

**MEETING DATE: 2-13-20**

# **PLANNING COMMISSION**

**Case No. P20-03  
1050 Enterprise Drive**



**CITY of MEDINA**  
**Planning Commission**  
**February 13, 2020 Meeting**

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**Case No:** P20-03  
**Address:** 1050 Enterprise Drive  
**Applicant:** Medina Sports Training Center LLC  
**Subject:** Conditional Zoning Certificate and Site Plan Review – Commercial Recreation use  
**Zoning:** I-1, Industrial  
**Submitted by:** Jonathan Mendel, Community Development Director 

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**Site Location:**

The site is located on the south side of the 1000 block of Enterprise Dr. which currently is a predominantly undeveloped industrial neighborhood.

**Project Introduction:**

The applicant requests a Conditional Zoning Certificate and Site Plan to construct a sports training facility, which falls under the use definition of ‘Commercial Recreation’ and is a conditionally permitted use in the I-1 zoning district.

The project includes a 19,500 sqft building and accessory 65 space parking lot. The building will house indoor batting cages and indoor baseball infield for training purposes.

Please find attached to this report:

1. Project narrative and development plans received January 23, 2020
2. Aerial photograph

**Conditional Zoning Certificate Review**

**Public Hearing:** The Zoning Code requires the Planning Commission to conduct a Public Hearing for the proposed Conditional Use. The legal notices have been issued to permit the Public Hearing at the February 13, 2020 meeting. Based on the review of the case and the public hearing the Planning Commission may impose such additional conditions and safeguards deemed necessary for the general welfare, for the protection of

individual property rights and for the insuring that the intent and objectives of this Zoning Ordinance will be observed.

**Section 1153 Conditional Use Standards:**

The Planning Commission shall review the particular facts and circumstances of each proposed use in terms of the following standards:

- (1) Will be harmonious with and in accordance with the general objectives or with any specific objectives of the Land Use and Thoroughfare Plan of current adoption;*
- (2) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;*
- (3) Will not be hazardous or disturbing to existing or future neighboring uses;*
- (4) Will not be detrimental to property in the immediate vicinity or to the community as a whole;*
- (5) Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection drainage structures, refuse disposal and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide such service adequately;*
- (6) Will be in compliance with State, County and City regulations;*
- (7) Will have vehicular approaches to the property which shall be so designed as not to create an interference with traffic or surrounding public streets or roads.*

Staff Comment:

The proposed site is located within a high intensity industrial general neighborhood with high truck traffic frequency. The likely reason Commercial Recreation uses are conditionally permitted in the I-1 district is that such uses are not necessarily appropriate in all areas zoned I-1 and should be subordinate to the appropriate industrial land uses. Also, such uses typically mandate large floorplates and high ceilings, which are most prevalent in the I-1 district.

Therefore, it is important for the applicant and future clients to understand that this specific area of the City is already a high intensity industrial neighborhood and that truck traffic and industrial activities occurring are integral and inseparable from this portion of the City.

Although understanding the above, the proposed use/business would be appropriate at the proposed location as the site is single occupancy, which should avoid the potential for uncontrolled conflicts with other industrial operations, thereby meeting the review criteria of Section 1153.03(b).

## Site Plan Review

### Design Review Guidelines

Section 1109.04(a) outlines eight general provisions for the development in the City and below are the specific design guidelines for industrial uses:

Development for Industrial Uses within the I-1 Industrial District shall only be required to comply with the following standards:

- A. Architectural details and ornamentation on the street façade shall be meaningful to the overall design and appropriate for the size and scale of proposed structures, and harmonious with other architectural details and ornamentation on adjacent structures*
- B. Additions and accessory structures should be designed to be compatible with the main structure.*
- C. All exterior finished materials, including windows and doors, shall be of architectural grade with long term maintenance characteristics.*

Reviewing the applicant's proposed site and building plans, the project meets the intent and objectives outlined in the Site Plan review general guidelines and the specific design guidelines. The principal building and site design will be harmonious within the site and neighborhood because of the location, size and attention to buffers, setbacks and transitions with adjacent properties.

### Site Lighting Plan:

Parking area lighting plan has been provided as required by Section 1145.09(c) of the Planning and Zoning Code and is compliant.

### Parking Standards:

Section 1145.04(A) of the Zoning Code outlines parking requirements for commercial recreation uses with the following categories/parking ratios:

- Batting cages – 4 per cage requiring 24 parking spaces
- Play field – 20 per field requiring 20 parking spaces
  - Total required – 44 spaces
    - 65 parking spaces are proposed for the property resulting in a 21 space surplus.

### Staff Comments:

**Building Department.** No comment at this time

**Police Chief.** No comment at this time

**Service Department.** No comments at this time

**Fire Department** No comments at this time

**Engineering Department** No comment at this time

**City Forester** No comment at this time

**Economic Development.** No comment at this time

**Recommendation:**

Staff recommends **approval** of the proposed Commercial Recreation Conditional Zoning Certificate and Site Plan approval subject to the following conditions:

1. Subject to review and approval by the City of Medina Building Department for the proposed building and associated permits
2. Subject to review and approval by the City of Medina Engineering Department for the site improvement plans



RECEIVED  
JAN 23 2020

The Medina Sports Training Center will be located at 1050 Enterprise Drive. It will be a 33,580 Square foot facility featuring a 19,500 square foot, climate-controlled, multi-sport field house with professional-grade artificial turf and full impact perimeter netting.

