

MEETING DATE: 04-11-19

PLANNING COMMISSION

Case No. P19-08

840 S. Progress



CITY of MEDINA
Planning Commission
April 11, 2019 Meeting

Case No: P19-08
Address: 840 S. Progress Drive
Applicant: Lew Kluczarov, Inc.
Subject: Conditional Zoning Certificate and Site Plan Approval – Contractor’s Equipment Storage Yard
Zoning: I-1, Industrial
Submitted by: Jonathan Mendel, Community Development Director 

Site Location:

The site is located in the west side of the Progress Drive industrial neighborhood.

Background:

The applicant had a similar request approved by the Planning Commission in November 2017, but that approval has expired.

Project Introduction:

The applicant proposes a new Contractor’s Equipment Storage Yard and office building for the applicant’s construction business. This site is intended to consolidate office operations, equipment and materials in one location. The site will have a 14,000 sqft office/shop and multi-tenant building and a large paved and graveled storage, parking and staging yard for parts, machinery and business vehicles.

Section 1141.04 of the Planning and Zoning Code designates Contractor’s Equipment Storage Yards as a Conditionally Permitted Use. Therefore, the applicant requests a Conditional Zoning Certificate to permit the operation of the land use and Site Plan approval under Chapter 1109 of the Planning and Zoning Code for the specific site development plans.

Please find attached to this report:

1. Site aerial photo
2. Applicant’s project narrative and development plans received March 21, 2019

Conditional Zoning Certificate Review

The applicant's request must be reviewed by the Planning Commission for a Conditional Zoning Certificate and a public hearing must be conducted to comply with Chapter 1153 of the Planning and Zoning Code.

Public Hearing: The legal notices have been issued to permit the Public Hearing at the April 11, 2019 meeting. Based on the review of the case and the public hearing the Planning Commission may impose such additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights and for the insuring that the intent and objectives of this Zoning Ordinance will be observed.

Section 1153.03(b) Conditional Use General Standards:

The Planning Commission shall review the particular facts and circumstances of each proposed use in terms of the following standards:

- (1) Will be harmonious with and in accordance with the general objectives or with any specific objectives of the Land Use and Thoroughfare Plan of current adoption;*
- (2) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;*
- (3) Will not be hazardous or disturbing to existing or future neighboring uses;*
- (4) Will not be detrimental to property in the immediate vicinity or to the community as a whole;*
- (5) Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection drainage structures, refuse disposal and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide such service adequately;*
- (6) Will be in compliance with State, County and City regulations;*
- (7) Will have vehicular approaches to the property which shall be so designed as not to create an interference with traffic or surrounding public streets or roads.*

Staff Comment:

Reviewing the applicant's attached responses to the conditional use standards, the proposed is consistent with the above standards and compliant.

The applicant is providing a 50 foot landscape area buffer between the residential to the west of the active areas of the proposed site development plan. There is a fair amount of existing natural landscaping within the 50 foot buffer shown on the plans and they intend to retain what is present although there are certain areas where infill of additional plantings would be beneficial.

Staff Comment:

Parking and Circulation

The proposed Warehouse building requires 1 parking space per 2,000 sqft of building area. The proposed building is 14,000 sqft which requires 7 parking spaces. The site plan does not depict a designated parking area, but given the size of the vehicle circulation area on the south side of the building, a compliant parking area could be accommodated. A parking area striping plan can be submitted during the permit review process with the City of Medina Engineering and Building Departments.

Section 1145.09(a)(3)A permits gravel parking behind the building. The proposed site plan's gravel circulation areas adjacent to the proposed building. Since this site is approximately 450-500 feet south of the Progress Drive frontage along a paved drive access driveway, the gravel areas are to the rear of the minimum front yard setback and the property's public frontage. Therefore, it complies.

Landscaping

There is a 50 foot wide area of existing deciduous tree and shrub coverage along the west perimeter of the proposed site plan. Section 1149.05(c)(2) & (3) permit the Planning Director to waive the requirement for screening and buffering of the adjacent residential properties. The existing vegetative conditions on the site would comply with this allowance and retaining it should be a condition of approval for this request.

Due to some minor reduction of the amount of natural material in the 50 foot buffer over the last 1.5 years, staff recommends a 6-10 foot tall opaque wood fence be constructed at the east side of the 50 foot buffer area. This fence should start just south of the detention basin on the north and run south to the southern extent of the proposed project's activity area. The intent is this fence will provide additional visual buffering of the residential district to the west in addition to the existing natural screening that's being preserved.

Site Lighting

The proposed site lighting plan has been included and complies with the requirements of Section 1145.09(c) of the Planning and Zoning Code.

Staff Comments:

- Building Department.** No comments at this time
- Police Chief.** No comment at this time
- Service Department.** No comments at this time
- Fire Department** No comment at this time
- Engineering Department** No comment at this time
- City Forester** No comment at this time
- Economic Development.** No comment at this time

General Staff Comments

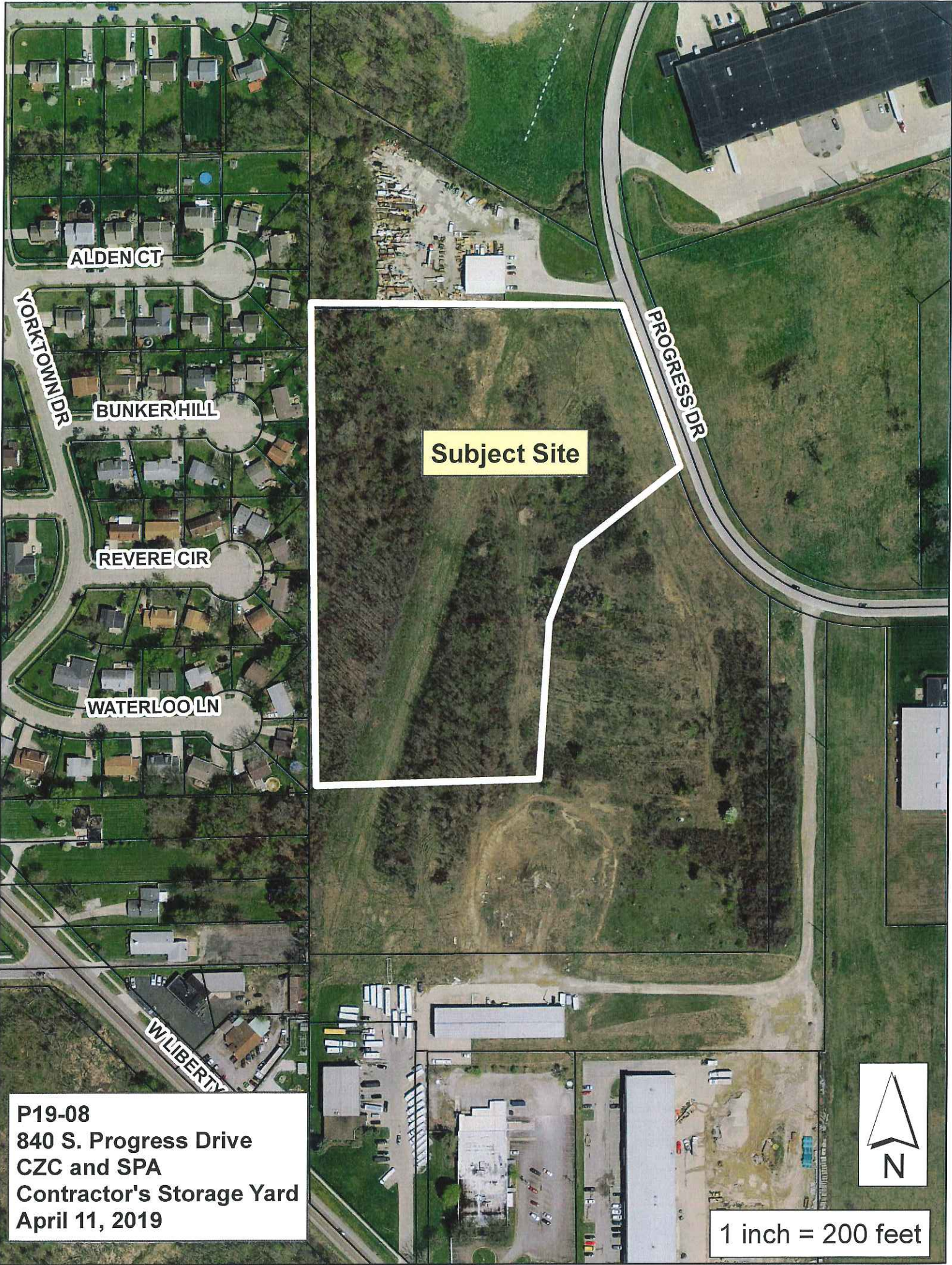
After reviewing the project and neighborhood context against the requirements of the Planning and Zoning Code, staff believes that the site plan is compliant.

Recommendation:

Staff recommends approval of the requested Conditional Zoning Certificate and Site Plan for a Contractor's Equipment Storage Yard (PID# 029-19A-15-249) subject to the following conditions:

1. Subject to review and approval by the City of Medina Building Department for the proposed building and associated permits
 - a. Include the site lighting plan as required by Section 1145.09(c) of the City of Medina Planning and Zoning Code

2. Subject to review and approval by the City of Medina Engineering Department for the site improvement plans:
 - a. Include a compliant parking area striping plan for the required seven (7) space parking area as required in Chapter 1145 of the City of Medina Planning and Zoning Code
3. All existing vegetative conditions within fifty (50) feet of the rear (west) property line of the subject property shall be preserved and not removed in any manner in order to comply with Section 1149.05(c) of the City of Medina Planning and Zoning Code. If there is significant natural reduction of the existing vegetative conditions in this 50 foot area of the property, the owner shall work with City staff to develop a replacement plan in compliance with Chapter 1149 of the City of Medina Planning and Zoning Code.
4. A minimum 6 foot tall wood opaque fence be constructed at the east side of the subject site's west side 50 foot buffer area. This fence should start just south of the detention basin on the north side of the subject site and extend south to the southern extent of the proposed project's developed area.



Subject Site

P19-08
840 S. Progress Drive
CZC and SPA
Contractor's Storage Yard
April 11, 2019



1 inch = 200 feet

We are a small construction and excavation company that has been in business since 1986. We have equipment that needs to be kept at a central location to save time on travel between jobs, prevent theft and to store equipment out of the elements. Our intended use of the site will be a storage facility and staging area for our business. We will be storing our machinery there and will only need to be on the property to retrieve or drop off whatever equipment we need for a specific job. We are general contractors whose business takes us all over northern Ohio. On a normal day (if we needed to pick up or drop off) we would probably be on-site around 8 or 8:30 am to retrieve our equipment, and would have no need of spending additional time there. If by rare chance we need to leave earlier, it would simply be a matter of starting up a previously-loaded truck and leaving. We may return to the site in the evening to park the truck(s) and leave, being careful to not disturb our resident neighbors. Any unloading or loading (e.g. getting ready for the next project) would take place during normal business hours. Loading and unloading operations take only a few minutes--not hours. We regularly load and unload our equipment in residential areas when excavating swimming pools, which is a big part of our business.

