

MEETING DATE: 05-9-19

PLANNING COMMISSION

**Case No. P19-12
5986 Branch Road**



CITY of MEDINA
Planning Commission
May 9, 2019 Meeting

Case No: P19-11

Address: 5986 Branch Road

Applicant: Architectural Design Studio representing A-1 Topsoil and Discount Drug Mart

Subject: Conditional Zoning Certificate and Site Plan – Heavy Manufacturing (Soil Screening)

Zoning: I-1, Industrial

Submitted by: Jonathan Mendel, Community Development Director 

Site Location:

The site is located on the south side of the 5900 block of Branch Rd near the City of Medina corporation limits. The site is currently vacant with some remaining improvements from the site's previous farmstead use. The properties to north are I-1 zoned, but residentially developed and occupied. The property to the west is undeveloped I-1 zoned and the property to the east and south are I-1 zoned and industrially developed.

Project Introduction:

The applicant wishes to locate an outdoor portable soil screening operation on the subject site to screen and remove a sizeable soil stockpile on the west end of property immediately to the south where the Discount Drug Mart warehouses and offices are located. The subject site is also owned by Discount Drug Mart and the soil screening operation is contracted to make way for the next phase of warehouse expansion at the northwest corner of the existing Discount Drug Mart campus.

The operation will consist of digging into the stockpile, screening the soil with a portable screener machinery and stockpiling the processed soil to be trucked from the site.

Given the above project description, the applicant requests a Conditional Zoning Certificate to permit a soil screening operation as this it is considered Manufacturing, Heavy under Section 1105.097 of the Planning and Zoning Code. It a conditionally

permitted use in the I-1 zoning district. Also, Site Plan approval must be sought for the general site development plan.

Please find attached to this report:

1. Applicant's Operational Narrative dated April 19, 2019
2. Site plan received April 19, 2019
3. Aerial photograph

Conditional Zoning Certificate Review

Public Hearing: The Zoning Code requires the Planning Commission conduct a Public Hearing for the proposed Conditional Use. The legal notices have been issued to permit the Public Hearing at the May 9, 2019 meeting. Based on the review of the case and the public hearing the Planning Commission may impose such additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights and for the insuring that the intent and objectives of this Zoning Ordinance will be observed.

Section 1153 Conditional Use Standards:

The Planning Commission shall review the particular facts and circumstances of each proposed use in terms of the following standards:

- (1) Will be harmonious with and in accordance with the general objectives or with any specific objectives of the Land Use and Thoroughfare Plan of current adoption;*
- (2) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;*
- (3) Will not be hazardous or disturbing to existing or future neighboring uses;*
- (4) Will not be detrimental to property in the immediate vicinity or to the community as a whole;*
- (5) Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection drainage structures, refuse disposal and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide such service adequately;*
- (6) Will be in compliance with State, County and City regulations;*
- (7) Will have vehicular approaches to the property which shall be so designed as not to create an interference with traffic or surrounding public streets or roads.*

Also, Heavy Manufacturing has the following specific conditional use regulations:

- (37) Such uses shall be conducted not closer than 100 feet from any R District. Where the I District abuts upon but is separated from R District by a street, the width of the street may be considered as part of the required setback. The construction, operation and maintenance of such uses shall be such that they will not be hazardous, noxious or offensive due to the emission of odor, dust, smoke, cinders, gas fumes, noise, vibration, refuse matter or water carried wastes.*
- (38) In the interests of the health, safety, general welfare and the protection of property values of the community, the area and adjoining land uses, and the other industries within the I-1 District, the Planning Commission may require any conditions deemed necessary. In regard to an industrial operation whose effects on adjacent premises, the area or the community are not readily known, the Planning Commission may seek expert advice on what conditions should be imposed on the particular industrial operation to reasonably modify any injurious or offensive effects likely to result from such an operation. The cost of securing such expert assistance shall be borne by the applicant.*

Staff Comment:

In reviewing the proposed soil screening operation at the subject site and the surrounding mix of zoning districts, land uses and landscape, several of the above standards require scrutiny as they relate to the proposed Heavy Manufacturing land use. Standards #2, 3 & 4 require further analysis below:

(2) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;

Soil screening can be an intensive outdoor land use and has features that can affect the appearance and character of its surrounding vicinity. In the case of the neighborhood surrounding the subject property, the 5900 block of Branch Rd is predominantly a transitional neighborhood zoned I-1 and is a mix of existing residentially occupied homes and light/moderate intensity industrial land uses ranging from professional offices, light manufacturing and warehousing. Immediately to the south is I-1 zoned and industrially developed properties with the subject site's owner (Discount Drug Mart) the most directly adjacent land use to the proposed operation

The applicant's land use is not completely out of character or expectation for an industrial neighborhood and may not change the character of the neighborhood. The applicant's proposed site plan also provides significant distance from neighboring businesses and land uses that are not part of the land use's ownership.

(3) Will not be hazardous or disturbing to existing or future neighboring uses;

(4) Will not be detrimental to property in the immediate vicinity or to the community as a whole;

The proposed soil screening operation can be considered an intensive land use and has the potential to have actual and perceived impacts on neighboring land uses. Generally, the applicant's land use should produce sound, visual and physical impacts on neighboring land and uses.

To the north along Branch Road are predominantly existing residentially occupied properties zoned I-1 within the City of Medina. This is a transitional area with intention for future development of the properties under the City of Medina I-1 zoning district. The applicant outlines that this land use is ultimately 'temporary' as the intent is to be on site as long as it takes to remove the existing soil stockpile on Discount Drug Mart's property to permit their warehouse expansion. Since this is the sole reason for the proposed land use, it would be reasonable to restrict the soil screening to only soil presently on the Discount Drug Mart property and no outside soil shall be brought to the subject site for screening.

The proposed land use is located at least 300 feet south of the Branch Road public right-of-way and only operating land use immediately adjacent is the applicant/property owner's office and warehousing operations. Although, there may likely be impacts the

existing land uses along Branch Road from the truck traffic originating to/from the proposed land use.

The applicant provided a site and operational narrative identifying what the applicant believes is the potential environmental impacts of the proposed land use and the proposed site design/improvements to mitigate potential negative impacts. This document provides anecdotal information regarding the environmental impacts of the land use from the applicant. The applicant should consult with the Akron Regional Air Quality Management District (ARAQMD) to determine whether an air permit is required through their office

The applicant's narrative may not be necessarily sufficient to determine definitively whether there would be negative impacts to the surrounding environment and land uses and what methods should be required to mitigate such impacts. In order to better understand potential impacts and mitigation methods, an environmental impact report could be conducted by the applicant by an industrial hygienist professional and provided to the Planning Commission for review.

Site Plan Review

District Regulations – Section 1141:

Proposed Use: The proposed use is Heavy Manufacturing, which is a Conditionally Permitted Use

Lot and setback requirements: The proposed site setbacks comply with the zoning requirements.

Site Plan Guidelines

The following are the Site Plan review guidelines from the Planning and Zoning Code:

1. Strengthen, protect, enhance and improve the existing visual and aesthetic character of the City, and to prevent the creation or perpetuation of nuisances or blight in the City.
2. To integrate developments into the surrounding environment, as well as to ensure that each new development and redevelopment will be attractive.
3. To protect and improve property values.
4. To foster and encourage creative application of design principles.
5. To ensure that the particular existing design features, which contribute to the unique character of Medina, are retained and re-created in a manner that retains and enhances the City's sense of community.
6. To ensure that new development and redevelopment are compatible and harmonious with the existing overall character of the city, especially when development is proposed in areas where the existing structures do not have architectural features that warrant replication or enhancement.
7. To bring new buildings into an orderly arrangement with landscape and nature, other buildings, and open space areas.
8. To ensure that these objectives are achieved through an impartial review

As well as the specific design guidelines for industrial uses:

Development for Industrial Uses within the I-1 Industrial District shall only be required to comply with the following standards:

- A. Architectural details and ornamentation on the street façade shall be meaningful to the overall design and appropriate for the size and scale of proposed structures, and harmonious with other architectural details and ornamentation on adjacent structures
- B. Additions and accessory structures should be designed to be compatible with the main structure.
- C. All exterior finished materials, including windows and doors, shall be of architectural grade with long term maintenance characteristics.

There is not a principal building proposed at this time and therefore the above building standards (A-C) aren't applicable.

Parking and Circulation. The proposed Manufacturing use normally requires 1 space per 500 sqft of manufacturing floor area and 1 space per 2,000 sqft of office space. Currently, the site plan does not have a principal building and it is intended to be a temporary land use (ultimately) and therefore no required parking for the project at this time.

Due to the underdeveloped nature of this land use and that there is only one way in/out from the site, a minimum 30 feet of hard surface drive should be constructed on the site to minimize tracking dirt and debris into the Branch Road public right-of-way and a code compliant concrete apron be constructed with the public right-of-way to replace the existing gravel apron.

Landscaping. Not required as part of this project.

Staff Comments:

- Building Department.** No comments at this time
- Police Chief.** No comment at this time
- Service Department.** No comments at this time
- Fire Department** No comments at this time
- Engineering Department** No comment at this time
- City Forester** No comment at this time
- Economic Development.** No comment at this time

General Staff Comments

After reviewing the project and neighborhood context against the requirements of the Planning and Zoning Code, the only item needed as part of the site plan is a hard surfaced drive on the subject site from the Branch Road

In regards to the conditional zoning certificate review, it is not objectively clear whether the proposed heavy manufacturing soil screening use complies with all the Conditional Use General Standards in Section 1153.03(b). The operational and environmental descriptions provided by the applicant does appear to be clear in its anecdotal description of the potential impacts. Additionally, it's not known at this time whether this operation

will require air permitting by ARAQMD. ARAQMD has been made aware of the proposed operation and has made contact with the operator (A-1 Topsoil) to discuss the procedures for their regulatory process. Lastly, the site planning includes site development setbacks Branch Road and significant setback of activity areas from neighboring unassociated land uses.

The above could be considered sufficient for the Planning Commission to review and decide on the Conditional Zoning Certificate, but as has been the case with similar outdoor material processing heavy manufacturing land uses recently reviewed by the Planning Commission, an objective professionally conducted and analyzed environmental impact report could be warranted in this case to provide the Planning Commission more definitive understanding of the potential impacts of the proposed land use/operation.

Recommendation:

Staff recommends the applicant request a continuance of the Planning Commission review to permit the applicant time to conduct and submit for review an environmental impact review of the proposed Heavy Manufacturing use (soil screening) at the subject site.

If the Planning Commission decides to approve the requested Conditional Zoning Certificate and Site Plan for a Heavy Manufacturing (soil screening) the approval should be subject to the following conditions:

1. Subject to review and approval by the City of Medina Engineering Department for the site improvement plans.
 - a. A code compliant hard surfaced 30 foot long (starting at the Branch Rd right-of-way and extending south into the subject property) and apron shall be required.
2. Hours of operation for soil screening operations and removal/transport shall be limited to 8a-5p, Monday through Friday with occasional 8a-5p, Saturday and Sunday times to permit only soil removal/transport from the site.
3. No outside soil or other bulk processed or unprocessed material shall be brought to the subject site for processing or transport. The only soil permitted for screening and distribution is the soil already on the subject site owned by Discount Drug Mart Inc and any subsequent owner.
4. The Conditional Zoning Certificate shall expire once all the existing soil on the subject site has been processed and the operation is discontinued as determined by City of Medina staff.
5. The applicant shall consult with Akron Regional Air Quality Management District (ARAQMD) to determine air permitting requirements for the soil screening operation prior to commencing the operation. The outcome of this consultation and/or permitting shall be provided to City of Medina staff prior to commencing the operation.