Also featured will be six (6) indoor self-service batting cages. This portion will boast automatic ball returns and serve both baseball and softball players.

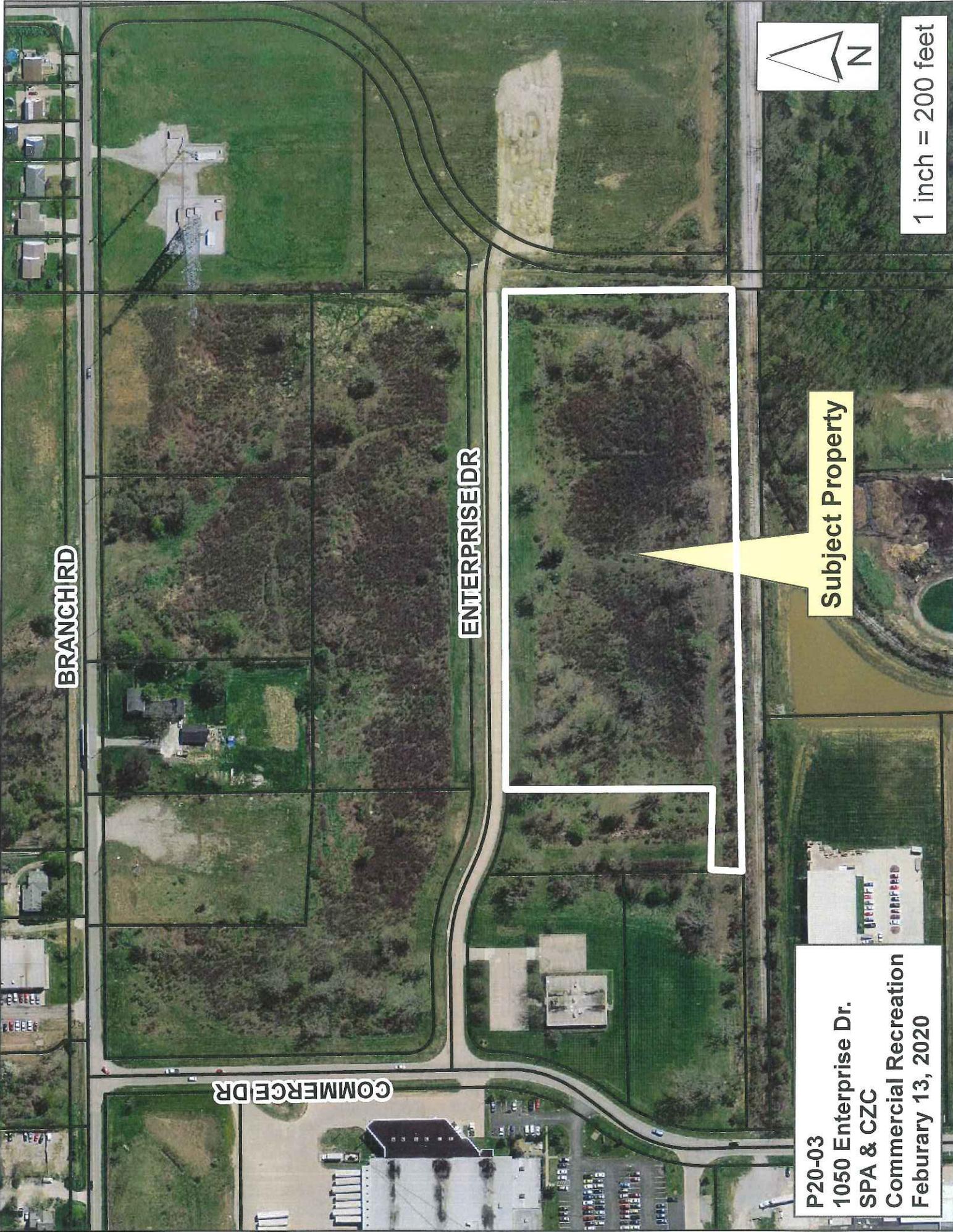
Additionally, a divisible 1900 square foot private training area for one-on-one instruction is available. Space has been set aside for meetings and offices. There will also be a small café/snack bar.

The idea for the project was conceived after witnessing the level of sports participation in the City of Medina and a lack of a local venue in which to train indoors. After some discussion with local coaches, we concluded that there was a need for a convenient, dedicated facility for our aspiring athletes. The current 'in-town' facility is situated at the extreme east-end of Medina and caters to athletes from the Cleveland and Akron area. They are reported to be at capacity and turn away some Medina teams. We seek to build a facility that Medina athletes can truly call home.

The facility will be fully staffed and serviced by local players and coaches. Total staffing will be a combination of five (5) full and five (5) part-time. These positions will be for office staff, cage and field attendants and café workers.

The facility will be open year-round from 10 am to 9 pm and host all field sports.

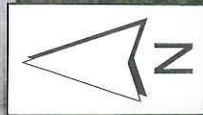
The owners of this new facility are Joe and Susan Paoletta who own and operate North Court Laundromat.



BRANCH RD

ENTERPRISE DR

COMMERCIAL DR



1 inch = 200 feet

Subject Property

P20-03  
1050 Enterprise Dr.  
SPA & CZC  
Commercial Recreation  
February 13, 2020



ALL BIDDING AND CONTRACT DOCUMENTS PROVIDED OR FURNISHED BY 620 CONSTRUCTION ARE AND SHALL REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF 620 CONSTRUCTION. CONSTITUTE A VALUABLE TRADE SECRET OF 620 CONSTRUCTION, AND ARE FURNISHED AS INSTRUMENTS IN SERVICE OF THE PROJECT. FURTHER USE, RE-USE, OR COPYING, IN WHOLE OR IN PART IS PROHIBITED AND COULD BE CONSIDERED AS A CRIMINAL OFFENSE.

