Medina  
Zoning Districts  
overlay.

**Legend**

**Zoning Districts**

- C-2
- I-1
- M-U
- PF
- R-3
- Parcels

**P19-07 & Z19-08**  
**216, 222 & 226 S. Jefferson**  
**Rezone - R-3 to M-U**  
**SPA for commercial use**  
**April 11, 2019**



**S JEFFERSON ST**

**E WASHINGTON ST**

**E SMITH RD**

**S EAST ST**

**Subject Site**  
**Rezone R-3**  
**to M-U**

**1 inch = 110 feet**