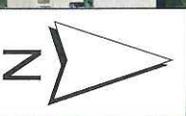
BRANCH RD

COMMERCE DR

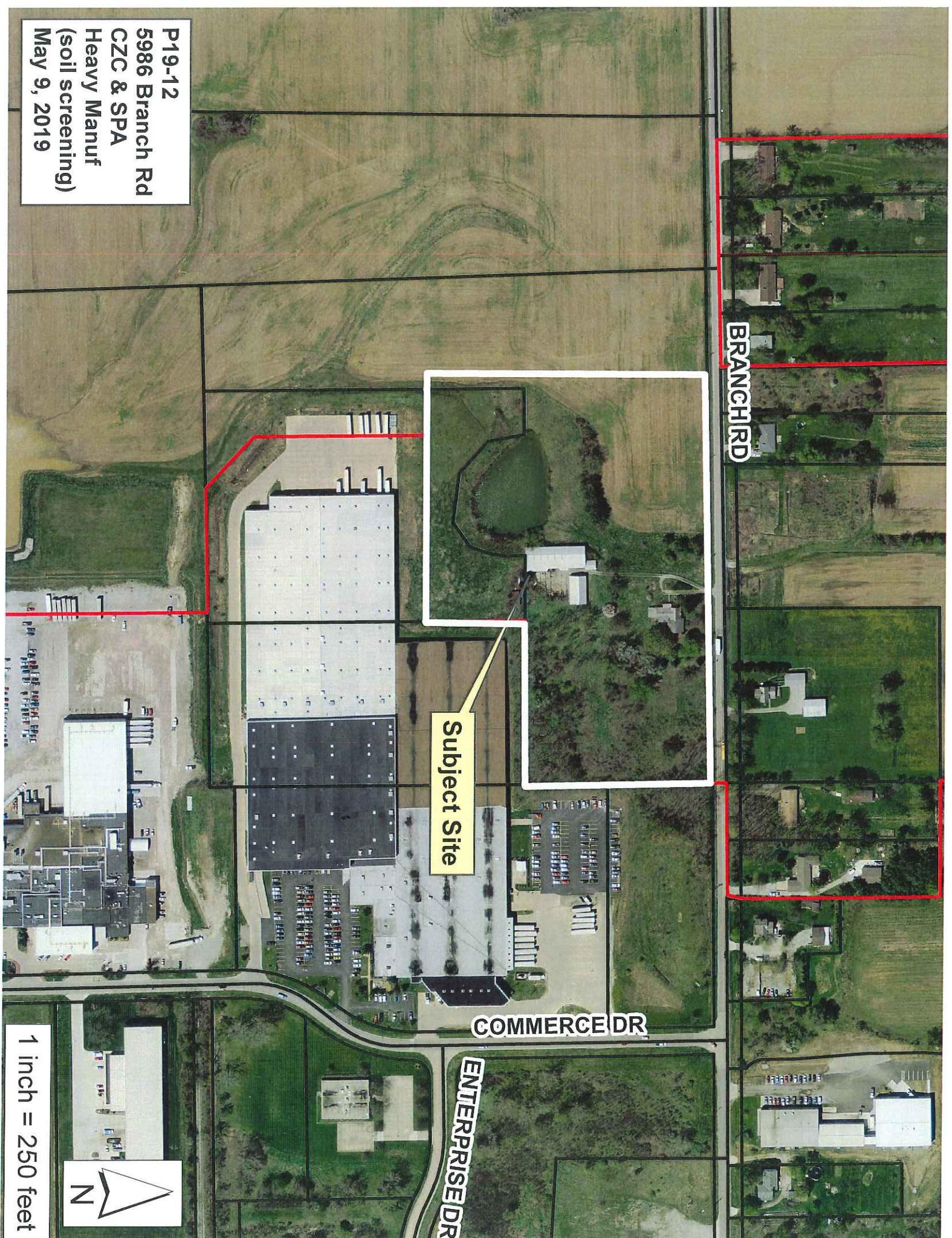
ENTERPRISE DR

Subject Site

P19-12
5986 Branch Rd
CZC & SPA
Heavy Manuf
(soil screening)
May 9, 2019



1 inch = 250 feet





Architecture
Preservation
Graphics
Planning
Interior Design

620 East Smith Rd
Medina, Ohio
44256

330.723.6975
(phone)

330.723.7129
(fax)

April 17, 2019

Planning Commission
c/o Jonathan Mendel
Community Development Director
City of Medina
132 N. Elmwood
Medina, Ohio 44256

re: A-1 TopSoil
5986 Branch Road
PPN 05031A26010

Dear Commission Members,

We are requesting Site Plan approval and Conditional Use approval for the development of the operation of a temporary topsoil screening operation at the above referenced site. The operator for the site will be A1 Topsoil, 6490 Wooster Pike, Medina. The site is owned by Discount Drug Mart Inc.

Over the years, the owner has utilized this site for the storage of topsoil stripped from their property as they have built and expanded their operations. They intend to construct another addition in the location of this topsoil mound and have asked for A1 TopSoil to remove this surplus topsoil material to make room for the addition.

We have provided a site plan that shows the general layout of the operation and have noted erosion control measures that will be utilized while screening operations are in place. The operations make use of an existing drive off of Branch Road and an existing concrete slab that was once the floor of an old farm barn. There is no specific duration established for the period of operation. Operations will cease once the owner elects to proceed with the building addition.

We have included a description of the screening operations from the operator with this application, along with information on the equipment. Hours of operation will generally be between the hours of 8:00am and 5:00pm, Monday thru Friday during summer months when weather permits. There may also occur some loading of material on Saturday and Sunday. Truck traffic will be marginal, with 2 to 5 trucks a day expected for top soil loading. Typical vehicles will be tri-axel dump trucks.

The area of operation is not specifically defined, but will occupy potentially up to four acres over the period of time. Not all four acres will be utilized at any one time and most of the operation is confined to the existing concrete slab except for the excavation of the top soil in the area.

In submitting the site plan for the Commission's consideration in granting conditional approval for the project in accordance with Medina City Zoning Code, Chapter 1153, we offer the following for review and consideration by the Commission.

1. Long Term Business Operations



- a. This is a temporary operation intended to remove surplus topsoil from the site for sale and distribution to other areas.
- b. The removal of the topsoil is a necessary operation for the future expansion of the property owner. Most of the activities that will occur as part of the top soil screening (excavation and trucking) would need to occur as part of the construction process for an addition to the owner's building. The only additional activity associated with the screening operation is the operation of the screening machine on site.

2. Operation and Environmental Impact Issues

- a. Sanitary facilities - The facility will utilize portable temporary toilet facilities, similar to any construction site, during the periods of operation.
- b. Operation Period - While the facility may be in place for several years, operation is limited to summer months when weather conditions are appropriate for screening the material.
- c. Noise - Equipment noise will typically be the operation of a bulldozer, loader, and trucks, similar to a construction site. The topsoil screener is similar in the noise generated.
- d. Equipment Location - The equipment operates at a minimum distance of 300' from Branch Road. The closest residential structures are across the road on Branch with the closest being about 500' away.
- e. Air Borne Dust - The operator will control dust generation on site by regularly washing down the loading area with water from the adjacent pond. In the long range plans, the owner intends to have the pond removed to make room for their expansion. The screened top soil pile will be covered to protect it from rain and wind erosion. We believe farming operations in the area will be a greater generator of dust than the top soil operation and the prevailing winds will distribute any dust generation toward the industrial areas and not toward existing residential areas.
- f. Storm Water Runoff - Standard BMP's are identified on the drawings to provide for erosion control of the earthwork activities on the site. As topsoil is removed from various areas of the site, once an area is completed, the area will be rough graded and temporarily seeded to stabilize the site.

3. City of Medina, Codified Ordinance 1153.03(b) General Standards for determination of approval of Conditional Uses.

- a. *Will be harmonious with and in accordance with the general objectives*

or with any specific objectives of the Land Use and Thoroughfare Plan of current adoption

The operator is seeking a conditional use approval for a temporary operation. The operations are not inconsistent with typical construction activities that occur within the industrial district.

- b. *Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area*

The site is designed to keep operations a distance from the road and at the completion of the work, will have little impact on the character of the district other than to alter the existing grade.

- c. *Will not be hazardous or disturbing to existing or future neighboring uses*

The proposed operations are temporary. Their impact on existing neighbors is no greater than typical construction operations and will have no impact on future uses as the operations will be removed once the property owner proceeds with their expansion plans.

- d. *Will not be detrimental to property in the immediate vicinity or to the community as a whole*

Measures are proposed to control the impact of the operations on the area, most specifically with erosion control and dust control.

- e. *Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection drainage structures, refuse disposal and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide such service adequately*

We believe the proposed site is adequately serviced and these operations will have no impact on these services.

- f. *Will be in compliance with State, County and City regulations*

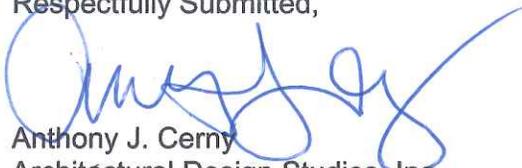
The operator currently operates topsoil screening operation in compliance with all applicable regulations and this proposed site will also be full compliance with all applicable regulations.

- g. *Will have vehicular approaches to the property which shall be so designed as not to create an interference with traffic or surrounding public streets or roads*

The location will utilize an existing drive to Branch Road. This drive will be provided with additional erosion protection. Additional traffic is limited to a few trucks per day and Branch Road is adequate for the operations of the trucks in this area. This existing drive provides adequate access from the public way without creating any interference to the general flow of traffic in the area.

In summary, we believe the proposed use of the site for A1 TopSoil to perform screening operations is consistent with the general objects of the city's zoning regulations. We look forward to a favorable review and approval from the Planning Commission.

Respectfully Submitted,



Anthony J. Cerny
Architectural Design Studios, Inc.