**PAVING SPECIFICATIONS:**

**STANDARD DUTY ASPHALT PAVING -**  
 8" COMPACTED #304 STONE BASE  
 2" 4-1, TYPE 2, ASPHALT INTERMEDIATE COURSE  
 1.5" 4-1, TYPE 1, ASPHALT SURFACE COURSE

ASPHALT PAVEMENTS SHALL UTILIZE A TACK COAT LAYER WHEN THE TIME BETWEEN PLACEMENT OF THE BASE AND SURFACE COURSES ADVERSELY AFFECTS THE BOND BETWEEN THEM. GENERALLY A TIME PERIOD OF ONE WEEK OR LONGER SHOULD DETERMINE WHEN A TACK COAT SHALL BE USED. TACK COAT LAYER TO BE APPLIED AT A RATE OF 0.04-0.06 GAL/SY. FOR ASPHALT OVERLAYS APPLY A TACK COAT LAYER AT A RATE OF 0.06-0.08 GAL/SY. IF A DILUTED TACK COAT IS USED, THE APPLICATION RATE SHALL BE TWICE THE PREVIOUS RATES. TACK COAT SHALL CONFORM TO ODOT 407.

**CONCRETE PAVING -**  
 8" #304 COMPACTED STONE BASE  
 8" CONCRETE W/ 6"X6" - 14.1 X 14.1 MM.

**CONCRETE SIDEWALK -**  
 4" COMPACTED STONE BASE  
 4" CONCRETE W/ 6"X6" - 14.1 X 14.1 MM.  
 JOINTS @ 9' MAX SPACING

ALL EXTERIOR CONCRETE SHALL BE 1:1 MIX 10, 4000 PSI MIN. COMPRESSIVE STRENGTH, MIN. 600 LB/CY CEMENT CONTENT, MAX. .45 W/C, 1.0 OZ/ACFT AIR ENTRAINMENT, WATER REDUCER (PH100) 3.0 OZ/CY/CT, AND MAX. 4" SLUMP.

**SITE LEGEND**

- SANITARY SEWER LINE
- STORM SEWER LINE
- GAS LINE
- WATER LINE
- TELEPHONE LINE
- UNDERGROUND ELECTRICAL LINE
- OVERHEAD ELECTRICAL LINE
- EXISTING - TO BE REMOVED
- CENTERLINE OF ROAD / STREET
- PROPERTY / RIGHT-OF-WAY LINE
- EXISTING BUILDING OUTLINE
- NEW BUILDING OUTLINE

**SITE LEGEND**

- BUILDING SETBACK LINE
- FENCE LINE
- NUMBER OF PARKING SPACES
- CONCRETE PAVEMENT
- LANDSCAPING
- OPEN SPACE GRASS
- ACCESSIBLE EXIT TO GRADE
- EXIT TO GRADE
- SOIL BORING LOCATION (APPROXIMATE - SEE SOILS REPORT)
- FIRE ACCESS DOOR ONLY, NOT AN EXIT
- FLOW DIRECTION

date	description
12/1/14	PRELIMINARY
1/06/20	FREH. REVIEW



**620 Construction**  
 DESIGN BUILD GENERAL CONTRACTOR  
 A THRU GROUP COMPANY  
 620 East Smith Rd., Medina, Ohio 44256 www.620construction.com Ph (330) 724-0820 Fax (330) 722-3210