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MAR 21 2019
BY.....

Section 1153.03(b) Conditional Use General Standards:

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- (1) Will be harmonious with and in accordance with the general objectives or with any specific objectives of the Land Use and Thoroughfare Plan of current adoption;*
- (2) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;*
- (3) Will not be hazardous or disturbing to existing or future neighboring uses;*
- (4) Will not be detrimental to property in the immediate vicinity or to the community as a whole;*
- (5) Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection drainage structures, refuse disposal and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide such service adequately;*
- (6) Will be in compliance with State, County and City regulations;*
- (7) Will have vehicular approaches to the property which shall be so designed as not to create an interference with traffic or surrounding public streets or roads.*

The applicant provided the following responses to the above standards:

1. The commercial steel building (office/warehouse) is within a designated industrial area, and our use fits industrial standards as set by the city.
2. The building is of similar commercial design as others in the area.
3. The steel building complies to local codes.
4. New building in a growing commercial area.
5. Located near the intersection of SR 18 and N State St (Marks Rd) with a railroad spur in the vicinity, the location has easy access for services and the infrastructure has been in place for many years.
6. Yes, we will comply with all State, County, and City regulations.
7. Location will have a wide driveway for easy access to secondary road.

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BY:.....

LEGEND
 ● MONUMENT FOUND AS NOTED
 ○ MONUMENT TO BE SET

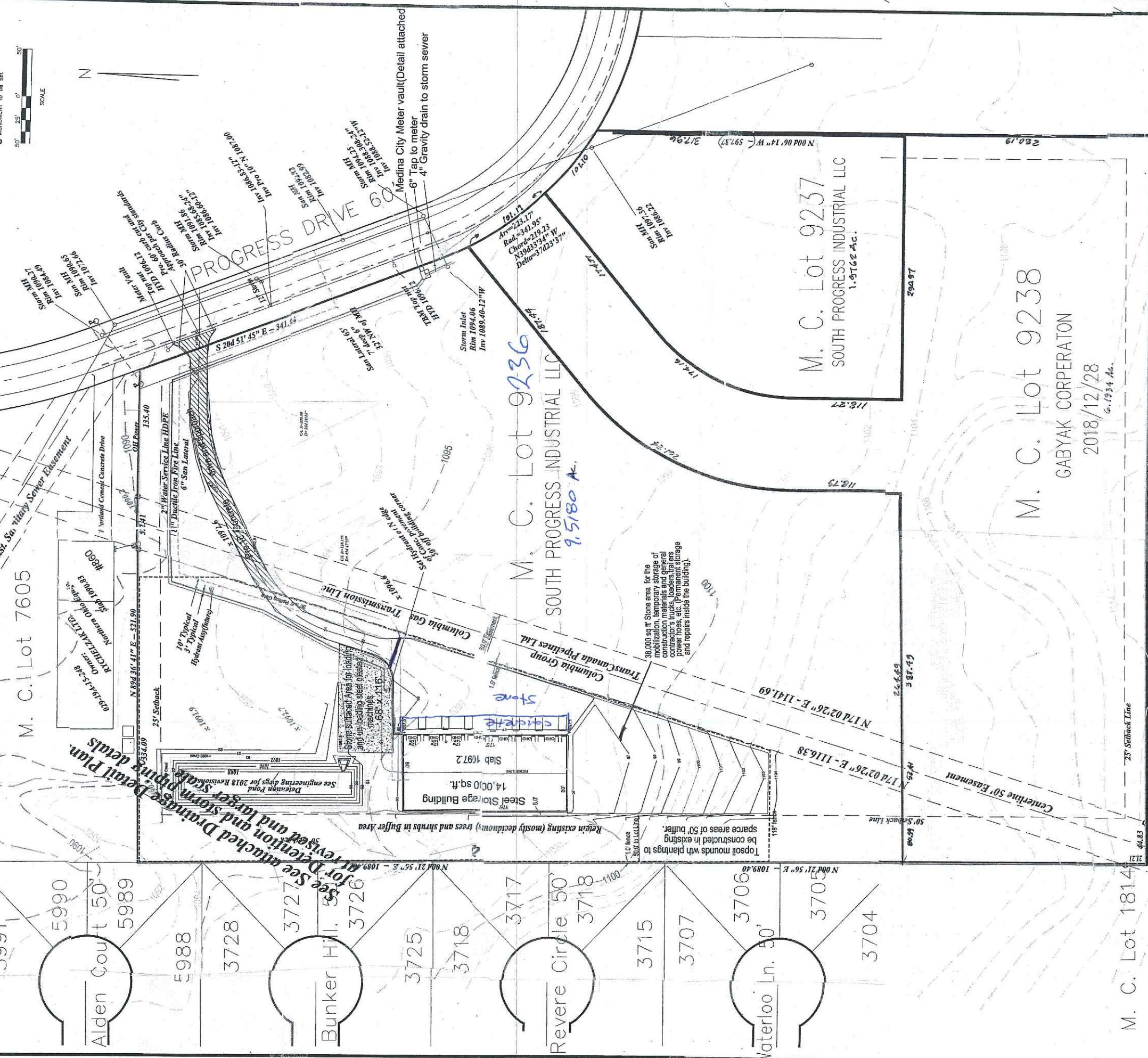
50' 25' 0' SCALE



Detail Plan for Drains and Storm Piping
 See attached drainage detail plan for detention and storm piping details and larger scale drawings

Topsoil mounds with plantings to be constructed in existing space areas of 50' buffer.

39,000 sq ft Stone area for the mobilization, temporary storage of construction materials and general contractor's trucks, loaders, trailers, power tools, electrical equipment, storage and repairs inside the building.



Call 811 Before digging
 Locate# AT19201448

Single 18" Coated Steel Gas Pipeline
 Located and Marked July 12, 2017
 by Chris and Russ Johnson of Trans-Canada Ltd.
 Multiple locate points interpolated to define
 centerline, distances, and ties to bounds
 of City Lot 9158 by Laurilla Surveying
 on August 25, 2017, re call dig "progress drive"



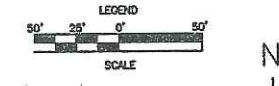
James A Morrison, PE/PS
 446 Shannon Drive
 Wadsworth, Ohio 44281
 330-416-0741
 jim26480@gmail.com

Revised for Re-Submittal for
 SPA and CZC approval 3/15/2019

BUILDING SITE PLAN & GRADING PLAN
 840 PROGRESS DRIVE
 SOUTH PROGRESS INDUSTRIAL LLC
 CITY OF MEDINA, OHIO

Lew Kluczarov
 Developer,
 216-269-0055
 LewKlu@yahoo.com

J.A.M.



Area A - 1.25 Ac ☆

This area is a strip of land 50' wide and about 1090 feet long, a Barrier Strip between commercial and residential zones. The existing vegetation in this strip will be allowed to grow and form the required barrier. The area will be fenced with a 6' cyclone fence around site, with the west side being a solid fence thru the use of inserted metal strips. The fence will be built 1 foot east of the west property line. Existing drainage patterns from the residential areas will not be changed. No mass earthwork in this area.

Area B - 1.64 Ac + 0.47 Ac (south of bldg)

This area extends from Progress Drive, westerly along the north site property line, and extend southerly along the buffer zone. This area will be disturbed with installation of site utilities, storm, sanitary, water and possibly power lines. There is little grade change in the area of these service lines. The west part of this area will enclose a storm water detention basin. The basin is mostly excavated, except for the north end of the detention basin which will be compacted fill. All areas will be landscaped as movable lawn area. Best Management practices will be utilized in order to comply with erosion and sedimentation regulations. Note that waters that run off from residential area, west of the site, will continue unimpeded. These offsite waters will not flow into the detention basin.

Area C - 0.14 Ac

This area lies north of the hard paved area (D), and will be used for loading, unloading and temporary outside storage of steel tracked construction equipment, on a stone pad extension of the main hard surfaced lot. The water runoff from the surface of the stone pad will be routed through the detention basin.

☆: Topsoil mounds w/ plantings to be constructed in existing space areas of 50' buffer.

Area D -

175' x 20'

This area is the paved lot adjacent to the east side of the building. The paved lot will be for maneuvering construction equipment into the proposed building. The owner, a general excavating and construction contractor, will mobilize his equipment for transport to job sites through out northern Ohio. Equipment that will utilize this paved area will consist of, general contractor trucks, loaders, transport low boys and trailers, power hoes and shovels, pumps and other similar equipment. Storage and repair of this equipment, and necessary tools will generally be within the proposed building. Temporary storage of construction materials, such as timber, steel, rods beams, stone and masonry units will utilize the un-travelled parts of this security fenced lot.

Area D will be Portland Cement Concrete, or Deep Strength Asphalt, owners choice, but constructed to City Standards and specifications. The lot is level with the garage doors, and slopes northwesterly towards the detention basin. The lot will be illuminated for security (See Lighting Plan) The security fence extends along the west edge of a pipe-line easement, to the southeast corner of the proposed paved lot with a 30' x 6' rolling gate on the west side of pipeline easement. Eight marked auto parking spaces are shown, with painted sidelines and concrete bumper blocks.