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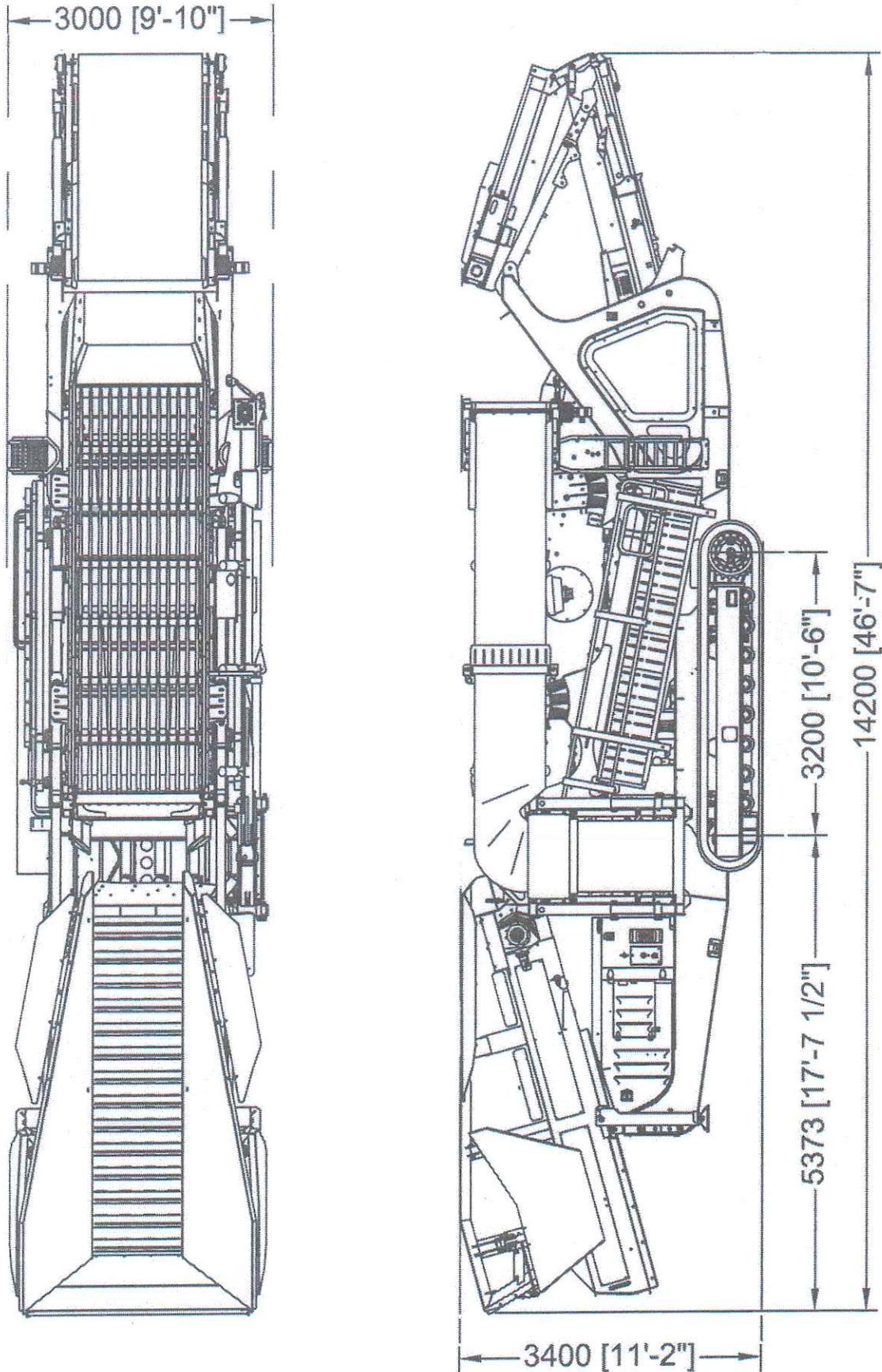
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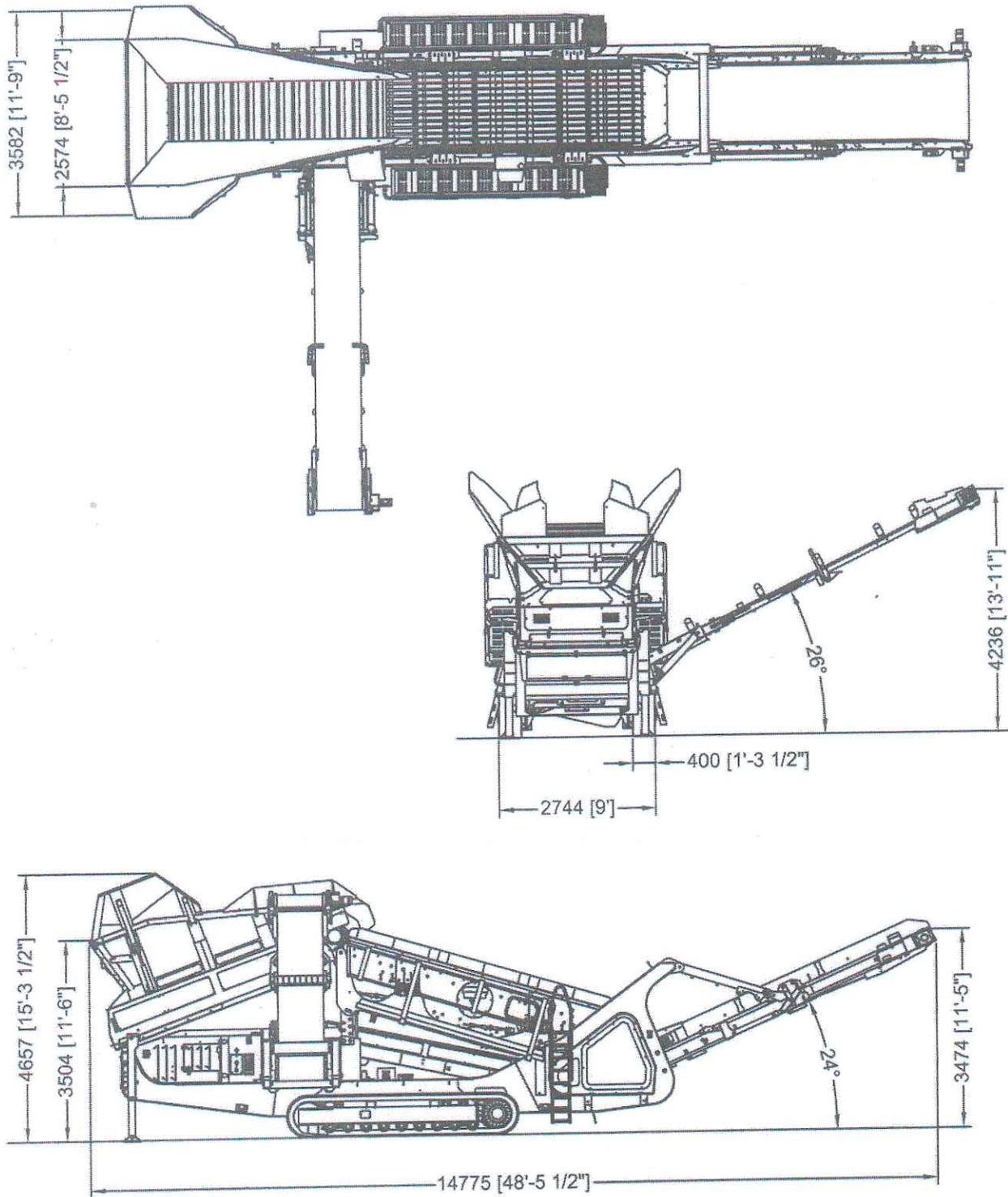
2. TRANSPORTATION & TECHNICAL DATA

QE341

Transport dimensions, with optional hopper extensions:



Working Dimensions, with optional hopper extensions:



2.4. Technical information

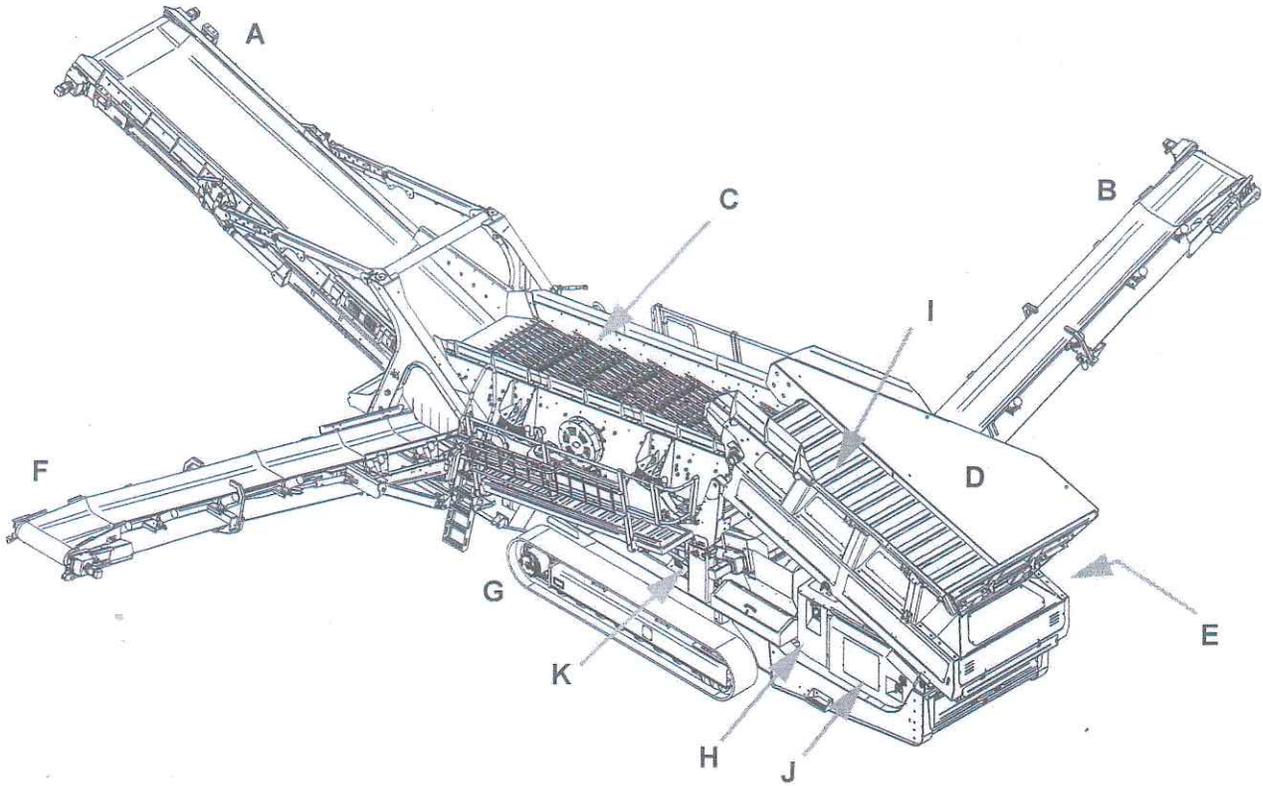
QE341 tracked mobile scalper		
Weight: [with options]	29.5 tonne *	32.5 US ton / 65063 lb *
* Refer also to identification plate		

Three way split		
Transport Width:	3000mm	118in
Transport Length:	14840mm	584in
Transport Height:	3400mm	134in
Working Width:	14380mm	566in
Working Length:	15435mm	608in
Working Height:	4660mm	183in

Two way split		
Transport Width:	3000mm	118in
Transport Length:	14200mm	560in
Transport Height:	3400mm	134in
Working Width:	8904mm	351in
Working Length:	14775mm	582in
Working Height:	4657mm	183in

Performance		
Capacity [up to]:	500 tonne/h	551 US ton/h
Travel Speed:	17m/min.	55ft/min.
Max slope climbing:	22% gradient	20°
Max slope side to side:	11% gradient	10°

2.5. Identification of main units



A.	Oversize conveyor
B.	Fines conveyor
C.	Screen box
D.	Feed hopper
E.	Control panel
F.	Mid grade conveyor
G.	Tracks
H.	Hydraulic fluid tank
I.	Feeder apron conveyor
J.	Power pack
K.	Diesel fuel tank

2.6. Specification of main units**Hopper**

Type	One piece hardox construction	
Capacity	7m ³	23ft ³ / 9.15yd ³

Feeder apron conveyor

Gearbox ratio	15:1	
Belt speed - maximum	22m/min.	72ft/min.

Screen box

Screen top deck measurements	4700 x 1500mm	16 x 5ft
Screen bottom deck measurements	4200 x 1500mm	14 x 5ft
Variable screen angles	11° to 17°	

Over size conveyor

Discharge angle [adjustable]	17° to 25°	
Width	1400mm	55in
Discharge height	3500 to 4000mm	11ft 5in to 13ft 1in
Drive drum diameter	Ø 289mm	Ø 11.5in
Tail drum diameter	Ø 273mm	Ø 10.5in

Mid grade conveyor

Discharge angle [adjustable]	15° to 26°	
Width	800mm	32in
Discharge height at 26°	4000mm	13ft 1in
Drive drum diameter	Ø 232mm	Ø 9.1in
Tail drum diameter	Ø 216mm	Ø 8.5in

Fines conveyor

Discharge angle [adjustable]	22° to 26°	
Width	800mm	32in
Discharge height at 26°	4000mm	13ft 1in
Drive drum diameter	Ø 232mm	Ø 9.1in
Tail drum diameter	Ø 216mm	Ø 8.5in