A NEW BUILDING FOR:  
**PAOLETTA TRAINING CENTER**  
 ENTERPRISE DRIVE  
 MEDINA, OHIO

**SITE PLAN**

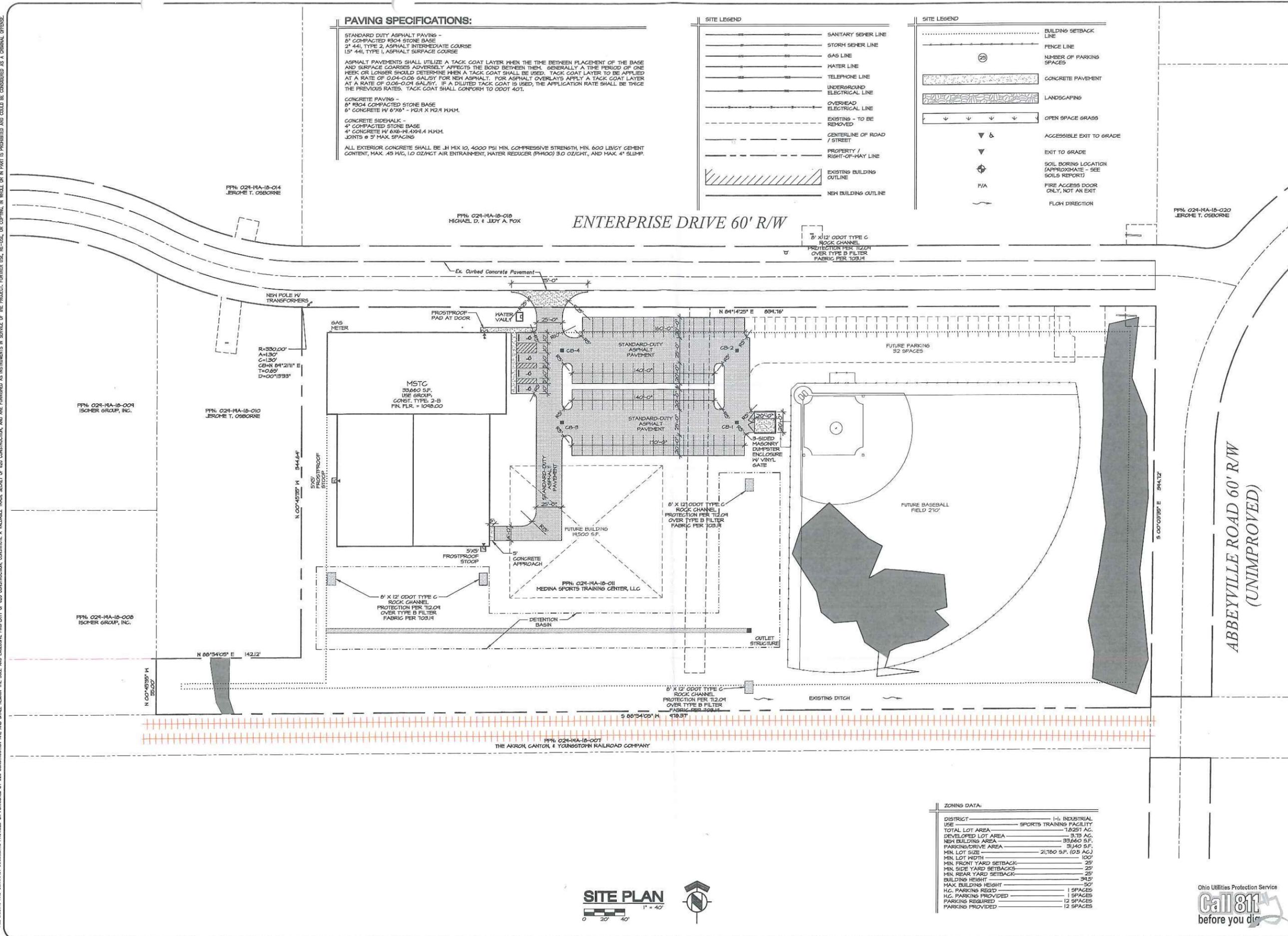
drawn by:  
 DAM

620 job no.  
 2019-269

sheet:  
**C-1.1**

**ENTERPRISE DRIVE 60' R/W**

**ABBEVILLE ROAD 60' R/W (UNIMPROVED)**



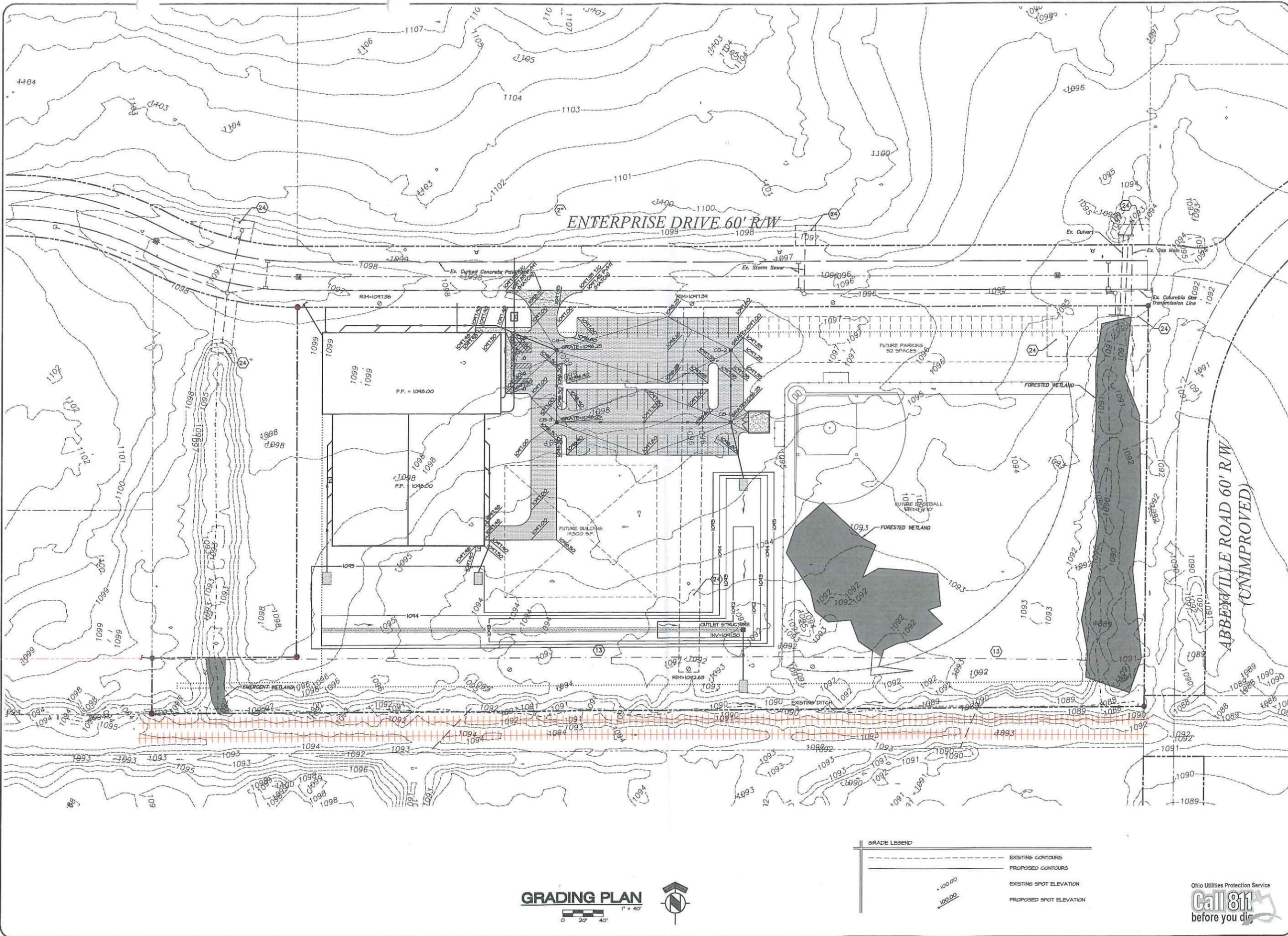
**SITE PLAN**  
 1" = 40'