Area E - 0.32 Ac

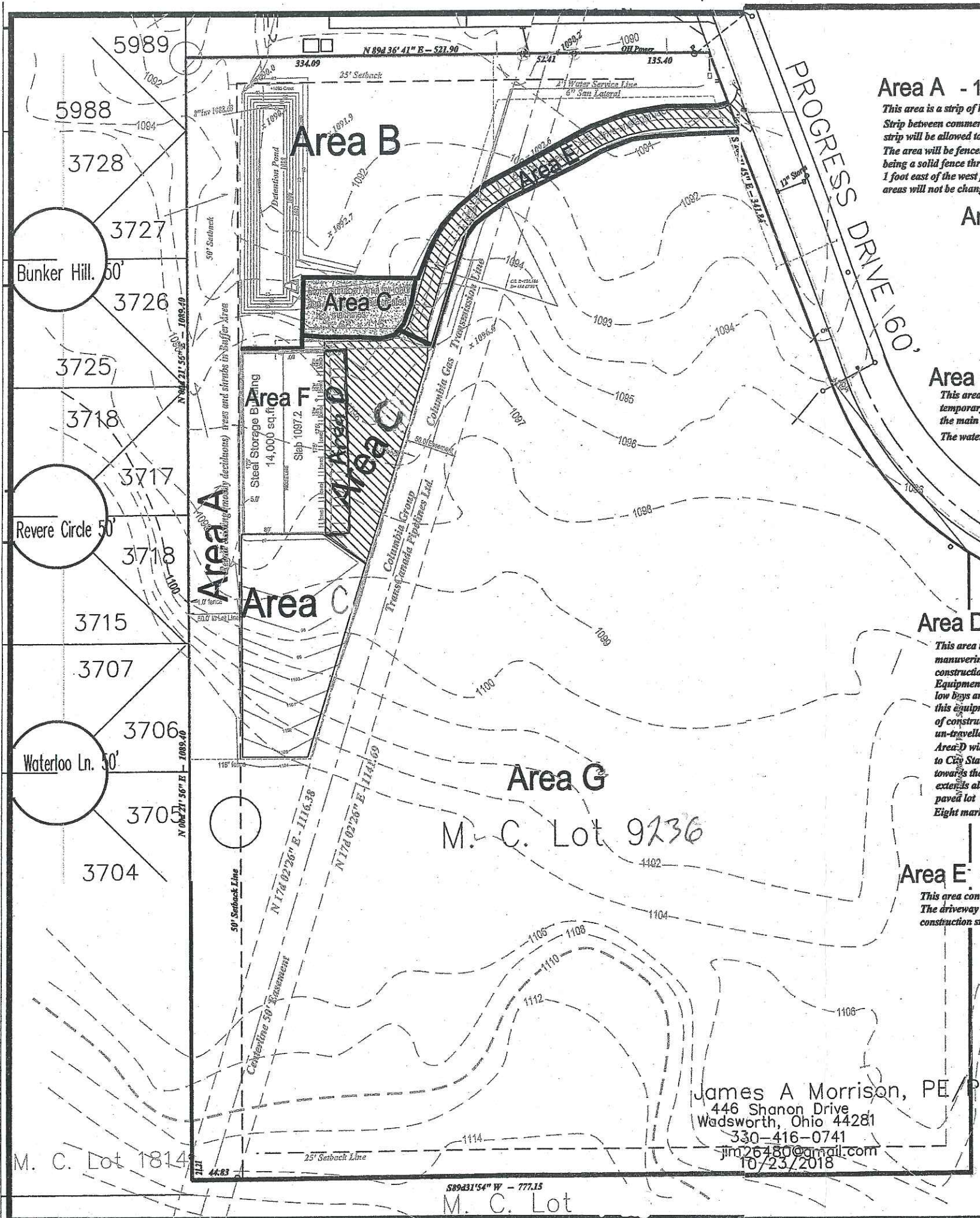
This area contains the Portland Cement Concrete from Progress Drive to the entrance gate and building. The driveway is proposed at 18' width, and curb cut and approach details in accordance to Medina City construction standards. The vertical grade requires very little cut, with the high point being over the gas line.

Area F - 0.26 Ac

Contains the proposed 80' x 175' Steel building.

Area G - 13.12 Ac

Contains the unused portion of Medina City Lot 9156 this area shown for reference and contains pipeline easement and is not a part of this submittal.

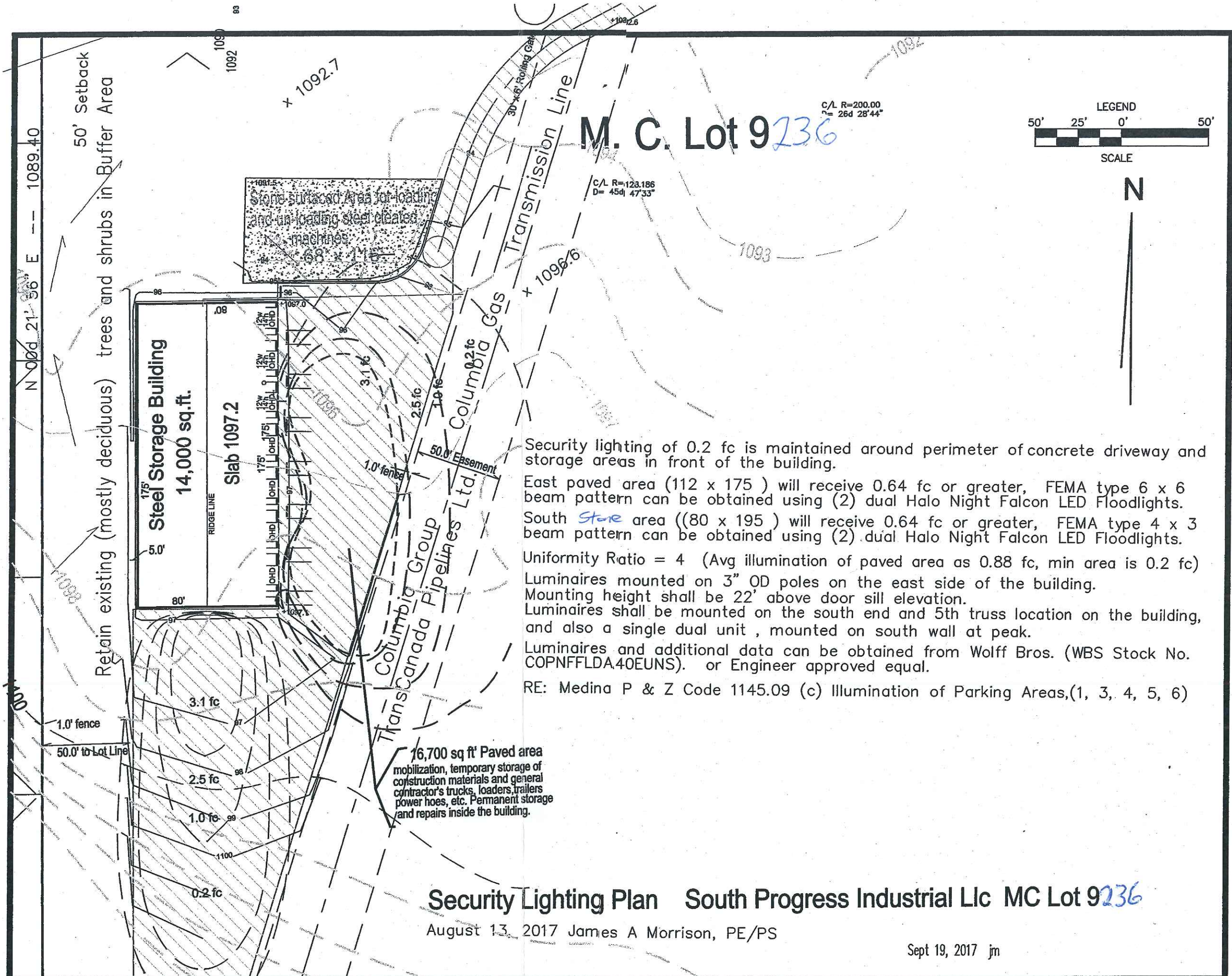


James A Morrison, PE/PS
 446 Shanon Drive
 Wadsworth, Ohio 44281
 330-416-0741
 jim26480@gmail.com
 10/23/2018

**Site Landscaping Plan
 South Progress Industrial Llc
 MC Lot 9236**

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BY:



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MAR 21 2019

Security Lighting Plan South Progress Industrial Llc MC Lot 9236
August 13, 2017 James A Morrison, PE/PS

Sept 19, 2017 jm

9/20/2017 SM

A NEW BUILDING FOR: LEW KLUCZAROV

MC LOT 9158 PROGRESS DRIVE,
SOUTH PROGRESS INDUSTRIAL LLC., MEDINA,
OHIO

MICHAEL A. BONNER ARCHITECT, INC

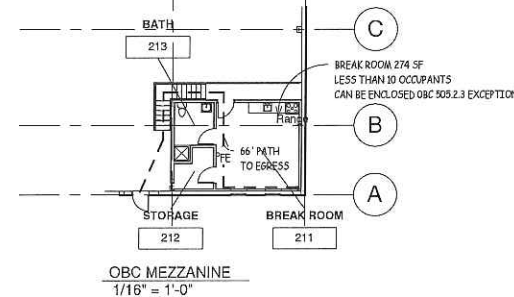
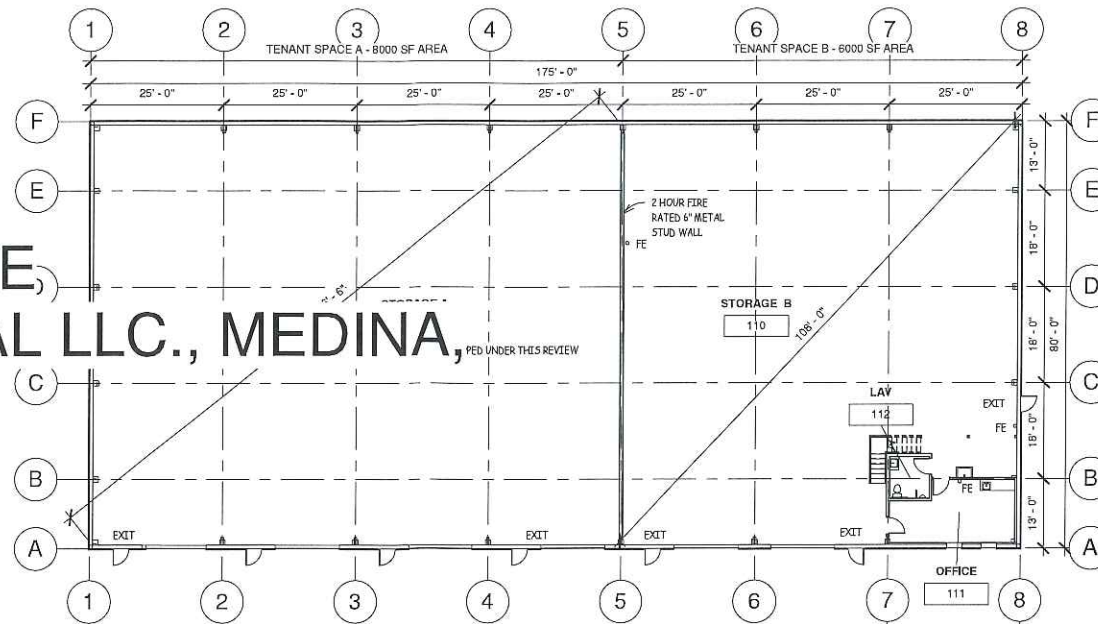
9570 KINSMAN ROAD, NOVELTY, OHIO 44072
PHONE:(440) 338-8880 CELL: (440) 739-9009
E-MAIL: michael@mabarch.com

SITE ENGINEER:

JAMES A. MORRISON, PE/PS
446 SHANON DRIVE, WADSWORTH, OHIO 44281
330-416-0741 jim26480@gmail.com

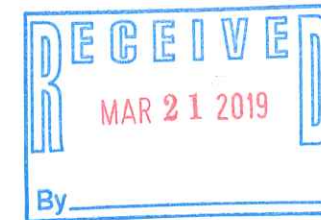
STEEL BUILDING MANUFACTURE AND STRUCTURAL ENGINEER
METAL BUILDING OUTLET CORP.