Transfer conveyor

Width	1200mm	32in
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Tracks

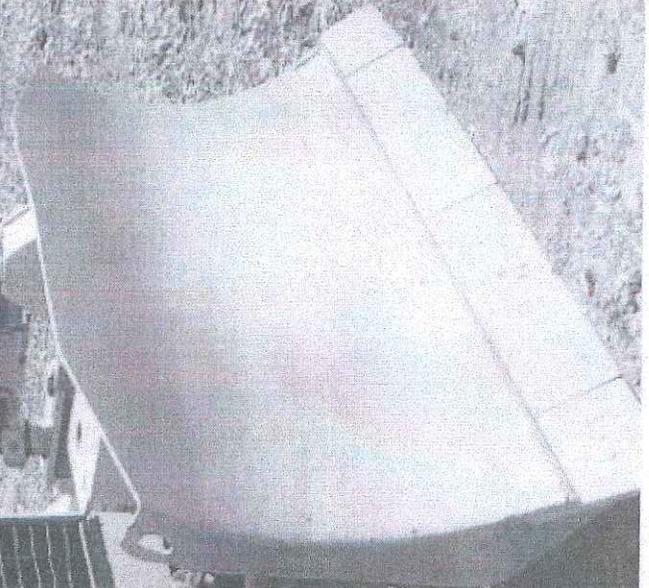
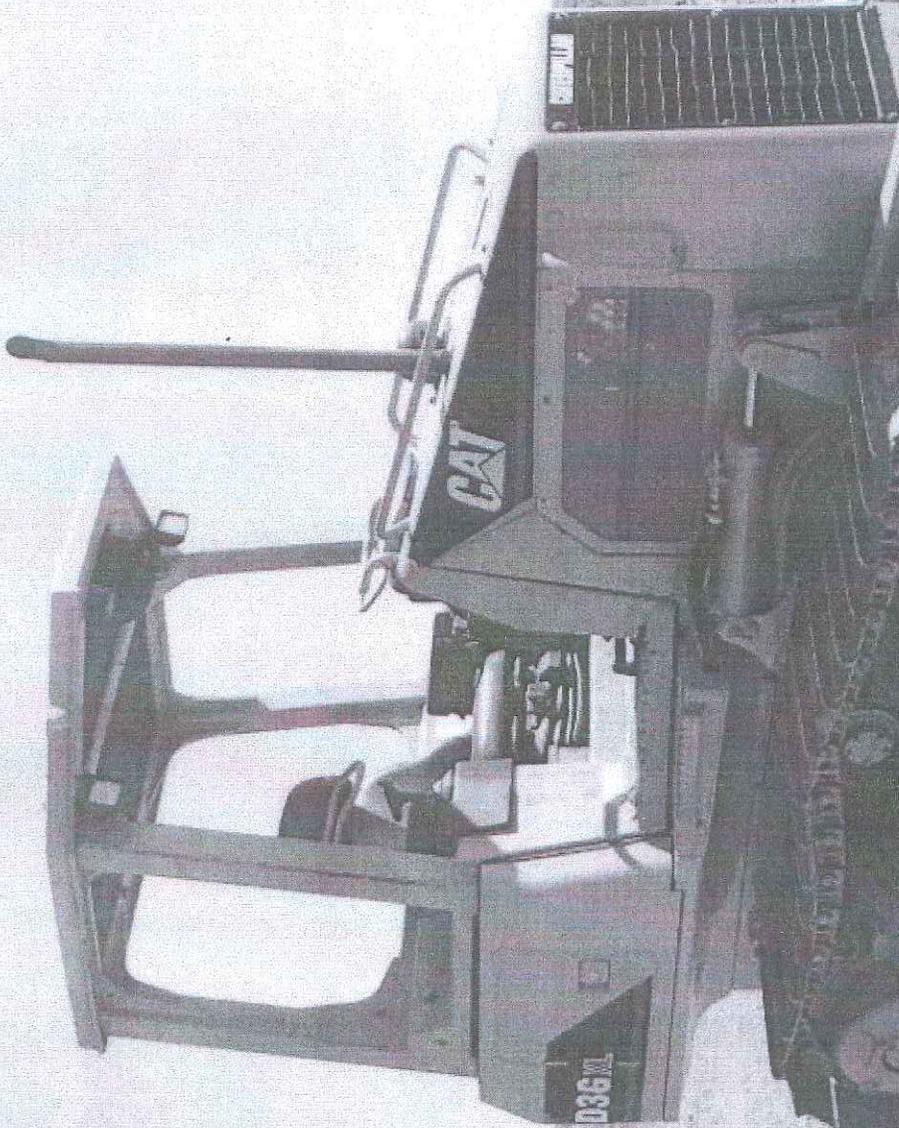
Length	3310mm	12ft 6in
Width	500mm	29.5in

2.6.1. Options

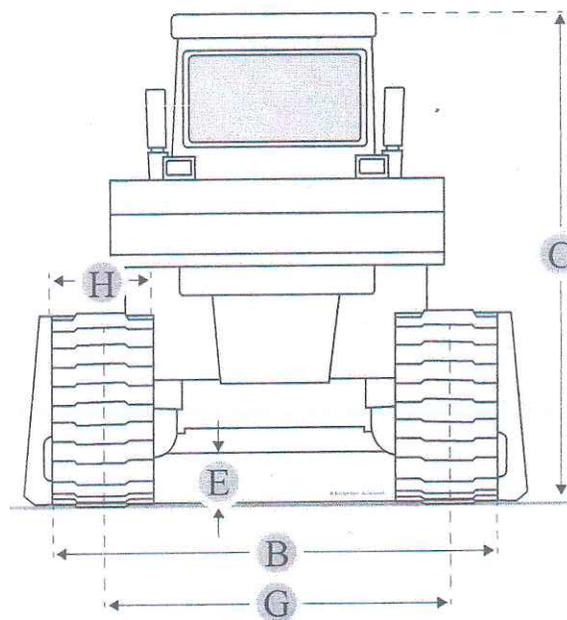
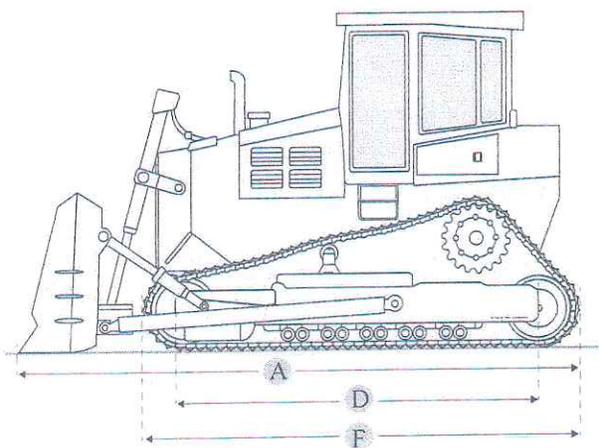
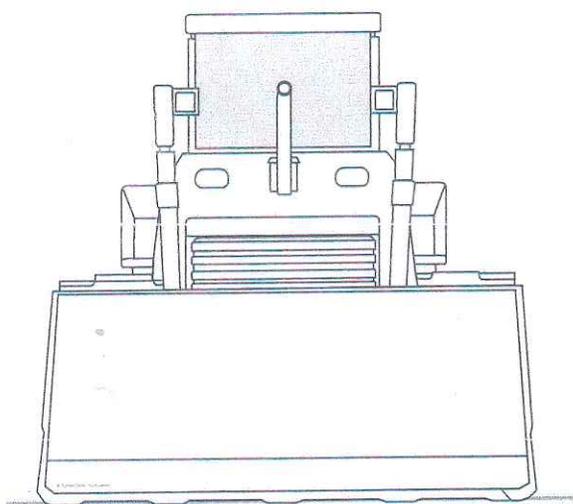
- Hopper extensions for rear loading
- Rear stabilising legs
- Additional hopper wear resistant liners
- Mesh on top deck
- Punch plate top deck
- Impact plate [50/75/100mm] onto tines [30/40/50/60/75/100mm]
- 'Bofar' steel grizzly on top deck [75/100/125/150mm]
- 100mm 'Bofar' steel grizzly & two top deck punched plates
- Heavy duty tines on top deck [30/40/50/60/75/100/125/150mm]
- Mesh on bottom deck
- Cascade fingers on bottom deck [10/15/20/25/30/40/50/60/75mm]
- Wear resistant liners in both side conveyor feed boots
- Canvas covers and brackets [fines conveyor]
- Canvas covers and brackets [mid grade conveyor]
- Fines conveyor spray bar with hosing
- Mid conveyor spray bar with hosing
- Water pump [hydraulic] including side conveyor spray bars
- Arctic package for temperatures down to -20°C (-4°F)
- Arctic package for temperatures down to -30°C (-22°F)
- Remote diesel pump
- Central auto lubrication system
- Lighting mast
- Pull cords on all conveyors
- Reduction for two way split machine
- Reduction for belt feeder option
- Additional manual

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BY:



Caterpillar D3G XL Crawler Tractor



Units

Imperial

Metric

Top

Dimensions

Dimensions

A	Length w/ Blade	13.19 ft in
B	Width Over Tracks	6.08 ft in
C	Height to Top of Cab	8.92 ft in
D	Length of Track on Ground	6.75 ft in
E	Ground Clearance	1.22 ft in
F	Length w/o Blade	10.18 ft in

Undercarriage

G	Track Gauge	4.76 ft in
H	Standard Shoe Size	16 in

Specifications

Engine

Engine Make	2236
Engine Model	3046T
Gross Power	77 hp
Net Power	70 hp
Displacement	305 cu in

Operational

Operating Weight	16227 lb
Fuel Capacity	43.6 gal
Cooling System Fluid Capacity	5.5 gal

[Top](#)

Height	36.8 in
Capacity	1.9 yd3
Blade Angle (both directions)	25 degrees
Cutting Depth	21.8 in
Dimensions	
Length w/o Blade	10.2 ft in
Length w/ Blade	13.2 ft in
Width Over Tracks	6.1 ft in
Height to Top of Cab	9 ft in
Length of Track on Ground	6.8 ft in
Ground Clearance	1.3 ft in

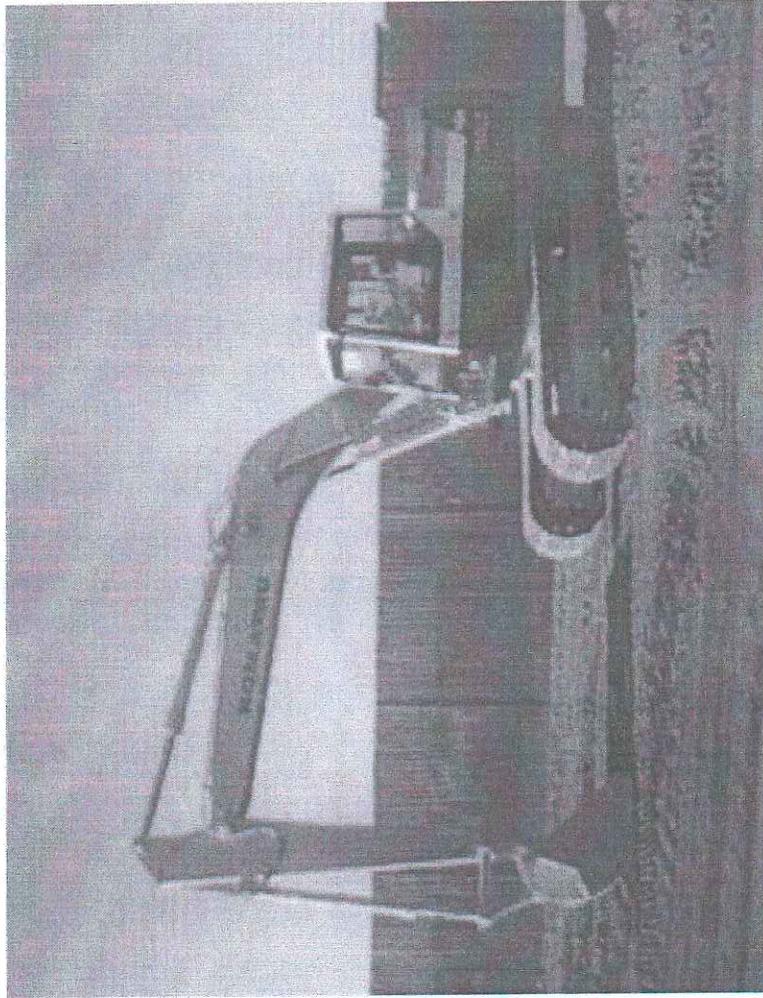
Compare similar models

Manufacturer / Model	Net Power	Operating Weight	Ground Pressure
<input type="checkbox"/> Caterpillar D3G	70 hp	16227 lb	6.3 psi
<input type="checkbox"/> John Deere 450G	70 hp	15932 lb	6.6 psi
<input type="checkbox"/> Caterpillar D3C XL Series III	71 hp	15941.7 lb	6.2 psi

[Compare](#)