**ZONING DATA:**

DISTRICT	I-1 INDUSTRIAL
USE	SPORTS TRAINING FACILITY
TOTAL LOT AREA	7,8251 AC.
DEVELOPED LOT AREA	3.78 AC.
NEW BUILDING AREA	39,660 S.F.
PARKING/DRIVE AREA	31,140 S.F.
MIN. LOT SIZE	21,780 S.F. (0.3 AC.)
MIN. LOT WIDTH	100'
MIN. FRONT YARD SETBACK	25'
MIN. SIDE YARD SETBACKS	25'
MIN. REAR YARD SETBACK	25'
BUILDING HEIGHT	34.5'
MAX. BUILDING HEIGHT	50'
H.C. PARKING REQUIRED	1 SPACES
H.C. PARKING PROVIDED	1 SPACES
PARKING REQUIRED	12 SPACES
PARKING PROVIDED	12 SPACES

Ohio Utilities Protection Service  
**Call 811**  
 before you dig

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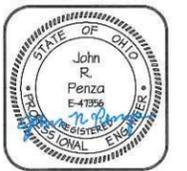


**GRADING PLAN**  
1" = 40'

GRADE LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION

Ohio Utilities Protection Service  
**Call 811**  
before you dig

REVISIONS	
date	description
12/1/14	PRELIMINARY
1/06/20	PRELIM. REVIEW



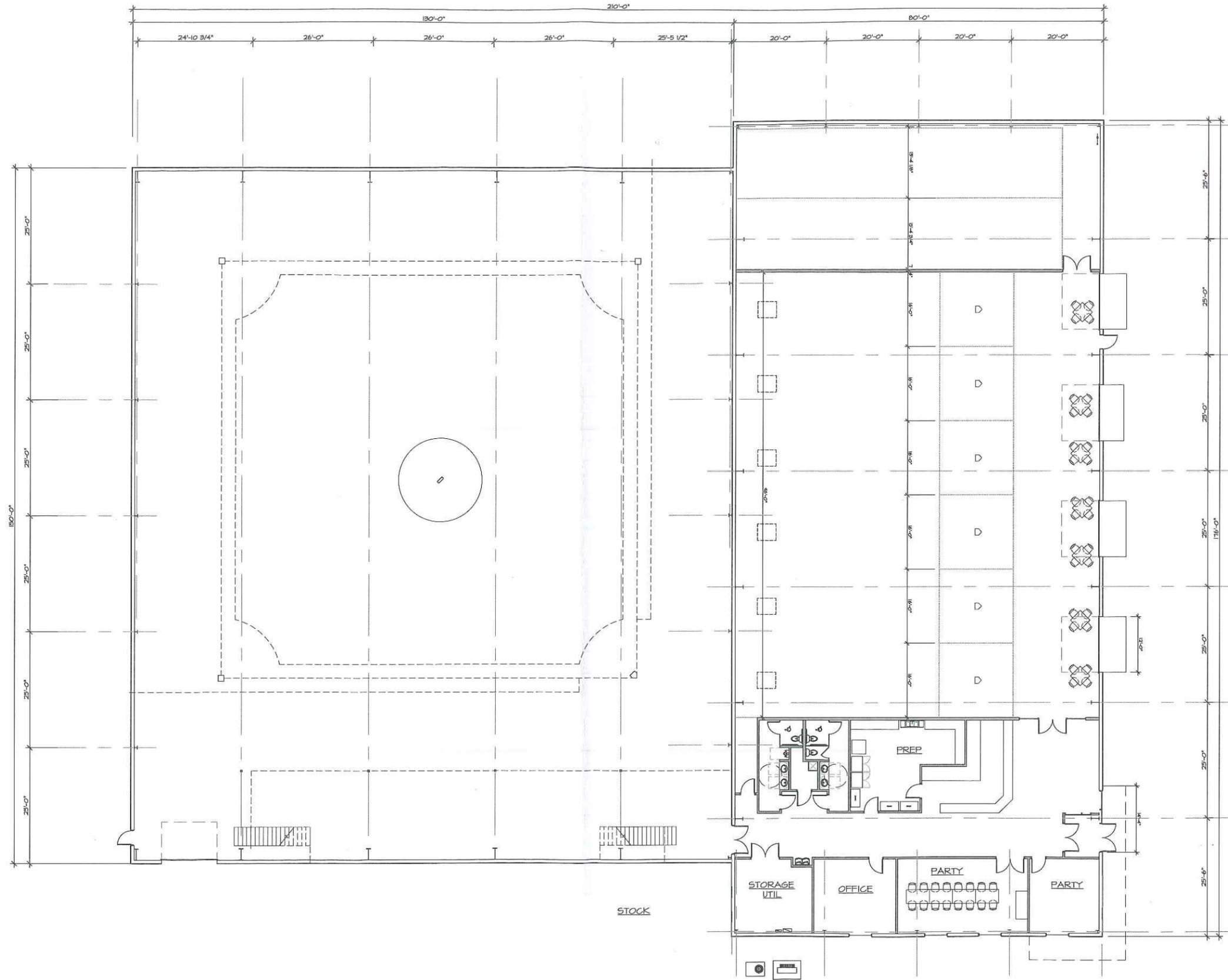
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620 East Smith Rd., Medina, Ohio 44256 www.620construct.com PH (330) 724-0820 Fax (330) 722-3210