FOUNDATION STRUCTURAL ENGINEER:
MOUNTAIN VIEW ENGINEERING, INC.
345 NORTH MAIN STREET, SUITE A
BRINGHAM CITY, UTAH 84302



2017 OHIO BUILDING CODE DATA:

- 311.2 ASSEMBLY GROUP S-1
S-1 - MODERATE HAZARD STORAGE AREAS:
- TABLE 601 II B (NONCOMBUSTIBLE UNPROTECTED FLOOR AND ROOF STRUCTURES)
- TABLE 504.2 ALLOWABLE HEIGHT 2 STORIES
TABLE 506.2 ALLOWABLE AREA USE GROUP S-1. 17,500 SF
- 903.2.9 SPRINKLER SYSTEM REQUIRED IN GROUP S-1 FACILITIES WHEN FIRE AREA EXCEEDS 12,000 SF
BUILDING IS 14000 SF IN SIZE. IT IS SPLIT INTO TWO SECTIONS SEPARATED BY A TWO HOUR FIRE WALL.
TENANT SPACE A 8,000 SF
TENANT SPACE B 8,000 SF
- TABLE 1004.1.2 OCCUPANT LOAD:
TENANT SPACE A (8000 SF)
WAREHOUSES 500 SF / OCCUPANT
16 OCCUPANTS (8 MALE / 8 FEMALE)
TENANT SPACE B (6000 SF)
WAREHOUSES 500 SF / OCCUPANT
12 OCCUPANTS (6 MALE / 6 FEMALE)
- 1004.1.3 PROVIDE OCCUPANT LOAD SIGNS IN EACH ROOM OR SPACE OCCUPIED AS AND ASSEMBLY OCCUPANCY.
- OPC 410.2 DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR OCCUPANT LOAD OF 15 OR FEWER - STORAGE SPACE B QUALIFIES
- 2902.2 SEPARATE TOILET FACILITIES
EXCEPTION 2 - TENANT SPACE B QUALIFIES
SEPARATE FACILITIES SHALL NOT BE REQUIRED IN TENANT SPACE WITH A TOTAL OCCUPANT LOAD OF 15 OR FEWER.



DRAWING SCHEDULE	
Sheet Number	Sheet Name
T-1	TITLE SHEET
SP-1	SITE PLAN
A-1	FLOOR PLANS
A-2	EXTERIOR ELEVATIONS
A-3	SECTIONS
P-1	PLUMBING
F-1	FOUNDATION PLAN
F-2	FOUNDATION DETAILS
-	-

MICHAEL A. BONNER ARCHITECT, INC.
9570 KINSMAN ROAD, NOVELTY, OHIO 44072
PHONE: (440) 338-8880 CELL: (440) 739-9009
E-MAIL: michael@mabarch.com

TITLE SHEET

A NEW BUILDING FOR:
LEW KLUCZAROV
MC LOT 9158 PROGRESS DRIVE
SOUTH PROGRESS INDUSTRIAL LLC., MEDINA, OHIO

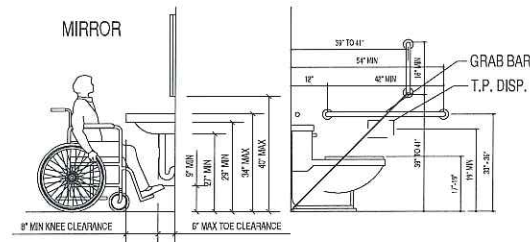
No.	Date	Description

JOB, NO.
190117

DATE
FEB 25, 2019

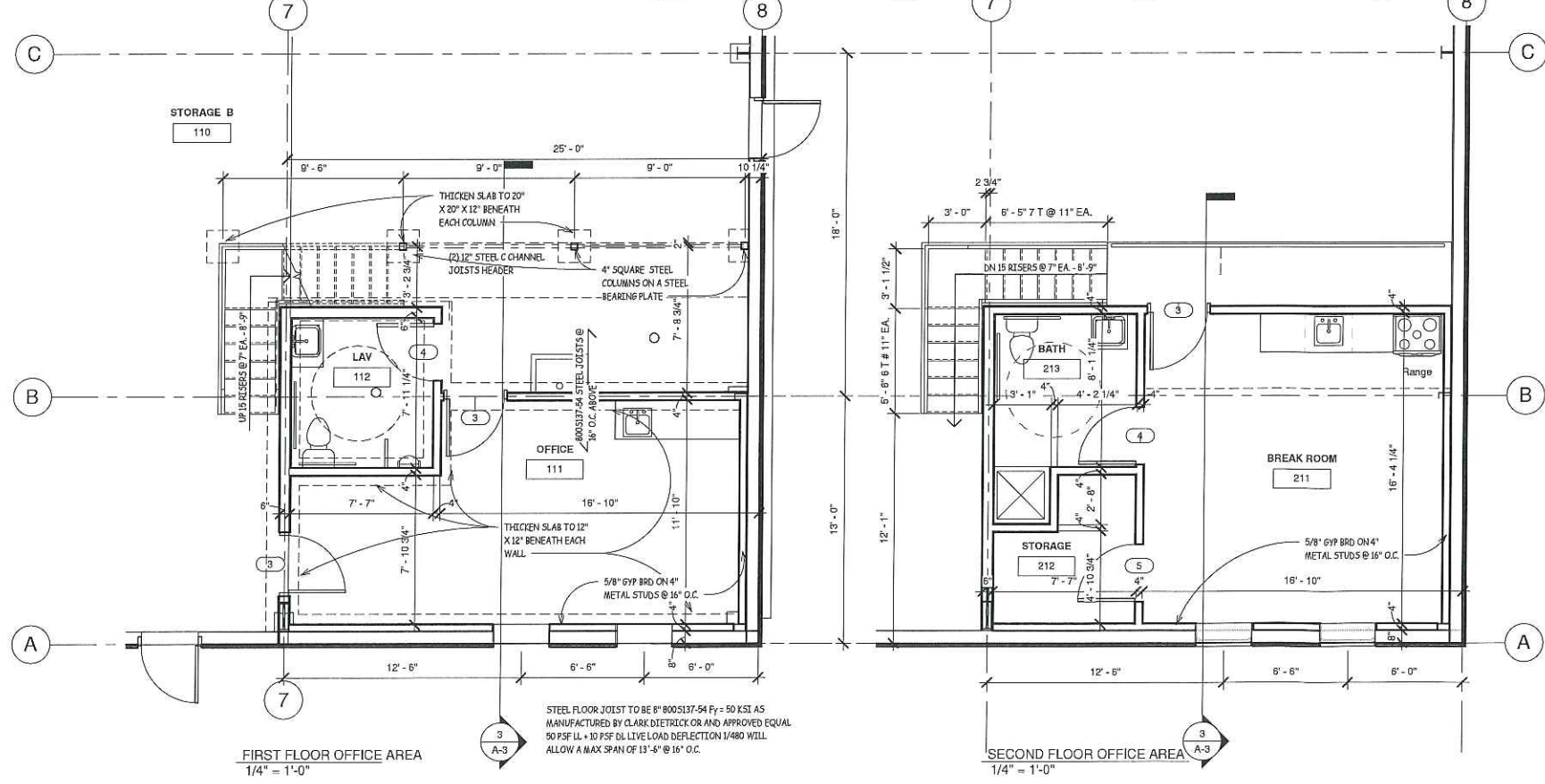
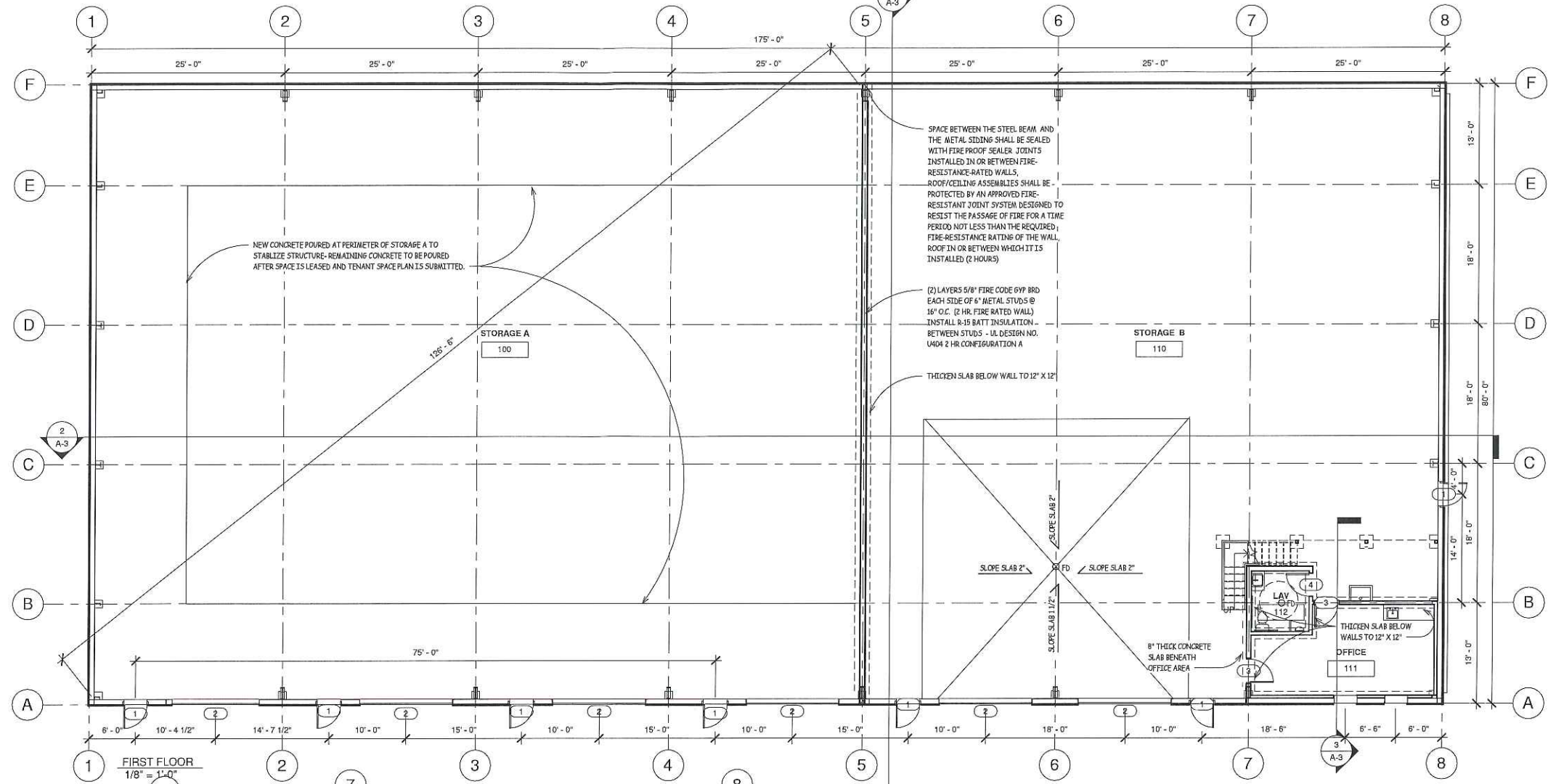
SCALE
As indicated