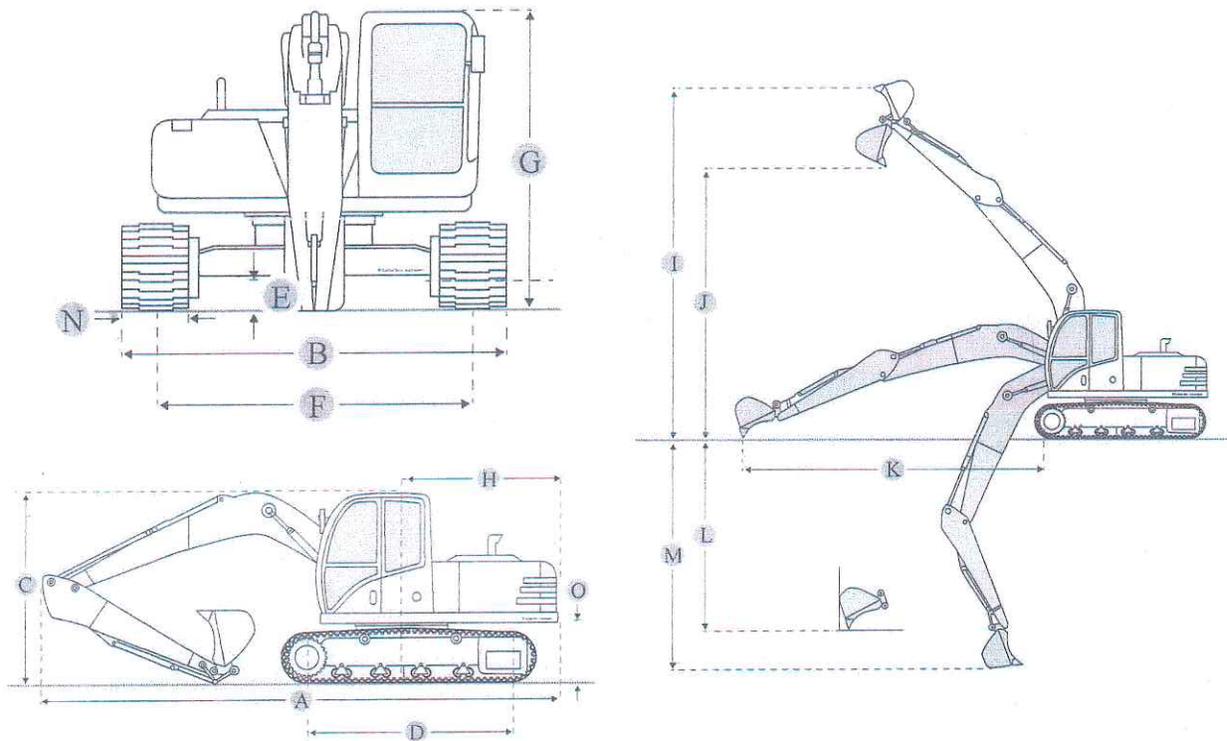
Find Caterpillar D3G XL Crawler Tractor for Sale

Engine Oil Capacity	3.4 gal
Hydraulic Fluid Capacity	12 gal
Final Drives Fluid Capacity	3.6 gal
Operating Voltage	12 V
Alternator Supplied Amperage	120 amps
Transmission	
Transmission Type	Hydrostatic
Number of Forward Gears	1
Number of Reverse Gears	1
Max Speed - Forward	5.6 mph
Max Speed - Reverse	6 mph
Undercarriage	
Ground Pressure	6.3 psi
Ground Contact Area	2586 in ²
Standard Shoe Size	16 in
Number of Shoes per Side	39
Number of Track Rollers per Side	6
Track Gauge	4.8 ft in
Hydraulic System	
Relief Valve Pressure	2900 psi
Pump Flow Capacity	16.1 gal/min
Standard Blade	
Width	8.1 ft in



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Komatsu PC150-5 Hydraulic Excavator



Units

Imperial

Metric

Dimensions

Boom/Stick Option (HEX) 1

A	Shipping Length of Unit	27.96 ft in
C	Shipping Height of Unit	9.42 ft in
I	Max Cutting Height	28.84 ft in
J	Max Loading Height	20.25 ft in

K	Max Reach Along Ground	27.96 ft in
L	Max Vertical Wall Digging Depth	16.05 ft in
M	Max Digging Depth	18.57 ft in
Boom/Stick Option (HEX) 2		
A	Shipping Length of Unit	27.89 ft in
C	Shipping Height of Unit	9.29 ft in
I	Max Cutting Height	28.97 ft in
J	Max Loading Height	20.41 ft in
K	Max Reach Along Ground	28.86 ft in
L	Max Vertical Wall Digging Depth	16.9 ft in
M	Max Digging Depth	19.85 ft in
Boom/Stick Option (HEX) 3		
A	Shipping Length of Unit	27.89 ft in
C	Shipping Height of Unit	9.59 ft in
I	Max Cutting Height	29.37 ft in
J	Max Loading Height	20.87 ft in
K	Max Reach Along Ground	29.79 ft in
L	Max Vertical Wall Digging Depth	17.67 ft in
M	Max Digging Depth	20.81 ft in
Dimensions		
B	Width to Outside of Tracks	8.17 ft in
D	Length of Track on Ground	9.45 ft in
E	Ground Clearance	1.45 ft in

G	Height to Top of Cab	9.26 ft in
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H	Tail Swing Radius	8.03 ft in
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Undercarriage

F	Track Gauge	6.53 ft in
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N	Shoe Size	19.69 in
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Specifications

Engine

Number of Cylinders	6
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Engine Make	2238
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Engine Model	S6D95L
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Gross Power	99.3 hp
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Power Measured @	2000 rpm
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Displacement	298.5 cu in
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Operational

Operating Weight	33907.1 lb
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Fuel Capacity	60.8 gal
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Hydraulic System Fluid Capacity	35.7 gal
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Hydraulic System Relief Valve Pressure	4620 psi
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Hydraulic Pump Flow Capacity	73 gal/min
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Swing Mechanism

Swing Speed	12 rpm
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Undercarriage

Shoe Size	19.7 in
Ground Pressure	7 psi
Max Travel Speed	3.5 mph
Track Gauge	6.6 ft in
Buckets	
Reference Bucket Capacity	0.9 yd3
Minimum Bucket Capacity	0.8 yd3
Maximum Bucket Capacity	1 yd3
Boom/Stick Option (HEX) 1	
Boom/Stick Option (HEX) 1	Boom 16'11" (5150mm)/Stick 7'5" (2250mm)
Shipping Height of Unit	9.5 ft in
Shipping Length of Unit	28 ft in
Max Digging Depth	18.6 ft in
Max Reach Along Ground	28 ft in
Max Cutting Height	28.9 ft in
Max Loading Height	20.3 ft in
Max Vertical Wall Digging Depth	16.1 ft in
Boom/Stick Option (HEX) 2	
Boom/Stick Option (HEX) 2	Boom 16'11" (5150mm)/Stick 8'7" (2620mm)
Shipping Height of Unit	9.3 ft in
Shipping Length of Unit	27.9 ft in
Max Digging Depth	19.9 ft in

Max Reach Along Ground	28.9 ft in
Max Cutting Height	29 ft in
Max Loading Height	20.5 ft in
Max Vertical Wall Digging Depth	16.9 ft in
Boom/Stick Option (HEX) 3	
Boom/Stick Option (HEX) 3	Boom 16'11" (5150mm)/Stick 9'6" (2900mm)
Shipping Height of Unit	9.6 ft in
Shipping Length of Unit	27.9 ft in
Max Digging Depth	20.9 ft in
Max Reach Along Ground	29.8 ft in
Max Cutting Height	29.4 ft in
Max Loading Height	20.9 ft in
Max Vertical Wall Digging Depth	17.7 ft in
Dimensions	
Width to Outside of Tracks	8.2 ft in
Height to Top of Cab	9.3 ft in
Ground Clearance	1.5 ft in
Removal Counterweight Clearance	3.3 ft in
Tail Swing Radius	8.1 ft in
Length of Track on Ground	9.5 ft in

Compare similar models



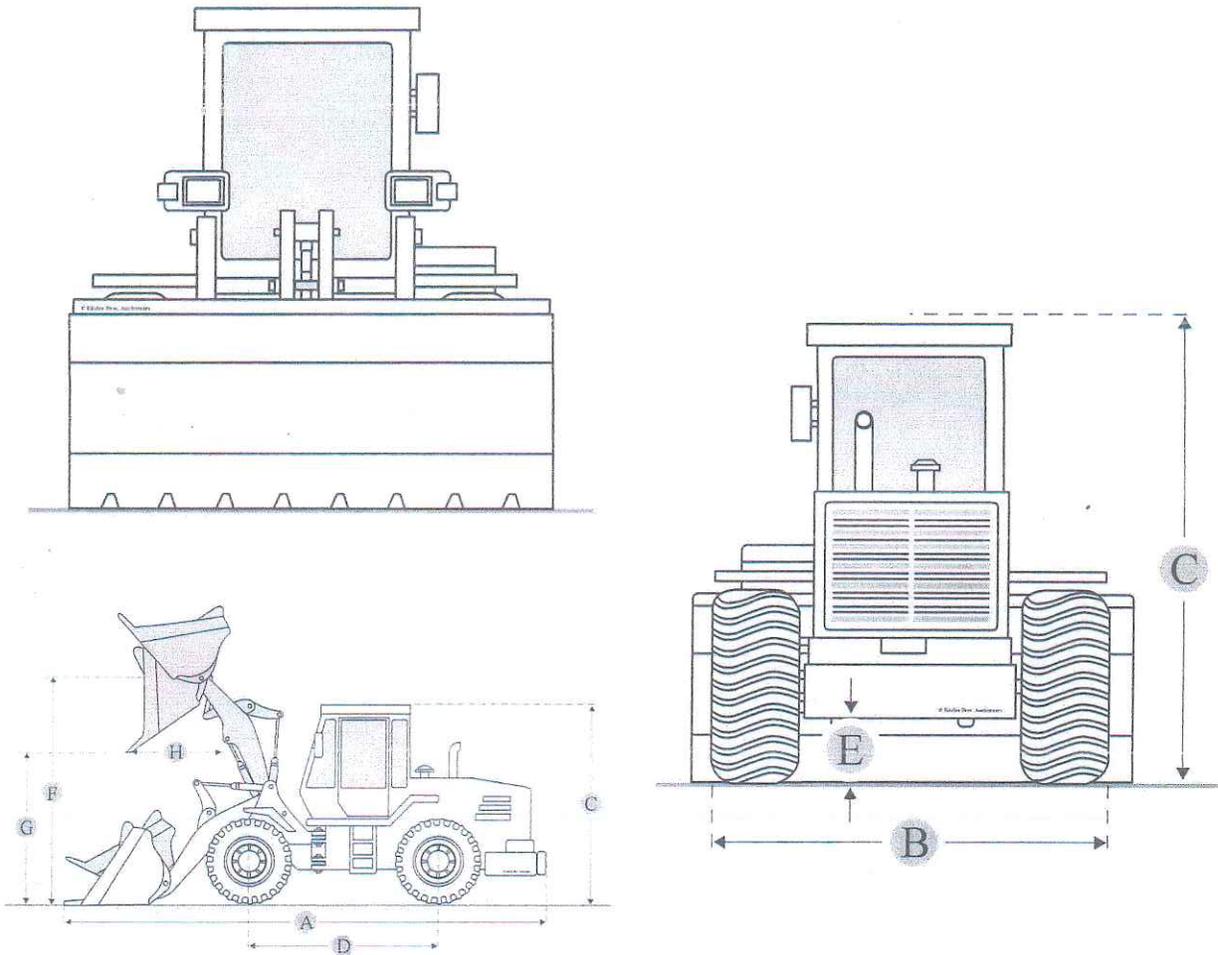
IT24F

CAT

HYATT
CONSTRUCTION INC

APR 19 7813

Caterpillar 924F Wheel Loader



Units Imperial Metric

Dimensions

Bucket

G Dump Clearance at Max Raise

8.86 ft in

Dimensions

A	Length with Bucket on Ground	21.41 ft in
B	Width Over Tires	7.64 ft in
C	Height to Top of Cab	10.29 ft in
D	Wheelbase	8.86 ft in
F	Hinge Pin - Max Height	11.78 ft in
H	Reach at Max Lift and Dump	2.81 ft in

Specifications

Engine

Number of Cylinders	4
Engine Make	2236
Engine Model	3114
Net Power	105 hp
Gross Power	111 hp
Power Measured @	2400 rpm
Displacement	268 cu in
Aspiration	Turbocharged
Rated Net Power	105 hp
Operational	
Operating Weight	19896.8 lb
Fuel Capacity	41.5 gal
Hydraulic System Fluid Capacity	20.4 gal
Engine Oil Fluid Capacity	2.7 gal