A NEW BUILDING FOR:  
**PAOLETTA TRAINING CENTER**  
ENTERPRISE DRIVE  
MEDINA, OHIO  
**GRADING PLAN**

drawn by:  
DAM  
620 Job no.  
2014-264  
sheet:  
**C-2.1**



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**FLOOR PLAN**  
 3/32" = 1'-0"  
 0 4 8 12 16'



REVISIONS	
date	description
1/06/20	PRELIM ZONING
1/23/20	PLANNING COM-1



A NEW BUILDING FOR:  
**MEDINA SPORTS TRAINING CENTER**  
 1048 ENTERPRISE DRIVE  
 MEDINA, OHIO

**FLOOR PLAN**

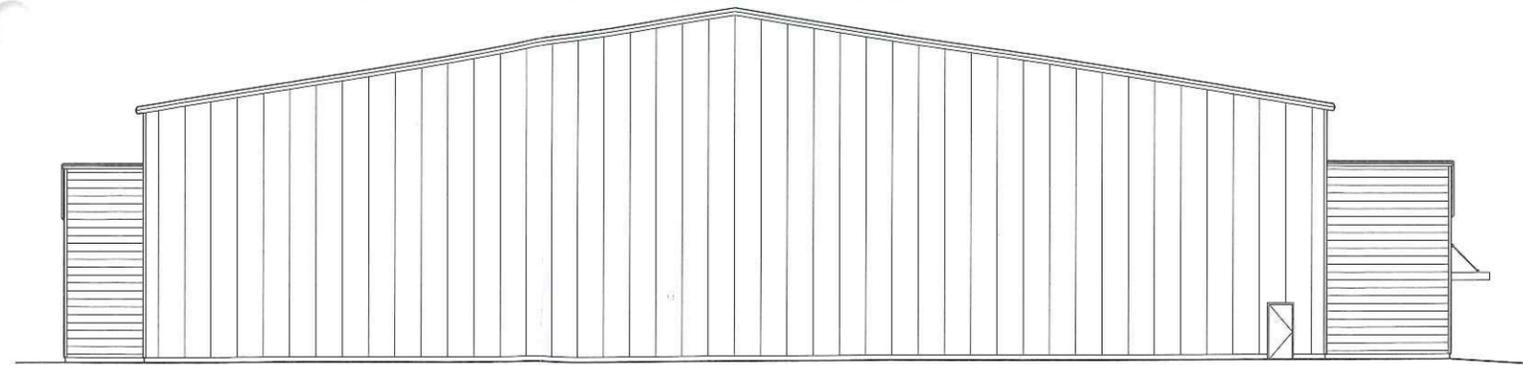
drawn by:  
 DMY

620 Job no.  
 2019-264

NUCOR Job no.  
 ESTIMATE

sheet:  
**A-1**

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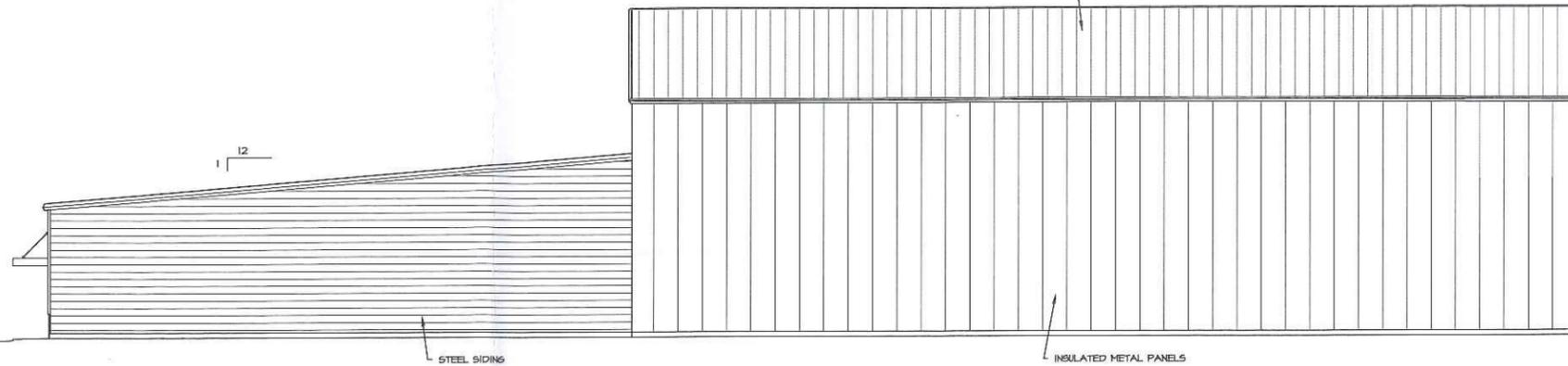