DRAWING
T-1



TYPICAL HANDICAPPED DETAILS
3/16" = 1'-0"

- TYPICAL HANDICAPPED LAVATORY NOTES:**
- TOILET TO BE 17" TO 19" FROM FLOOR TO TOP OF SEAT. TOILET TO BE LOCATED 18" FROM SIDE WALL TO CENTERLINE OF TOILET.
 - GRAB BARS TO BE MOUNTED 33" TO 36" A.F.F. TO CENTER LINE. GRAB BAR BEHIND TOILET TO BE 36" LONG (MIN.) AND STARTING 6" FROM SIDE WALL. GRAB BAR AT SIDE OF TOILET TO BE 42" LONG (MIN.), STARTING 12" FROM FIXTURE WALL.
 - TOILET PAPER DISPENSER TO BE MOUNTED AT 19" A.F.F. AND 33" FROM THE FIXTURE WALL TO CENTER LINE.
 - SINK TO BE MOUNTED WITH TOP EDGE AT 34" A.F.F. AND 29" CLEAR FROM FLOOR TO UNDERSIDE OF APRON. SINK TO BE LOCATED 15" FROM SIDE WALL TO CENTERLINE OF SINK. REFER TO DIAGRAM BELOW FOR ADDITIONAL ADA REQUIRED MOUNTING REQUIREMENTS AND CLEARANCES.
 - FAUCET SHALL BE LEVER TYPE.
 - INSULATE HOT WATER AND DRAIN PIPES TO PROTECT AGAINST CONTACT.
 - THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LABORATORIES.
 - MIRROR TO BE 1/4" SILVER MIRROR, FULL WIDTH OVER GRANITE VANITY. BOTTOM OF MIRROR AT TOP OF BACK SPLASH, MAX 40" A.F.F. TOP @ 7'-0" AFF.
 - ALL DOORS AND HARDWARE TO BE A.D.A. COMPLIANT INCLUDING THRESHOLDS



ROOM FINISH SCHEDULE											
NO	ROOM	FLOOR	BASE	WALLS				CEILING	HGT. (FT)	AREA (SF)	COMMENTS
				WEST	NORTH	SOUTH	EAST				
100	STORAGE A	CONC		EXP. STRUCT	EXP. STRUCT	EXP. STRUCT	EXP. STRUCT	EXP. STRUCT	20'-0"	7795 SF	
110	STORAGE B	CONC		EXP. STRUCT	EXP. STRUCT	EXP. STRUCT	EXP. STRUCT	EXP. STRUCT	20'-0"	5478 SF	
111	OFFICE			GYP. BRD. PAINT	GYP. BRD. PAINT	GYP. BRD. PAINT	GYP. BRD. PAINT	GYP. BRD.	8'-0"	246 SF	
112	LAV	C TILE	C. TILE	GYP. BRD. PAINT	GYP. BRD. PAINT	GYP. BRD. PAINT	GYP. BRD. PAINT	MR GYP BRD	8'-0"	59 SF	4'-0" HIGH CT WAINS ON SOUTH EAST WALLS
211	BREAK ROOM			GYP. BRD. PAINT	GYP. BRD. PAINT	GYP. BRD. PAINT	GYP. BRD. PAINT	ACT CLG	8'-0"	255 SF	
212	STORAGE			GYP. BRD. PAINT	GYP. BRD. PAINT	GYP. BRD. PAINT	GYP. BRD. PAINT	EXP. STRUCT	10'-0"	48 SF	
213	BATH	C TILE	C. TILE	GYP. BRD. PAINT	GYP. BRD. PAINT	GYP. BRD. PAINT	GYP. BRD. PAINT	MR ACT CLG	10'-0"	69 SF	4'-0" HIGH CT WAINS ON SOUTH & WEST WALLS

MICHAEL A. BONNER - LICENSE #7162
 EXPIRATION DATE: 12/31/19

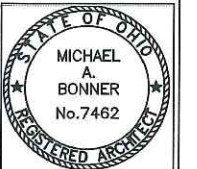
MICHAEL A. BONNER ARCHITECT, INC.
 9570 KINSMAN ROAD, NOVELTY, OHIO 44072
 PHONE: (440) 339-9860 CELL: (440) 739-9009
 E-MAIL: michael@maabarch.com

FLOOR PLANS
 A NEW BUILDING FOR:
LEW KLUCZAROW
 MC LOT 9158 PROGRESS DRIVE
 SOUTH PROGRESS INDUSTRIAL LLC., MEDINA, OHIO

No	Date	Description

JOB. NO. 190117
 DATE 2.6/19
 SCALE As Indicated
 DRAWING A-1

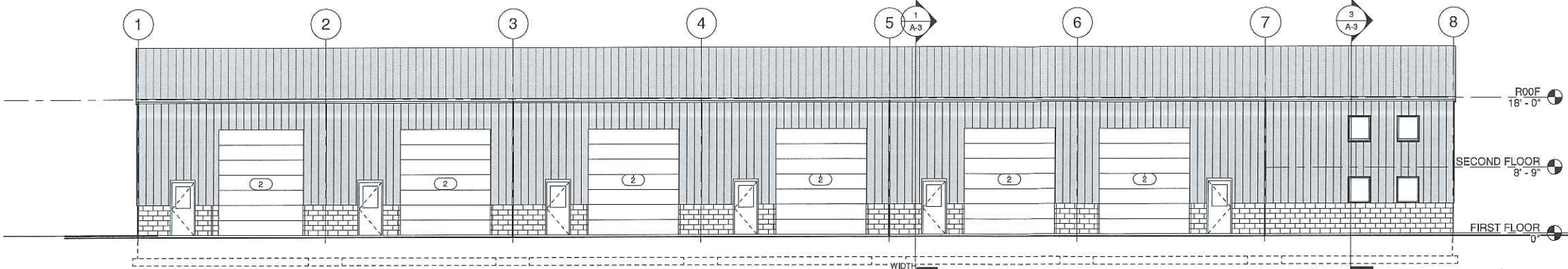
MICHAEL A. BONNER LICENSE #1462
EXPIRATION DATE: 12/31/19



MICHAEL A. BONNER ARCHITECT, INC.
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E-MAIL: michael@mbarch.com

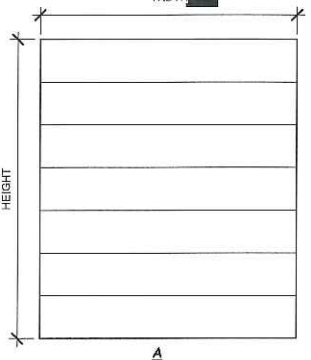
EXTERIOR ELEVATIONS
A NEW BUILDING FOR:
LEW KLUCZAROW
MC LOT 9158 PROGRESS DRIVE
SOUTH PROGRESS INDUSTRIAL LLC., MEDINA, OHIO

Description	
Date	
No.	
JOB. NO.	190117
DATE	2/6/19
SCALE	As indicated
DRAWING	A-2



FRONT / EAST ELEVATION
1/8" = 1'-0"

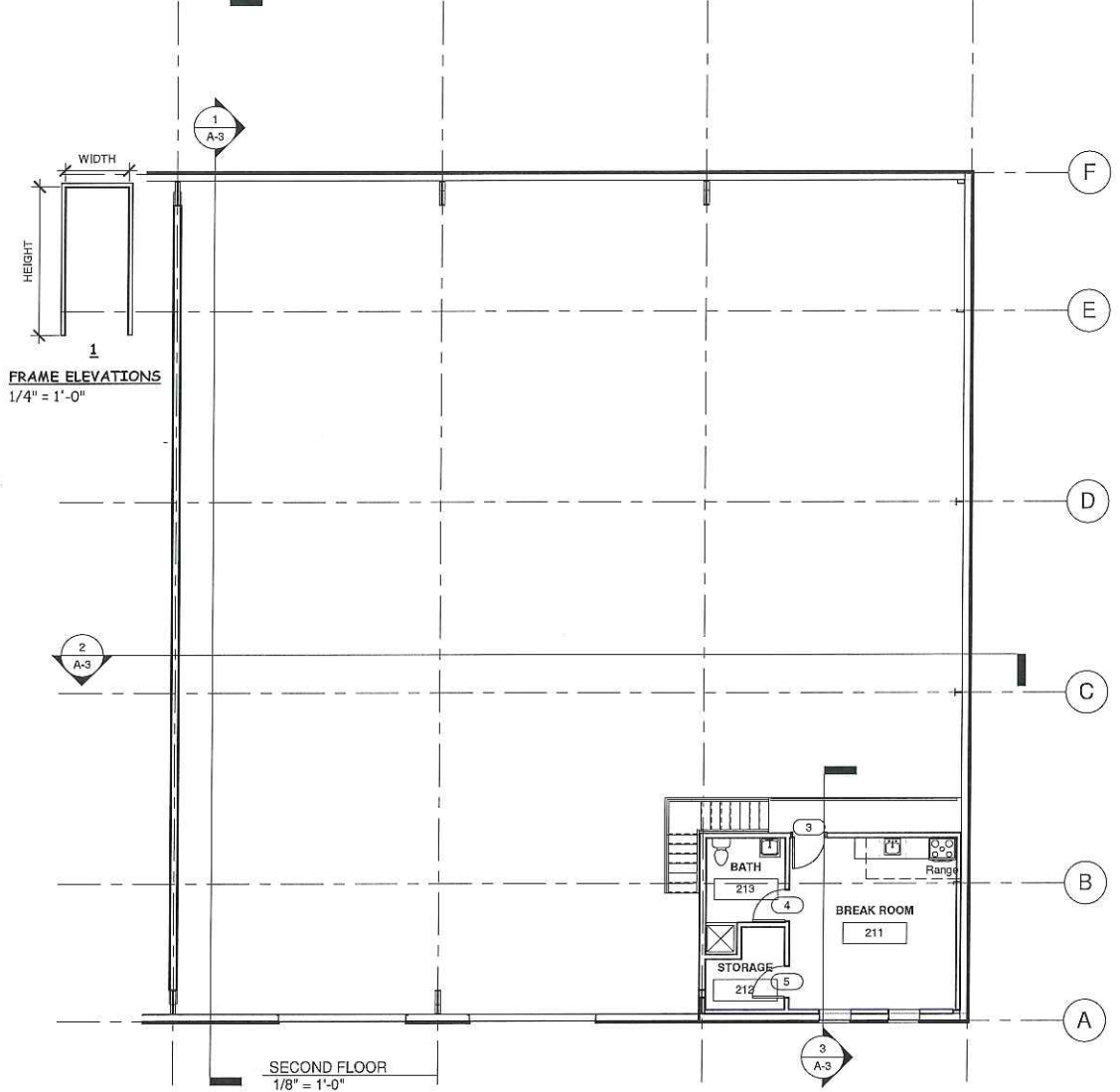
DOOR SCHEDULE													
NO.	SIZE	AMT	ELE V.	DOOR			FRAME		HARDWARE			SILL	COMMENTS
				MAT.	FIRE R.	GLASS	ELEV.	MAT.	HINGES	LOCKSET	CLOSURE		
1	36" x 84"	7	C	H.M.		INSUL.	1	H.M.	H-1	LS-1	C-1		
2	144" X 168"	6	A										
3	36" x 84"	3	C	WD.		SAFETY	1	H.M.	H-1	LS-2	C-1		
4	36" x 84"	2	B	WD.			1	H.M.	H-1	LS-3			
5	36" x 84"	1	B	WD.			1	HM	H-1	LS-4			