Cooling System Fluid Capacity	9.3 gal
Transmission Fluid Capacity	6.1 gal
Front Axle/Diff Fluid Capacity	5.6 gal
Rear Axle/Diff Fluid Capacity	5.6 gal
Static Tipping Weight	15879.9 lb
Rear Axle Oscillation	24 degrees
Tire Size	17.5-25
Transmission	
Transmission Type	Powershift
Number of Forward Gears	4
Number of Reverse Gears	3
Max Speed - Forward	23.9 mph
Max Speed - Reverse	14.8 mph
Forward - 1	4.5 mph
Reverse - 1	4.5 mph
2	8.2 mph
3	14.7 mph
4	23.8 mph
Steering	
Minimum Turning Radius - Over Tires	201 in
Steering Articulation	40 degrees
Weights	
Operating Weight	20081 lb

Optional Counterweight	566 lb
Tires	
Tread Width	6.1 ft in
Size	17.5-25
Buckets	
Bucket Width	7.8 ft in
Hydraulic System	
Relief Valve Setting	3600
Pump Flow Capacity	34.9 gal/min
Raise Time	4.3 sec
Dump Time	1.3 sec
Lower Time	2.7 sec
Bucket	
Dump Clearance at Max Raise	8.9 ft in
Bucket Width	7.9 ft in
Bucket Capacity - heaped	2.3 yd ³
Bucket Capacity - struck	1.9 yd ³
Axles	
Axle Oscillation	12 degrees
Dimensions	
Length with Bucket on Ground	21.5 ft in
Width Over Tires	7.7 ft in
Overall Height	10.3 ft in

[Top](#)

Height to Top of Cab	10.3 ft in
Wheelbase	8.9 ft in
Hinge Pin - Max Height	11.8 ft in
Reach at Max Lift and Dump	2.9 ft in
Wheel Base	8.8 ft in
Width - Over Tires	7.7 ft in
Height - Top of ROPS/FOPS	10.3 ft in
Rack Back Angle - Carry	45 degrees
Bucket Pin Height - Maximum Lift	11.8 ft in
Operating Specifications	
Static Tipping Load - Full Turn	13885 lb
Breakout Force	21067 lb
Articulation Angle	40 degrees
Reach - Full Lift and 45 degrees Dump	2.8 ft in
Dump Clearance at Full Lift and 45 degrees Dump Angle	8.8 ft in
Bucket Capacity - With Bolt-on Cutting Edge	1.8 yd3
Service Refill Capacities	
Cooling System	9.3 gal
Fuel Tank	41.5 gal
Crankcase	2.7 gal
Hydraulic Tank	14 gal
Hydraulic System - Including Tank	20.4 gal
Transmission	6.1 gal

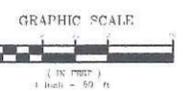
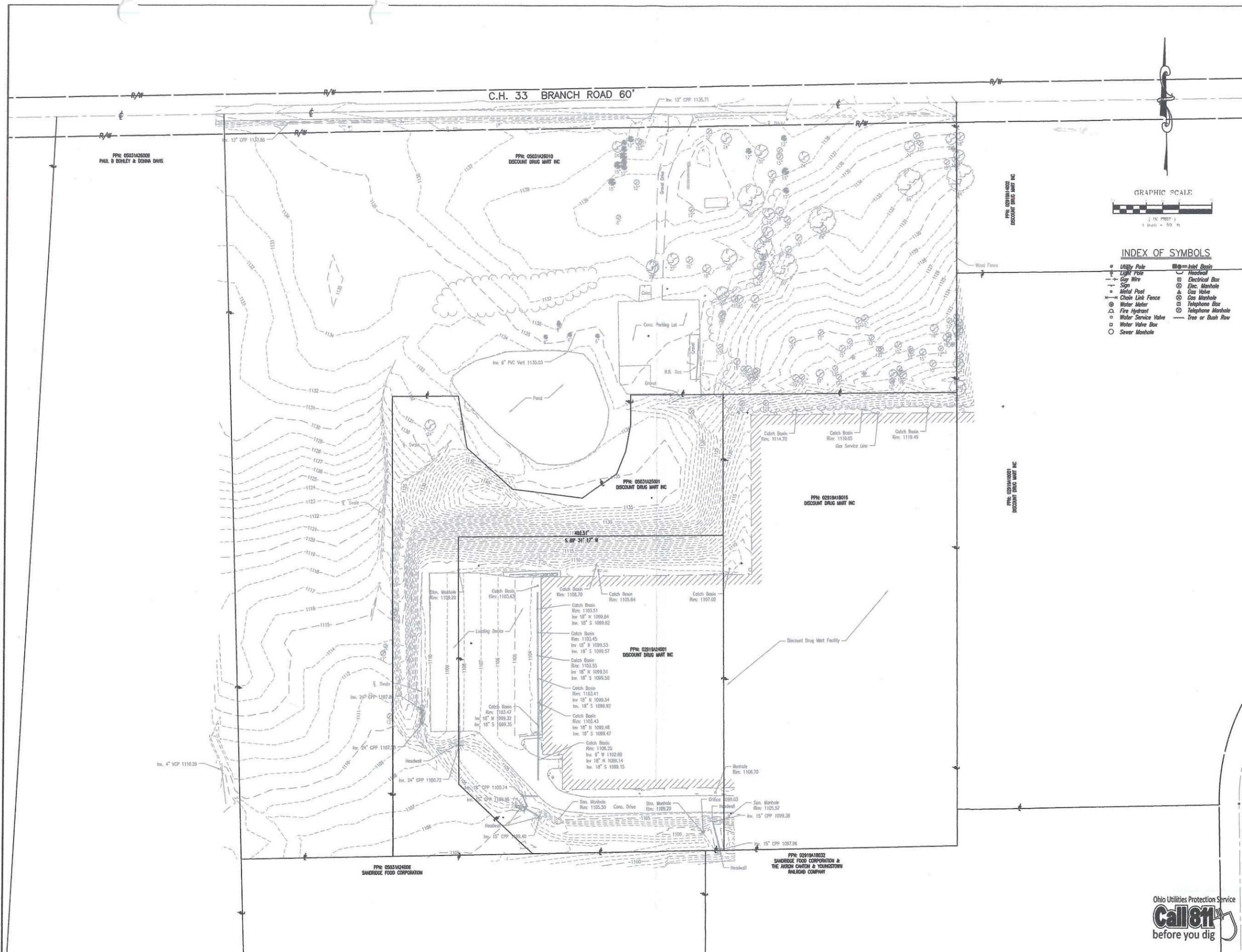
Front	5.6 gal
Rear	5.6 gal
Loader Hydraulic System	
Pump Flow - Implement Pump	35 gal/min
Raise	4.3 s
Dump	1.3 s
Lower, Empty, Float Down	2.7 s
Total	8.3 s
Hydraulic Cycle Time	8.3 s
Relief Pressure - Implement pump	3600 psi

Compare similar models

Manufacturer / Model	Gross Power	Operating Weight	Bucket Capacity - heaped
<input type="checkbox"/> New Holland LW110	110 hp	20723.5 lb	2.3 yd ³
<input type="checkbox"/> Komatsu WA180-3	110 hp	20569.2 lb	2.1 yd ³
<input type="checkbox"/> Link-Belt L120	110 hp	20507 lb	2 yd ³

[Compare](#)

Find Caterpillar 924F Wheel Loader for Sale



INDEX OF SYMBOLS

Utility Pole	Intert Basin
Light Pole	Headwall
Guy Wire	Electrical Box
Sign	Elec. Manhole
Mail Post	Gas Valve
Chain Link Fence	Gas Manhole
Water Meter	Telephone Box
Fire Hydrant	Telephone Manhole
Water Service Valve	Tree or Bush Row
Water Valve Box	
Sewer Manhole	

CVE CHAGRIN VALLEY ENGINEERING, LTD.
 Creative Engineers. Intelligent Solutions.
 22999 Eches Road, Suite B, Chagrin Falls, Ohio 44024-5647
 Phone • 440.439.1999 Fax • 440.439.1989 www.cveinfed.com

SITE PLAN
 DDM DISTRIBUTION FACILITY EXPANSION
 CITY OF MEDINA
 MEDINA COUNTY, OHIO

DESIGNED BY: JRJ
 DRAWN BY: PMZ
 CHECKED BY: MMJ
 DATE: 3-21-2019
 SCALE: 1"=50'

PROJECT NUMBER
16457
 Drawing Name
 16457Master

SHEET: 1
 TOTAL SHEETS: 1



VEGETATION STABILIZATION REQUIREMENTS

- VEGETATION STABILIZATION IS THE MOST EFFECTIVE TYPE OF EROSION CONTROL PRACTICE. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT THE DESIGNATED AREAS AS SPECIFIED BY THE DISTRICT AUTHORITY HAVING JURISDICTION AND THE LOCAL SOIL WATER CONSERVATION DISTRICT AUTHORITY HAVING JURISDICTION AND THE LOCAL SOIL WATER CONSERVATION DISTRICT AUTHORITY HAVING JURISDICTION.
- DISTURBED AREAS THAT WILL REMAIN UNOCCUPIED FOR A PERIOD OF 30 DAYS OR GREATER SHALL BE RESEEDED WITH SEEDS AND COVER OR OTHER APPROPRIATE MEANS WITHIN 14 DAYS AFTER THE LAST DISTURBANCE.
- FOR AREAS WITHIN 30 DAYS OF RESEEDING, SOIL STABILIZATION SHALL BE WITHIN 30 DAYS OF ALL RESEEDING COMPLETED AREAS.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS WITHIN 14 DAYS AFTER FINAL GRADING IS COMPLETED ON ANY PORTION OF THE SITE.
- THE DEVELOPER IS REQUIRED TO ESTABLISH A VEGETATIVE COVER WHICH ACCORDS AT LEAST TO THE MINIMUM STANDARDS OF THE DISTRICT AUTHORITY HAVING JURISDICTION.
- MEANS TO SEEDING, SOIL TREATS SHOULD BE DONE TO OBTAIN THE BEST USE OF LIFE AND NUTRIENT VALUE OF THE SEEDS. SEEDS SHALL BE APPLIED AT 15,000 LBS/AC OF 10-10-10 OR 20-20-20 FERTILIZER. THE SEEDS SHALL BE MIXED INTO THE SOIL TO A DEPTH OF 3 INCHES.
- NO SEED SHALL BE PLANTED FROM OCTOBER THROUGH NOVEMBER 30. DURING THIS PERIOD THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLY WILL NOT BE ABLE TO SURVIVE THE WINTER MONTHS.
- STRIPS WHICH SHALL BE ANCHORED IMMEDIATELY TO PREVENT LOSS BY WIND OR WATER. POSSIBLE ANCHORING METHODS ARE AS FOLLOWS:
 - MECHANICAL DISK
 - SYNTHETIC BRASS
 - ASPHALT EMULSION
 - WOOD CELLULOSE
- ON SLOPES AND SLOTTES AS NOTED ON THE PLANS, APPLY EXCELISOR HATTING TO PROTECT VEGETATION FROM EROSION. STEEP SLOPES OF 3:1 OR GREATER SHALL BE SEEDING WITH ALL SEEDS AT A RATE OF 40 LB/AC.
- PERMANENT SEEDING SHALL NOT BE CONSIDERED ESTABLISHED FOR AT LEAST 1 YEAR OR FROM THE TIME OF ANTI-EROSION SEEDING SHALL BE REQUIRED FOR FAILURE AND VEGETATION RE-ESTABLISHMENT AS REQUIRED. DEPENDING ON SITE CONDITIONS, IT MAY BE NECESSARY TO RESEED, RESEED, OR RESEED WITH SEEDS IN ORDER TO PROVIDE PERMANENT VEGETATION FOR ADEQUATE EROSION CONTROL.
- MAINTENANCE FERTILIZATION RATES SHALL BE ESTABLISHED BY SOIL TEST RECOMMENDATIONS OR BY USING THE RATES SHOWN IN THE FOLLOWING TABLE.