- LOW EAVE 132'-0"
- HIGH EAVE 124'-6"
- LOW EAVE 118'-0"
- TOP OF CANOPY 110'-0"
- MATERIAL CHANGE 103'-4"
- FINISH FLOOR 100'-0"

**SOUTH ELEVATION**

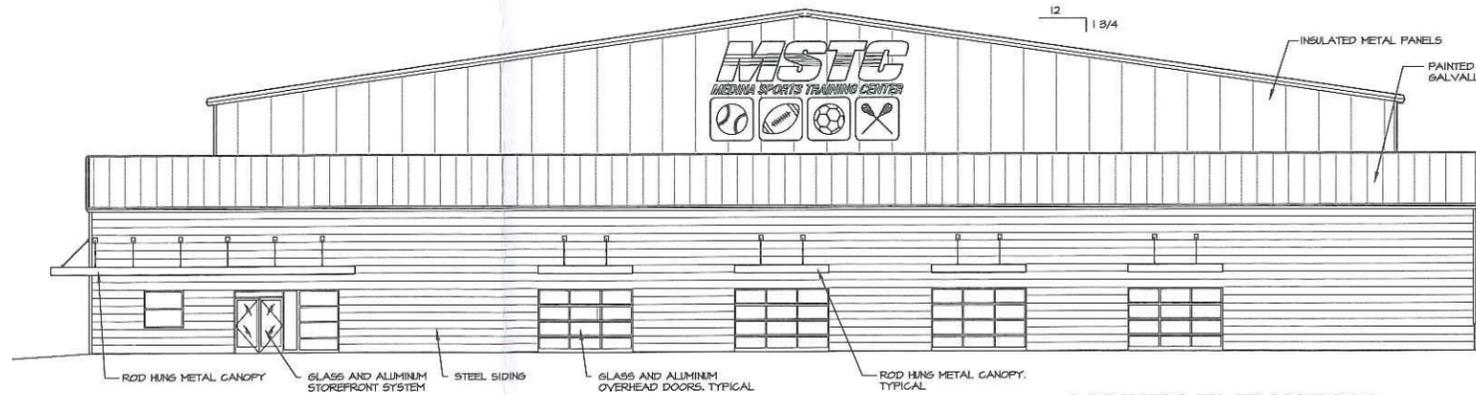
3/32" = 1'-0"  
 0 4' 8' STANDING SEAM GALVALUME ROOF PANEL

- EAVE 132'-0"
- HIGH EAVE 124'-6"
- LOW EAVE 118'-0"
- TOP OF CANOPY 110'-0"
- FINISH FLOOR 100'-0"



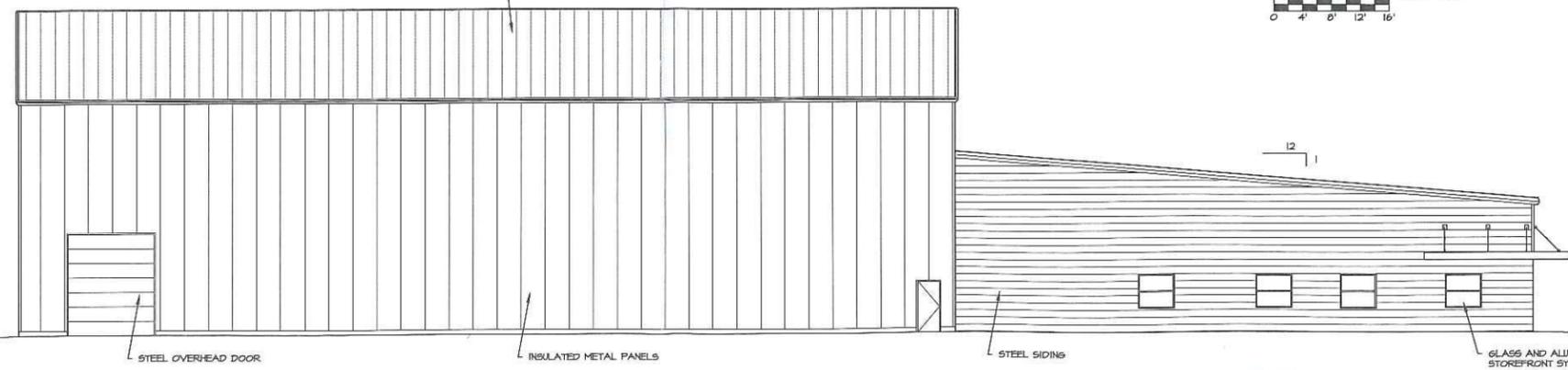
**WEST ELEVATION**

3/32" = 1'-0"



**NORTH ELEVATION**

3/32" = 1'-0"  
 0 4' 8' 12' 16'



**EAST ELEVATION**

3/32" = 1'-0"  
 0 4' 8' 12' 16'

- EAVE 132'-0"
- HIGH EAVE 124'-6"
- LOW EAVE 118'-0"
- MATERIAL CHANGE 103'-4"
- FINISH FLOOR 100'-0"