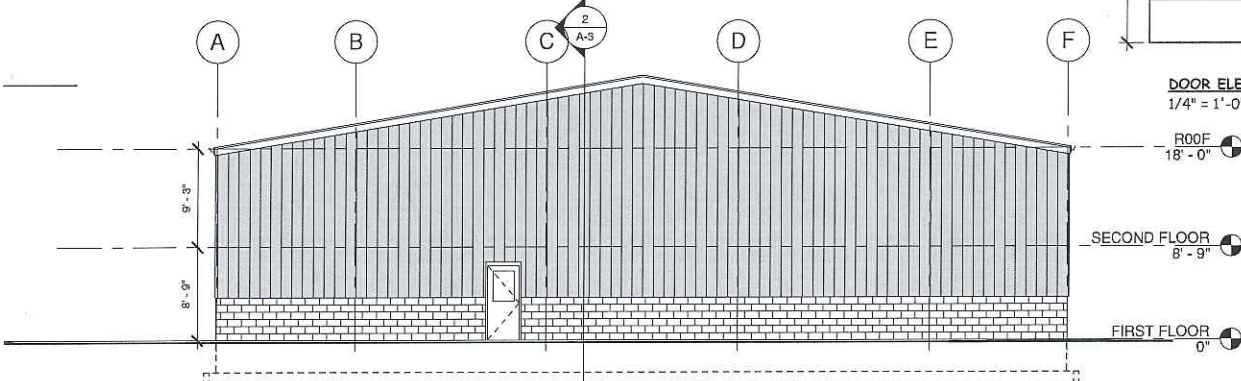
DOOR ELEVATIONS
1/4" = 1'-0"

HARDWARE SCHEDULE:

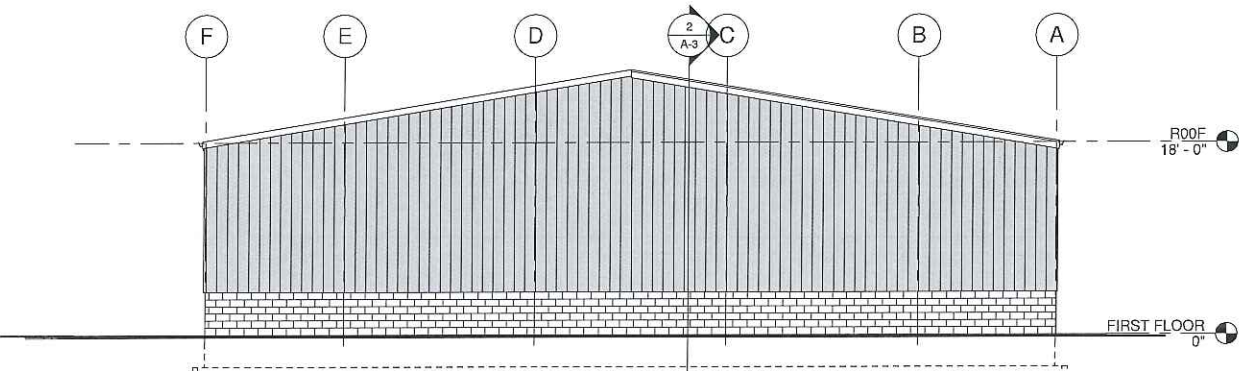
HINGES	H-1 HAGER	HEAVY DUTY	ECR81102
LOCKSETS	LS-1 HAGER	EXTERIOR DOOR	2553 ENTRY LOCK SERIES LEVER
	LS-2 HAGER	OFFICE DOOR	5350 ENTRY / OFFICE LOCK LEVER
	LS-3 HAGER	TOILET ROOMS	2540 PRIVACY SET LEVER
	LS-4 HAGER	STORAGE	2580 STORAGE LOCK LEVER
CLOSURE	C-1 HAGER		5100 MULTI ALUMINUM



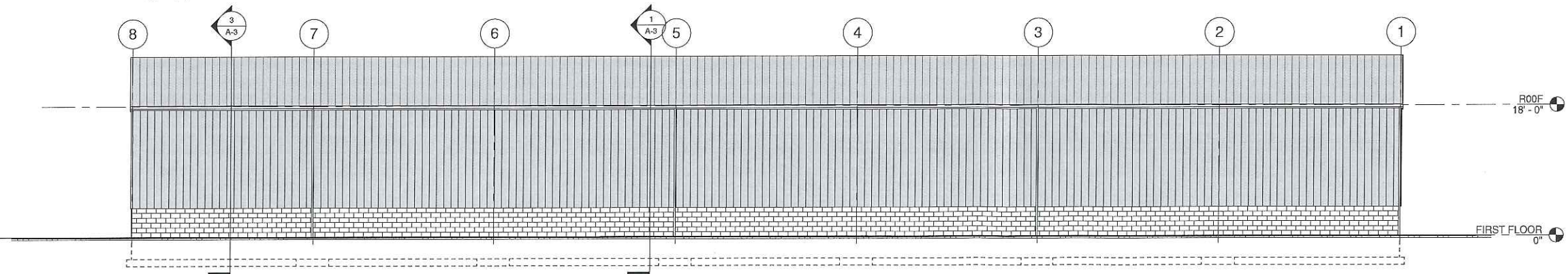
FRAME ELEVATIONS
1/4" = 1'-0"



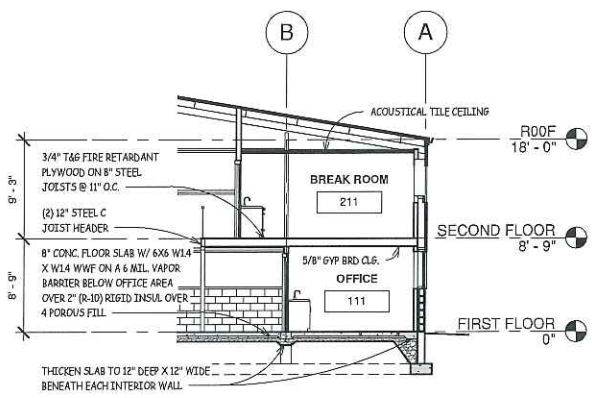
RIGHT / NORTH ELEVATION
1/8" = 1'-0"



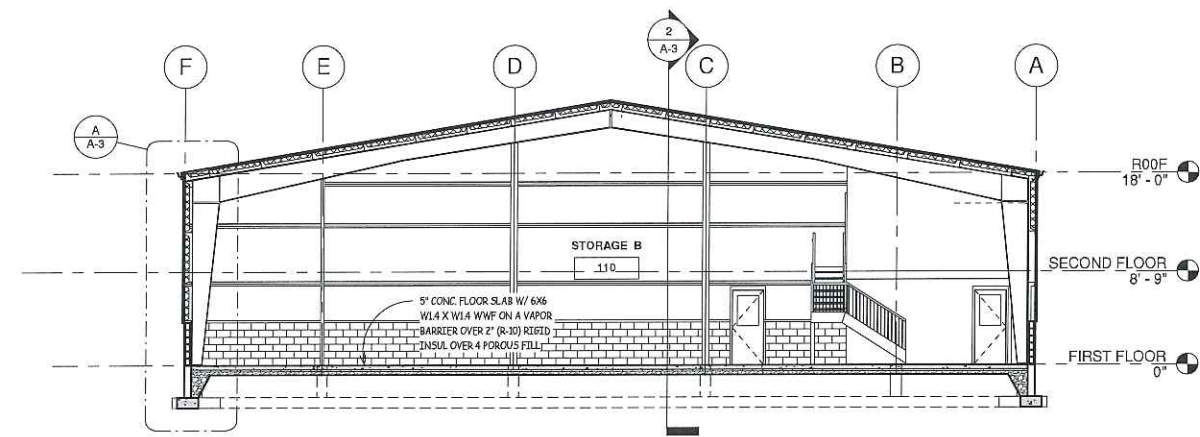
LEFT / SOUTH ELEVATION
1/8" = 1'-0"