DESCRIPTION	DATES	RECOMMENDED APPLICATION RATE (OR EQUIVALENT) AS SPECIFIED IN MANUFACTURER'S INSTRUCTIONS
PERMANENT SEEDING	MARCH 1 - SEPT 30	GENERAL USE RISK OF EROSION DOMESTIC WASTEWATER CONTACT WASTEWATER
		STEP BANKS ROAD DITCHES
TEMPORARY SEEDING	MARCH 1 - SEPT 30	PERMANENT WASTEWATER AND 10 LB/AC TALL RESCUE * 40 LB/AC ANNUAL RITEGRASS * 40 LB/AC
DOMESTIC SEEDING	OCT 1 - NOV 30	PREPARE SEEDBED, ADD LIME & FERTILIZER, THEN PLANT FROM NOV 30 THROUGH MARCH 15. APPLY THE SELECTED SEED MIXTURE AT A 50% INCREASE IN RATE.
	NOV 30 - MARCH 15	PREPARE SEEDBED, ADD LIME & FERTILIZER, APPLY THE SELECTED SEED MIXTURE AT A 50% INCREASE IN RATE, THEN MULCH.
MULCH	ANYTIME OF THE YEAR	STRAW 2 TONS/AC OR 10 LB/DOORFT HYDROSEED WOOD CELLULOSE FIBER 1 TON/AC OR 10 LB/DOORFT

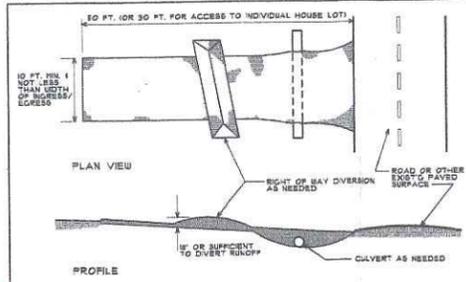
SPECIFICATIONS FOR NON-SEDIMENT POLLUTION CONTROL

- CONSTRUCTION PERSONNEL, INCLUDING SUBCONTRACTORS WHO MAY USE OR HANDLE HAZARDOUS OR TOXIC MATERIALS, SHALL BE MADE AWARE OF THE FOLLOWING GENERAL GUIDELINES:

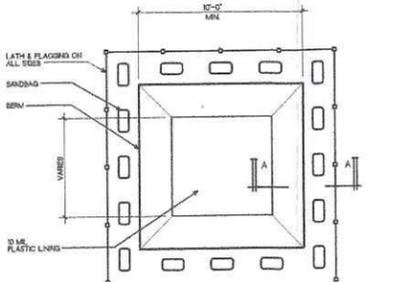
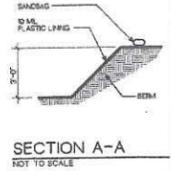
DISPOSAL AND HANDLING OF HAZARDOUS AND OTHER CONSTRUCTION WASTE	
DO:	<ul style="list-style-type: none"> PREVENT SPILLS USE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS FOR DISPOSAL REMOVE LIDS FROM EMPTY BOTTLES AND CANS WHEN DISPOSING IN TRASH RECYCLE WASTE WHENEVER POSSIBLE
DON'T:	<ul style="list-style-type: none"> POUR INTO WATERWAYS, STORM DRAINS OR ONTO THE GROUND POUR FROM THE BACK OF A TRUCK OR INTO STORM DRAINS POUR INTO ANY OTHER DRAINAGE SYSTEM BURN CHEMICALS OR CONTAINERS MIX CHEMICALS TOGETHER

- CONTAINERS SHALL BE PROVIDED FOR COLLECTION OF ALL WASTE MATERIAL INCLUDING CONSTRUCTION WASTE, TRASH, METALLIC PRODUCTS AND ALL HAZARDOUS MATERIALS TO BE USED ON-SITE. ALL WASTE MATERIALS SHALL BE STORED ON-SITE UNTIL REMOVED BY THE CONTRACTOR.
- NO HAZARDOUS MATERIALS SHALL BE STORED ON-SITE. SITE PERSONNEL INCLUDING SUBCONTRACTORS SHALL BE ADVISED OF THE LOCATION OF ALL HAZARDOUS MATERIALS AND ALL OTHER POTENTIALLY HAZARDOUS MATERIALS. ALL HAZARDOUS MATERIALS SHALL BE STORED IN AN AREA AWAY FROM ANY WATERCOURSE, DITCH OR STORM DRAIN.
- HAZARDOUS MATERIALS SHALL BE STORED IN AN AREA AWAY FROM ANY WATERCOURSE, DITCH OR STORM DRAIN. THE DESIGNATED AREA SHALL BE EQUIPPED FOR PROTECTING OF AND CLEANING UP. THE DESIGNATED AREA SHALL BE EQUIPPED WITH A SIGN WHICH SHALL BE CONSPICUOUSLY PLACED TO ADVISE OF THE HAZARDOUS MATERIALS.
- HAZARDOUS SUBSTANCES SUCH AS OIL, DIESEL FUEL, HYDRAULIC FLUID, ANTIFREEZE, ETC. ARE TO BE STORED IN A LEAK-PROOF TANK. THE TANK SHALL BE PROTECTED FROM COLLISION AND SHALL BE PROTECTED FROM FIRE. THE TANK SHALL BE PROTECTED FROM COLLISION AND SHALL BE PROTECTED FROM FIRE. THE TANK SHALL BE PROTECTED FROM COLLISION AND SHALL BE PROTECTED FROM FIRE.
- SPILLS OF 25 GAL OR MORE OF PETROLEUM PRODUCTS SHALL BE REPORTED TO OHIO EPA (800-424-9393) AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MINUTES OF THE DISCOVERY OF THE RELEASE.

SPECIFICATIONS FOR CONSTRUCTION ENTRANCE



- STONE SIZE—TWO-INCH STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH—THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 30 FT. EXCEPT ON SINGLE RESIDENCE LOTS WHERE A 30 FT. FRONT YARD IS REQUIRED.
- THICKNESS—THE STONE LAYER SHALL BE AT LEAST 4 IN. THICK.
- WIDTH—THE ENTRANCE SHALL BE AT LEAST 10 FT. WIDE, BUT NOT LESS THAN THE FULL WIDTH AT FOUR FEET ABOVE ROAD OR SURFACE COURSE.
- SEEDING—A GEOTEXTILE SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PAVING STONE. IT SHALL HAVE A TENSILE STRENGTH OF AT LEAST 100 LB. AND A TENSILE ELONGATION OF AT LEAST 100%.
- CULVERT—A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FLOODING ACROSS THE ENTRANCE FROM BEING DIRECTED ONTO PAVED SURFACES.
- WATER BAR—A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE TO PREVENT SURFACE WATER FROM FLOODING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
- MAINTENANCE—TOP DRESSING OF ADDITIONAL STONE SHOULD BE APPLIED AS CONDITIONS WARRANT. THE ENTRANCE SHOULD BE MAINTAINED AT ALL TIMES. REPAIRS TO THE ENTRANCE SHALL BE ACCOMPLISHED AS SOON AS PRACTICABLE.
- CONSTRUCTION ENTRANCES SHALL NOT BE USED TO REMOVE DIRT FROM VEHICLES AND BE RESTRICTED FROM NOODY AREAS.



TEMPORARY CONCRETE WASHOUT FACILITIES (FIVE BELOW GRADE) SHOULD BE CONSTRUCTED AS SHOWN IN THE DETAIL WITH A MINIMUM LENGTH AND WIDTH OF 5 FEET. THE QUANTITY AND VOLUME SHOULD BE SUFFICIENT TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.

LATH AND FLAGGING SHOULD BE COMMERCIAL TYPE.

PLASTIC LINER MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TENDS OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

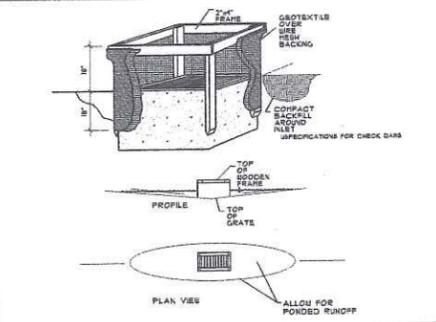
WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE WASHOUT FACILITY SHOULD BE REINFORCED AND CURED OFFSITE. MATERIAL USED IS COPIED OF TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE REMOVED FROM THE SITE.

OHIO ENVIRONMENTAL PROTECTION AGENCY NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTES

- THE CONTRACT DRAWING SHALL BE MADE AVAILABLE ON SITE AT ALL TIMES AND PRESENTED UPON REQUEST.
- ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT. INSPECTION REPORTS SHALL BE SUBMITTED TO THE DISTRICT AUTHORITY HAVING JURISDICTION WITHIN 72 HOURS OF THE INSPECTION. INSPECTION REPORTS SHALL BE MAINTAINED FOR 3 YEARS AFTER THE NOTICE OF ABATEMENT FOR THE OHIO EPA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INSPECTION REPORTS FROM THE DISTRICT AUTHORITY HAVING JURISDICTION.
- IF EROSION OR SEDIMENT CONTROL PRACTICES ARE NOT MAINTAINED OR ARE INADEQUATE, THE DISTRICT AUTHORITY HAVING JURISDICTION SHALL BE NOTIFIED IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INSPECTION REPORTS FROM THE DISTRICT AUTHORITY HAVING JURISDICTION.
- THE DEVELOPER AND HIS/HER CONTRACTOR, REPRESENTATIVE SHALL HAVE OVERALL RESPONSIBILITY FOR THE IMPLEMENTATION OF THIS STORM WATER POLLUTION PREVENTION PLAN. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING INSPECTION REPORTS FROM THE DISTRICT AUTHORITY HAVING JURISDICTION.
- REPAIRS TO ALL EROSION AND SEDIMENT CONTROL MEASURES, STRUCTURES, DEVICES, OR RELATED ITEMS SHALL BE MADE WITHIN 14 DAYS.
- PERMANENT BASINS/STRIPS AND PERMETER SEDIMENT CONTROLS SHALL BE PRESENTED AS THE FINAL STEP OF CONSTRUCTION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONTINUE TO FUNCTION UNTIL UPLAND AREAS ARE PERMANENTLY STABILIZED, AND SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
- STREAMS INCLUDING BRUSH AND BRACKS SHALL BE RESTORED IMMEDIATELY AFTER A CHANNEL BARRIER IS COMPLETED, INTERRUPTED, OR STOPPED.

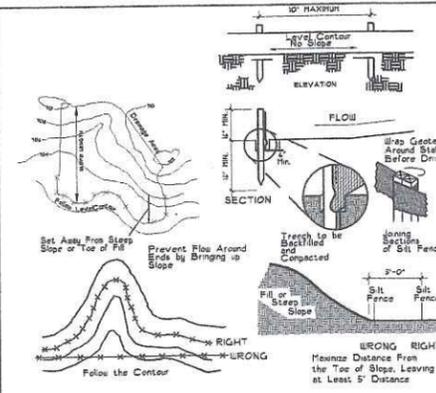
SPECIFICATIONS FOR INLET PROTECTION (YARD INLETS)

- INLET PROTECTION SHALL BE INSTALLED BEFORE UPOPELAND DISTURBANCE BEGINS OR BEFORE THE STREET BECOMES OPERATIONAL.
- THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH OF 6 INCHES.
- THE TOP OF THE FRAME AS BUILT SHALL BE AT LEAST 3 INCHES BELOW ADJACENT ROAD'S FINISHED WATER SURFACE TO PREVENT WATER FROM FLOODING THE INLET.
- THE INLET SHALL BE INSTALLED AT THE POINT OF ENTRY TO THE PROPERTY. THE INLET SHALL BE INSTALLED AT THE POINT OF ENTRY TO THE PROPERTY. THE INLET SHALL BE INSTALLED AT THE POINT OF ENTRY TO THE PROPERTY.
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SPECIFICATIONS FOR SILT FENCE

- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPOPELAND DISTURBANCE BEGINS.
- ALL SILT FENCES SHALL BE MAINTAINED AS HIGH AS POSSIBLE TO PREVENT WATER FROM FLOODING THE AREA. THE SILT FENCE SHALL BE MAINTAINED AS HIGH AS POSSIBLE TO PREVENT WATER FROM FLOODING THE AREA.
- TO PREVENT WATER FLOODING BY THE SILT FENCE, THE SILT FENCE SHALL BE MAINTAINED AS HIGH AS POSSIBLE TO PREVENT WATER FROM FLOODING THE AREA.
- WHERE POSSIBLE, PROTECTION SHALL BE PROVIDED FOR 3 FEET ABOVE THE FINISHED ELEVATION OF THE SILT FENCE. THE SILT FENCE SHALL BE MAINTAINED AS HIGH AS POSSIBLE TO PREVENT WATER FROM FLOODING THE AREA.
- THE SILT FENCE SHALL BE PLACED AT THE POINT OF ENTRY TO THE PROPERTY. THE SILT FENCE SHALL BE PLACED AT THE POINT OF ENTRY TO THE PROPERTY. THE SILT FENCE SHALL BE PLACED AT THE POINT OF ENTRY TO THE PROPERTY.
- MAINTENANCE—SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS OFFSITE FLOW THROUGH THE SILT FENCE. THE SILT FENCE SHALL BE MAINTAINED AS HIGH AS POSSIBLE TO PREVENT WATER FROM FLOODING THE AREA.
- TRUCK TIRE SHALL BE A MINIMUM OF 32 INCHES IN LENGTH MADE OF 2-BY-2 INCH HARDWOOD OF SOUND QUALITY.
- SILT FENCE FABRIC SHALL BE 600 TYP. GEOTEXTILE FABRIC OR EQUIVALENT.