- EAVE 132'-0"
- HIGH EAVE 124'-6"
- LOW EAVE 118'-0"
- CANOPY 110'-0"
- MATERIAL CHANGE 103'-4"
- FINISH FLOOR 100'-0"

REVISIONS	
date	description
1/06/20	PRELIM ZONING
1/23/20	PLANNING COMM

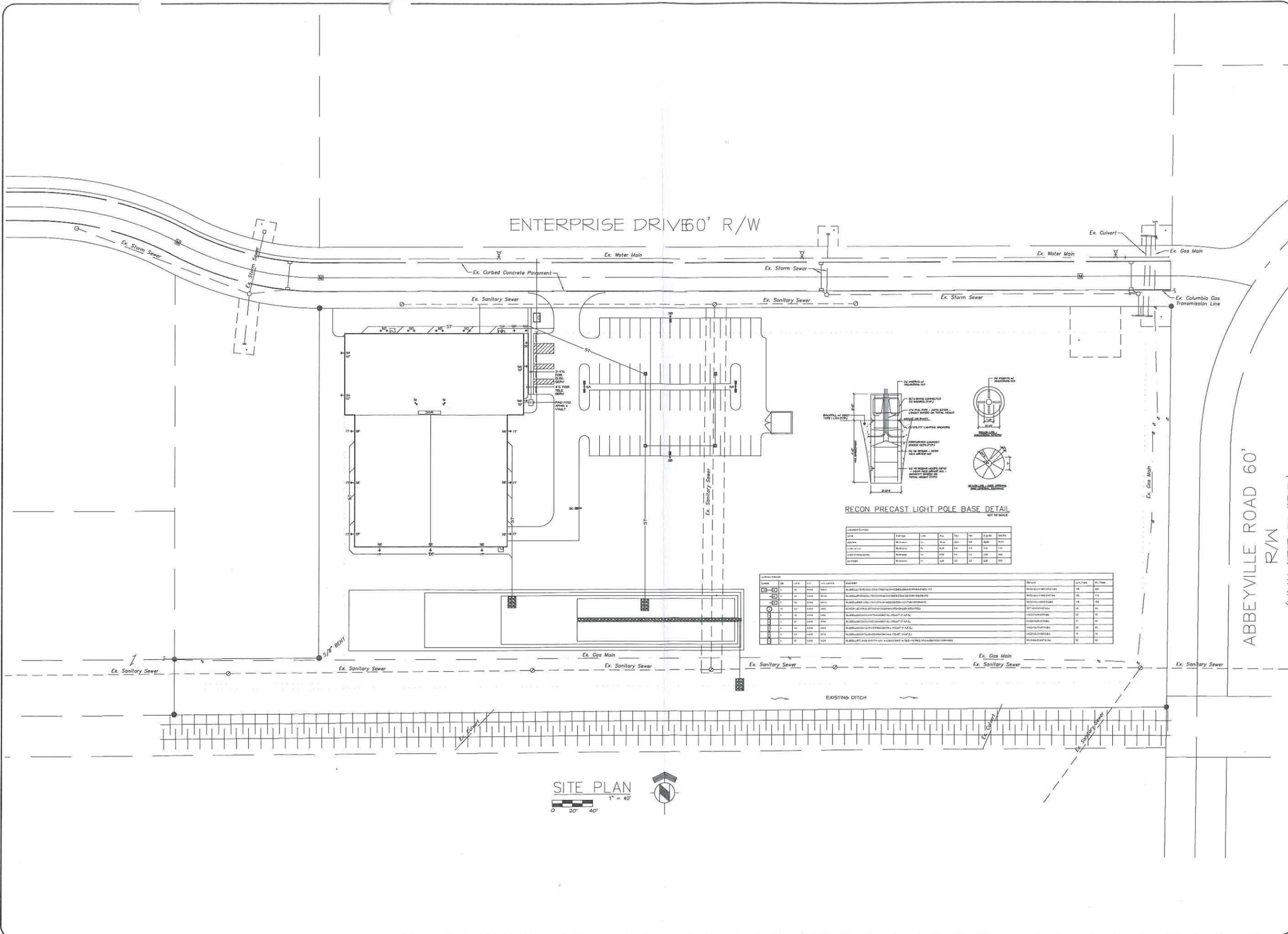


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 1045 ENTERPRISE DRIVE  
 MEDINA, OHIO

drawn by:  
 DMT  
 620 job no. 2019-269  
 NUCOR job no. ESTIMATE  
 sheet: **A-3**

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REVISIONS	
date	description
12-30-19	PRELIMINARY

C.A. LEWIS & ASSOCIATES  
 13700 STATE RD  
 N.ROYALTON  
 OHIO 44133  
 1-440-582-8200

**620 Construction**  
 A / III GROUP COMPANY  
 620 East Smith Rd., Medina, Ohio 4256 www.620construct.com Ph (330) 721-0620 Fax (330) 725-3210

A NEW BUILDING FOR:  
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 ENTERPRISE DRIVE  
 MEDINA, OHIO

ELECTRICAL SITE PLAN

drawn by:  
 JMM  
 620 job no.  
 2019-269

sheet:  
 E-1



# **MSTC**

**MEDINA SPORTS TRAINING CENTER**



JAN 23 2020

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A JH GROUP COMPANY

COLORS AND MATERIALS SHOWN SHOULD BE CONSIDERED AN ARTISTIC REPRESENTATION. PRODUCT SAMPLES SHOULD BE USED FOR FINAL BUILDING MATERIAL SELECTION.

1-23-20