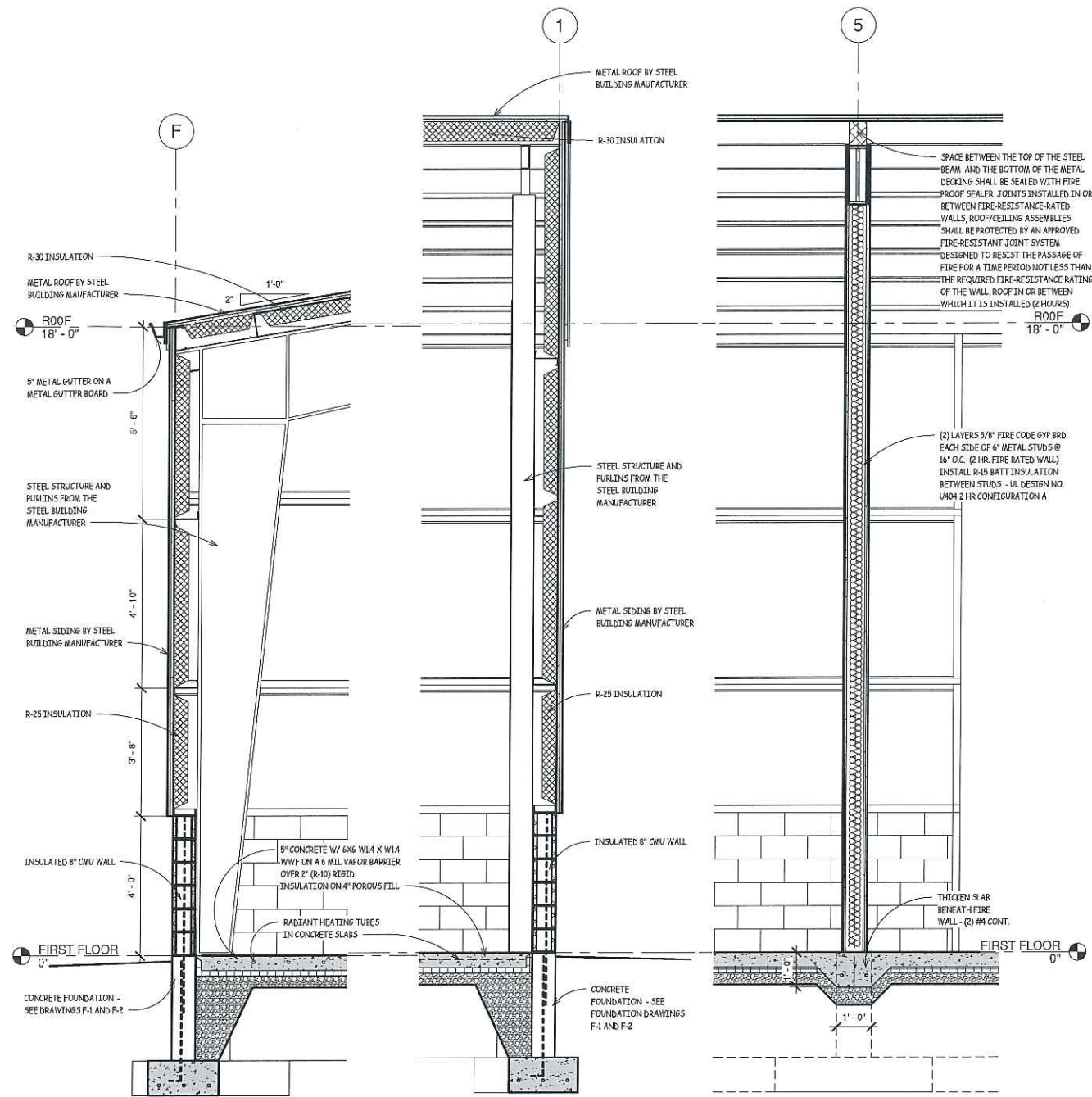
REAR / WEST ELEVATION
1/8" = 1'-0"



SECTION 3
1/8" = 1'-0"



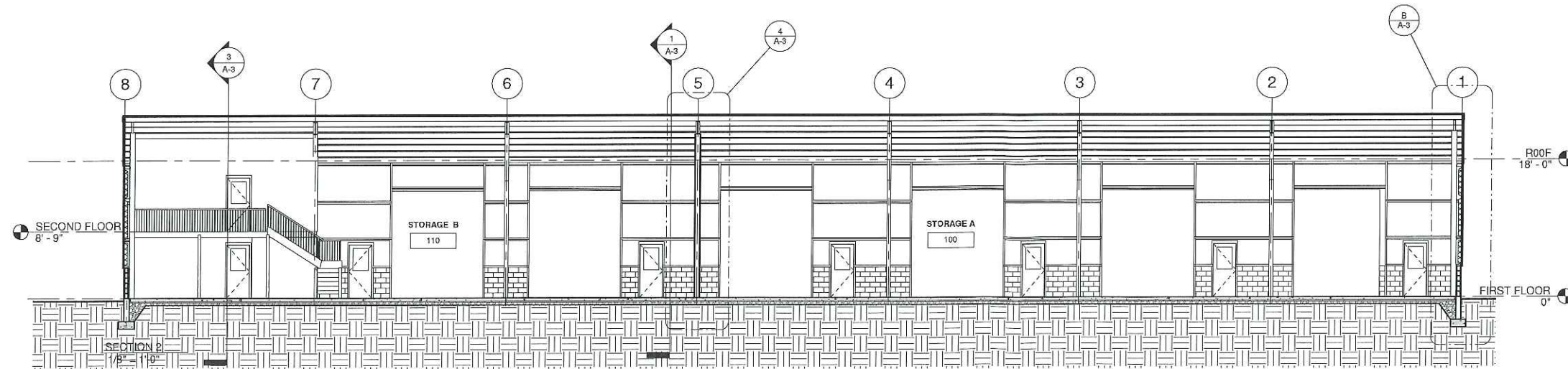
SECTION 1
1/8" = 1'-0"



WALL SECTION A
1/2" = 1'-0"

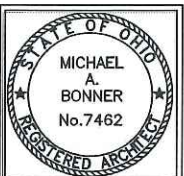
WALL SECTION B
1/2" = 1'-0"

WALL SECTION C
1/2" = 1'-0"



SECTION 2
1/8" = 1'-0"

MICHAEL A. BONNER - LICENSE #7462
EXPIRATION DATE: 12/31/19



MICHAEL A. BONNER ARCHITECT, INC.
9570 KINSMAN ROAD, NOVELTY, OHIO 44072
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SECTIONS

A NEW BUILDING FOR:
LEW KLUCZAROW
MC LOT 9158 PROGRESS DRIVE
SOUTH PROGRESS INDUSTRIAL LLC., MEDINA, OHIO

No.	Date	Description

JOB NO. 190117
DATE 2/6/19
SCALE As indicated
DRAWING
A-3

PLUMBING SPECIFICATIONS

GENERAL NOTE:

1. WORK UNDER THIS SECTION INCLUDES ALL LABOR, MATERIAL, EQUIPMENT, SCAFFOLDING, ETC. NECESSARY FOR THE INSTALLATION OF A PLUMBING SYSTEM AS SHOWN ON THE PLUMBING DRAWINGS AND HEREIN SPECIFIED, COMPLETE IN EVERY RESPECT, UNLESS OTHERWISE INDICATED.

WORK INCLUDED:

1. THE PLUMBING WORK SHALL CONSIST OF, BUT NOT BE LIMITED TO THE FOLLOWING:

- A. FURNISH AND INSTALL PIPING, GAS LINES, EQUIPMENT, PLUMBING FIXTURES, AND ALL SPECIALTIES. PROVIDE AND INSTALL STOPS TO ALL FIXTURES, TRAPS, ESCUTCHEONS, AND CONNECTIONS AS NECESSARY.
- B. CONNECT TO SANITARY WASTE, VENT, & COLD WATER, VERIFY EXACT LOCATIONS IN FIELD.
- C. ALL OTHER PIPING, EQUIPMENT, AND ACCESSORIES THAT ARE NECESSARY FOR A COMPLETE AND PROPER OPERATING SYSTEM.
- D. INSPECT AND CLEAN SANITARY SEWER SYSTEM AS REQUIRED TO INSURE FREE FLOWING SEWERS.

CODES AND PERMITS:

1. THE PLUMBING CONTRACTOR SHALL INSTALL ALL WORK IN FULL ACCORDANCE WITH THE PROVISIONS OF THE CITY AND STATE BUILDING CODES, THE LOCAL FIRE CODE, AND ALL OTHER SUCH CODES, RULES, AND REGULATIONS HAVING JURISDICTION. ALL SUCH CODES, RULES AND REGULATIONS ARE HEREBY INCORPORATED INTO THESE SPECIFICATIONS. OHIO PLUMBING CODE (OPC) 2017 SHALL APPLY TO ALL WORK.
2. COMPLY WITH SPECIFICATIONS AND DRAWING REQUIREMENTS WHICH ARE IN EXCESS OF CODE REQUIREMENTS.
3. THE PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND CERTIFICATES OF INSPECTION REQUIRED BY THE GOVERNING AUTHORITIES.

RIGGING, TRANSPORTATION AND SCAFFOLDING:

1. THE PLUMBING CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, STAGING, CRIBBING, TACKLE AND HOIST EQUIPMENT, AND ALL RIGGING REQUIRED FOR THE INSTALLATION OF HIS WORK.
2. THE PLUMBING CONTRACTOR SHALL PAY FOR ALL TRANSPORTATION COSTS FOR HIS MATERIAL AND EQUIPMENT TO THE JOB SITE.

HANGERS AND SUPPORTS:

1. ALL PIPING AND EQUIPMENT SHALL BE ADEQUATELY SUPPORTED, EITHER SUSPENDED FROM THE CONSTRUCTION ABOVE OR BY MEANS OF STRUTS TO THE CONSTRUCTION BELOW.
2. USE VIBRATION ISOLATORS FOR ALL MOVING AND ROTATING EQUIPMENT THAT HAS THE POSSIBILITY OF TRANSMITTING VIBRATION TO THE BUILDING STRUCTURE.
3. NO PIPING OR EQUIPMENT SHALL BE SUSPENDED FROM ANOTHER DUCT, PIPE, OR EQUIPMENT.

TESTING AND BALANCING:

1. OBTAIN ALL INSPECTION AND TEST CERTIFICATES REQUIRED BY CODES, ETC., HAVING JURISDICTION AND OBTAIN AND PAY ALL FEES, CHARGES, AND OTHER EXPENSES REQUIRED. DELIVER ALL CERTIFICATES IN DUPLICATE TO THE ARCHITECT.
2. THE PLUMBING CONTRACTOR SHALL BALANCE ALL SYSTEMS.