EROSION AND SEDIMENT CONTROL NOTES

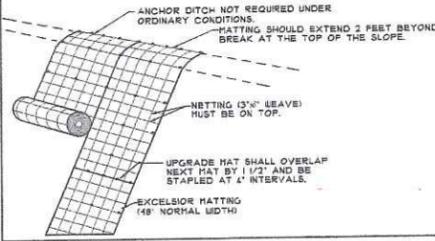
- THE IMPLEMENTATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL CONFORM TO THE OHIO DEPARTMENT OF NATURAL RESOURCES' (ODNR) EROSION AND SEDIMENT CONTROL PLAN. THE OHIO DEPARTMENT OF NATURAL RESOURCES' (ODNR) EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED FOR 3 YEARS AFTER THE NOTICE OF ABATEMENT FOR THE OHIO EPA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INSPECTION REPORTS FROM THE DISTRICT AUTHORITY HAVING JURISDICTION.
- EROSION AND SEDIMENT CONTROL PRACTICES NOT ALREADY SPECIFIED ON THE PLAN MAY BE USED IF THEY ARE APPROVED BY THE DISTRICT AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INSPECTION REPORTS FROM THE DISTRICT AUTHORITY HAVING JURISDICTION.
- THE DEVELOPER AND HIS/HER CONTRACTOR, REPRESENTATIVE SHALL HAVE OVERALL RESPONSIBILITY FOR THE IMPLEMENTATION OF THIS STORM WATER POLLUTION PREVENTION PLAN. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING INSPECTION REPORTS FROM THE DISTRICT AUTHORITY HAVING JURISDICTION.
- REPAIRS TO ALL EROSION AND SEDIMENT CONTROL MEASURES, STRUCTURES, DEVICES, OR RELATED ITEMS SHALL BE MADE WITHIN 14 DAYS.
- PERMANENT BASINS/STRIPS AND PERMETER SEDIMENT CONTROLS SHALL BE PRESENTED AS THE FINAL STEP OF CONSTRUCTION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONTINUE TO FUNCTION UNTIL UPLAND AREAS ARE PERMANENTLY STABILIZED, AND SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
- STREAMS INCLUDING BRUSH AND BRACKS SHALL BE RESTORED IMMEDIATELY AFTER A CHANNEL BARRIER IS COMPLETED, INTERRUPTED, OR STOPPED.

SPECIFICATIONS FOR MULCHING

- MULCH AND/OR OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 14 DAYS OF FINAL GRADING. MULCHING SHALL BE APPLIED TO FINAL GRADE WITHIN 14 DAYS OF FINAL GRADING.
- MULCH SHALL CONSIST OF ONE OF THE FOLLOWING:
 - STRAW—STRAW SHALL BE USED WITHIN 30 DAYS OF FINAL GRADING. THE STRAW SHALL BE APPLIED AT A RATE OF 2 TONS/AC. THE STRAW SHALL BE APPLIED AT A RATE OF 2 TONS/AC. THE STRAW SHALL BE APPLIED AT A RATE OF 2 TONS/AC.
 - HYDROSEED—HYDROSEED SHALL BE USED WITHIN 30 DAYS OF FINAL GRADING. THE HYDROSEED SHALL BE APPLIED AT A RATE OF 2 TONS/AC. THE HYDROSEED SHALL BE APPLIED AT A RATE OF 2 TONS/AC.
 - WOOD CELLULOSE—WOOD CELLULOSE SHALL BE USED WITHIN 30 DAYS OF FINAL GRADING. THE WOOD CELLULOSE SHALL BE APPLIED AT A RATE OF 2 TONS/AC. THE WOOD CELLULOSE SHALL BE APPLIED AT A RATE OF 2 TONS/AC.
 - OTHER—OTHER ACCEPTABLE MULCHES SHALL BE USED WITHIN 30 DAYS OF FINAL GRADING. THE OTHER MULCHES SHALL BE APPLIED AT A RATE OF 2 TONS/AC. THE OTHER MULCHES SHALL BE APPLIED AT A RATE OF 2 TONS/AC.
- MULCHING SHALL BE APPLIED TO ALL DISTURBED AREAS. MULCHING SHALL BE APPLIED TO ALL DISTURBED AREAS. MULCHING SHALL BE APPLIED TO ALL DISTURBED AREAS.
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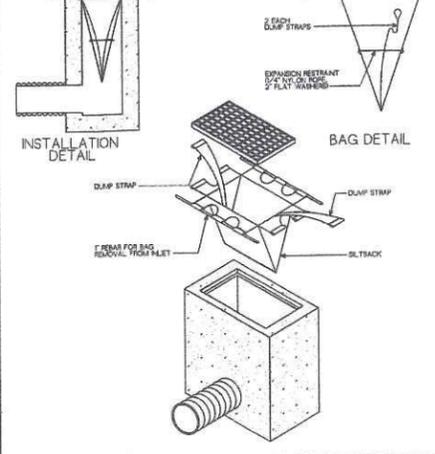
HATTING ON SLOPES (SLOPES 3:1 OR GREATER / DRAINAGE SWALES)

- ON STEEP SLOPES APPLY HATTING BY BACKING DOWN HILL, KEEPING EDGE OVERLAPPING ADJACENT MAT BY 1/2". ON SHORT GRADUAL SLOPES THE HATTING MAY BE APPLIED HORIZONTAL.
- EXCELISOR HATTING IS ITS OWN MULCH AND NO EXTRA VEGETATIVE MULCH MATERIAL IS REQUIRED.



SPECIFICATIONS FOR SEDIMENT CONTROL DEVICE (SILT TRAP)

- SILT TRAP SHALL BE CONSTRUCTED BEFORE UPOPELAND DISTURBANCE BEGINS.
- ALL SILT TRAPS SHALL BE MAINTAINED AS HIGH AS POSSIBLE TO PREVENT WATER FROM FLOODING THE AREA. THE SILT TRAP SHALL BE MAINTAINED AS HIGH AS POSSIBLE TO PREVENT WATER FROM FLOODING THE AREA.
- TO PREVENT WATER FLOODING BY THE SILT TRAP, THE SILT TRAP SHALL BE MAINTAINED AS HIGH AS POSSIBLE TO PREVENT WATER FROM FLOODING THE AREA.
- WHERE POSSIBLE, PROTECTION SHALL BE PROVIDED FOR 3 FEET ABOVE THE FINISHED ELEVATION OF THE SILT TRAP. THE SILT TRAP SHALL BE MAINTAINED AS HIGH AS POSSIBLE TO PREVENT WATER FROM FLOODING THE AREA.
- THE SILT TRAP SHALL BE PLACED AT THE POINT OF ENTRY TO THE PROPERTY. THE SILT TRAP SHALL BE PLACED AT THE POINT OF ENTRY TO THE PROPERTY. THE SILT TRAP SHALL BE PLACED AT THE POINT OF ENTRY TO THE PROPERTY.
- MAINTENANCE—SILT TRAP SHALL ALLOW RUNOFF TO PASS ONLY AS OFFSITE FLOW THROUGH THE SILT TRAP. THE SILT TRAP SHALL BE MAINTAINED AS HIGH AS POSSIBLE TO PREVENT WATER FROM FLOODING THE AREA.
- TRUCK TIRE SHALL BE A MINIMUM OF 32 INCHES IN LENGTH MADE OF 2-BY-2 INCH HARDWOOD OF SOUND QUALITY.
- SILT TRAP FABRIC SHALL BE 600 TYP. GEOTEXTILE FABRIC OR EQUIVALENT.



STATE OF OHIO
ANTHONY J. CERNY
REGISTERED ARCHITECT
1928
ANTHONY J. CERNY #7008
ERIN TONER #267208

ARCHITECTURAL DESIGN
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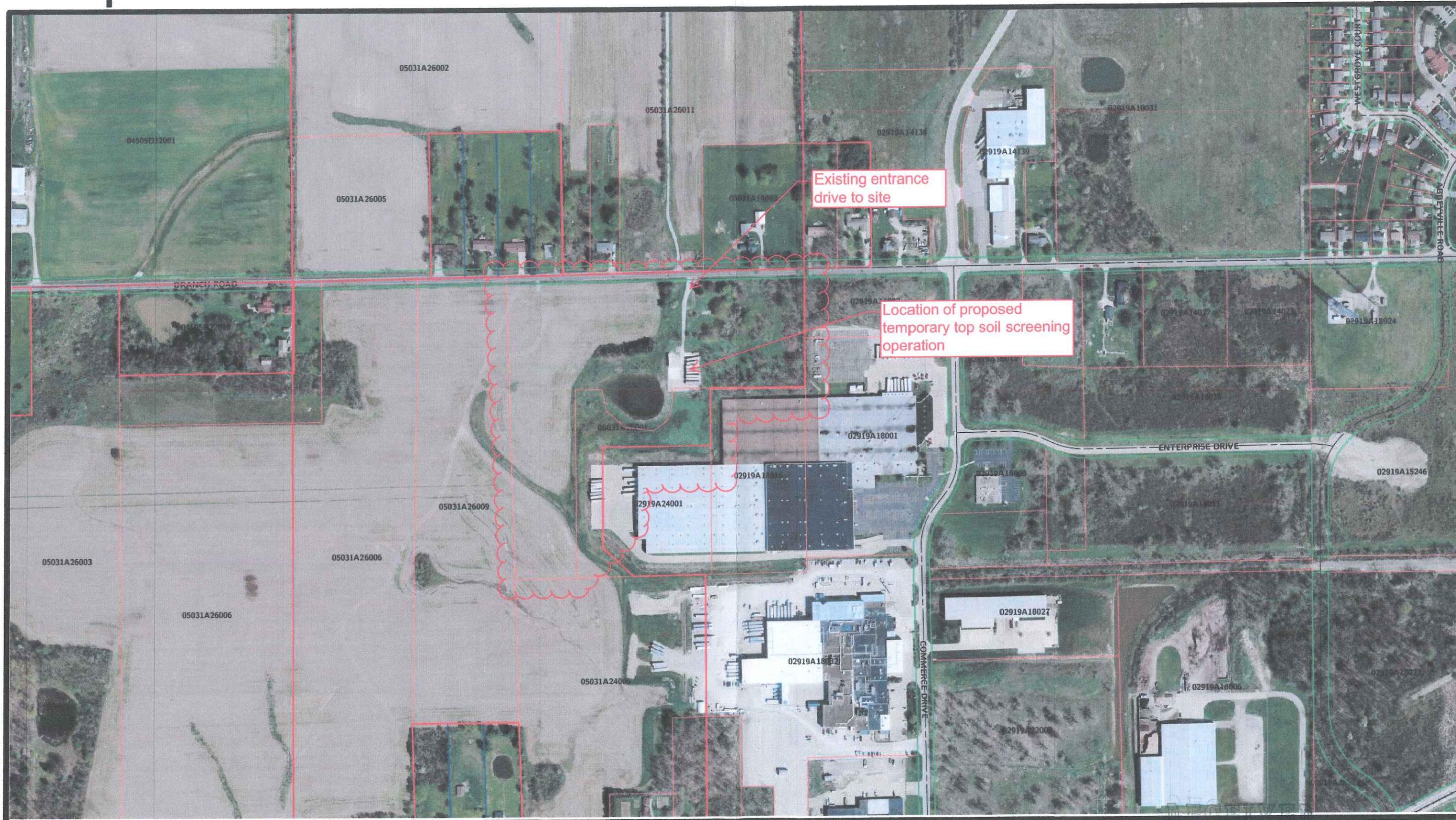
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Map



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