PLUMBING EQUIPMENT:

1. REFER TO PLUMBING EQUIPMENT SCHEDULE ON THIS DRAWING.

PIPE AND FITTINGS:

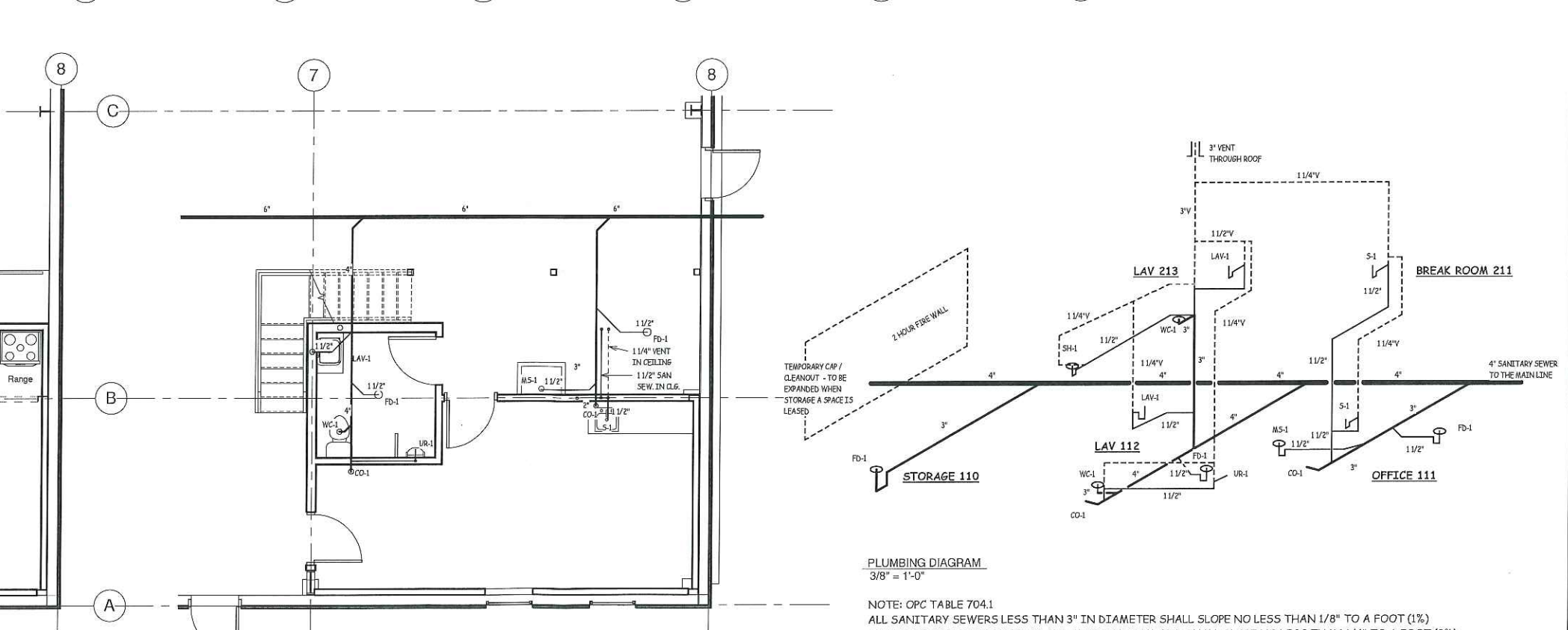
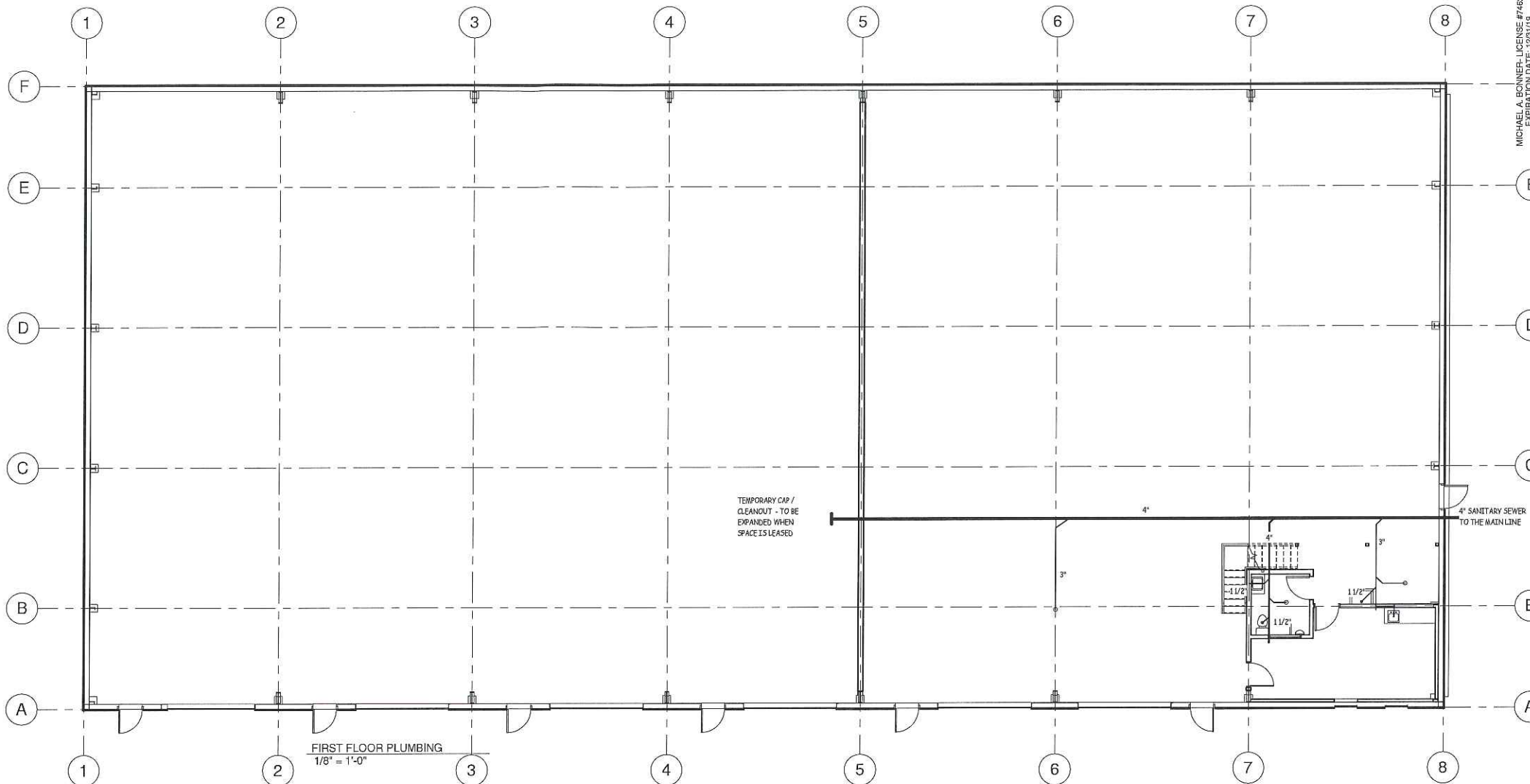
1. SANITARY, WASTE, STORM, RAIN WATER CONDUCTORS, AND VENT PIPING 3" AND LARGER SHALL BE SERVICE WEIGHT CENTRIFUGAL CAST, BELL AND SPIGOT SOIL PIPE AND FITTINGS. PVC PIPE AND FITTINGS CAN BE USED WHERE PERMITTED BY CODE.
2. SANITARY, WASTE, AND VENT PIPING 2-1/2" AND SMALLER SHALL BE SCHEDULE 40 STANDARD WEIGHT, GALVANIZED IRON PIPE. WASTE FITTINGS SHALL BE CAST IRON ACCESS DRAINAGE FITTINGS. VENT FITTINGS SHALL BE GALVANIZED CAST IRON SCREWED FITTINGS. PVC PIPE AND FITTINGS CAN BE USED WHERE PERMITTED BY CODE.
3. DOMESTIC WATER PIPING SHALL BE TYPE L HARD DRAWN COPPER TUBE WITH WROUGHT COPPER CLASS 150 SOCKET SOLDER FITTINGS. USE LEAD FREE SOLDER ON ALL FITTINGS.

WARRANTY:

ALL EQUIPMENT AND INSTALLATION SHALL BE WARRANTED TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF JOB ACCEPTANCE BY THE OWNER. ANY EQUIPMENT, SOFTWARE, OR LABOR FOUND TO BE DEFECTIVE DURING THIS PERIOD SHALL BE REPAIRED OR REPLACED WITHOUT EXPENSE TO THE OWNER.

PLUMBING EQUIPMENT SCHEDULE (VERIFY CURRENT MODEL NUMBER)

WC-1	WATER CLOSET	AMERICAN STANDARD 2325.01 YORVILLE 16 1/8" ELONGATED PRESSURE - ASSISTED HANDICAPPED ACCESS TOILET
UR-1	URINAL	A.S. 4099.100 FLUSHMETER, TANK A.S. 5324.019 SEAT SELECTRONIC URINAL FLUSH VALVE
LAV-1	LAVATORY	AMERICAN STANDARD 6590.525 - 0.125 GPF EXPOSED TOP SPUD URINAL WITH A.S. 7038.201 TROPIC 2 HANDLE CENTERSET FAUCET
SH-1	SHOWER	AMERICAN STANDARD 9141.011 WALL MOUNTED LAVATORY A.S. 3636.5TTS SHOWER BASE
S-1	SINK (LUNCH ROOM)	A.S. 2555.501 PRESSURE BALANCE SHOWER ONLY FITTING 36" SHOWER CURTAIN BAR AND SHOWER CURTAIN ELKAY STAINLESS STEEL TOP MOUNTED SINK ECT2522301 ELKAY LK3106N046 COMMERCIAL FAUCET
MS-1	WORK SINK	ELKAY EF53232K STAINLESS STEEL MOP SINK W/ LK43 CHROME PLATED BRASS BODY DRAIN OUTLET FITTING ELKAY LK40V3074S COMMERCIAL FAUCET
FD-1	FLOOR DRAIN - MECHANICAL ROOM	JOSAM 3000-A, 2 PIECE COATED CAST IRON BODY WITH DOUBLE DRAINAGE FLANGE, ADJUSTABLE SATIN-NI-MEGLAY TOP, 7" DIAMETER TOP STRAINER W/ IPS PRIMER TAP
FD-1	FLOOR DRAIN - WAREHOUSE	JOSAM 5890A COATED CAST IRON CLEANOUT FERRULE WITH HD-HUB CONNECTION AND BRONZE COUNTERSINK PLUG
CO-1	CLEANOUTS	
HWH-1	HOT WATER HEATER	RINNAT 180.1S1 6.65 INSTANT HOT WALL MOUNTED WATER HEATER



PLUMBING DIAGRAM
3/8" = 1'-0"

NOTE: OPC TABLE 704.1
ALL SANITARY SEWERS LESS THAN 3" IN DIAMETER SHALL SLOPE NO LESS THAN 1/8" TO A FOOT (1%)
ALL SANITARY SEWER LINES 3" AND MORE IN DIAMETER SHALL SLOPE NO LESS THAN 1/4" TO A FOOT (2%)

MICHAEL A. BONNER LICENSE #7462 EXPIRATION DATE: 12/31/19



MICHAEL A. BONNER ARCHITECT, INC.
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A NEW BUILDING FOR:
LEW KLUCZAROW
 MC LOT 9158 PROGRESS DRIVE
 SOUTH PROGRESS INDUSTRIAL LLC., MEDINA, OHIO

No.	Description	Date

JOB NO. 190117
DATE 02/21/19
SCALE As indicated
DRAWING P-1