

MEETING DATE: 2-13-20

PLANNING COMMISSION

**Case No. P20-04
549 South Court Street**



CITY of MEDINA
Planning Commission
February 13, 2020 Meeting

Case No: P20-04
Address: 549 S. Court Street
Applicant: Tim Clarke
Subject: TCOV Certificate of Appropriateness – building demolition
Zoning: R-3, High Density Urban Residential
Submitted by: Jonathan Mendel, Community Development Director

A handwritten signature in blue ink, appearing to be 'J. Mendel', is written over the name 'Jonathan Mendel' in the 'Submitted by' line.

Site Location:

The property is located on the west side of the 500 block of S. Court Street.

Project Introduction:

The applicant proposes demolishing the existing property's improvements (house and garage) in order to remove the severely fire damaged house, which could become an attractive nuisance.

The subject property is located within the Transitional Corridor Overlay District, which requires review and approval of a Certificate of Appropriateness by the Planning Commission.

Please find attached to this report:

1. Project description dated January 31, 2020
2. Post fire condition photos
3. Aerial photograph

1116.07(a) TRANSITION CORRIDOR OVERLAY DISTRICT (TC-OV) - PURPOSE.

(a) Findings and Purposes. A transition corridor is identified as one of the corridors listed in the City's Comprehensive Plan, or a similar area, that is experiencing an increased demand for commercial uses in areas that previously were residential. It is important that the visual appearance and composition of these areas be maintained in order to put forth a positive image of Medina at these important "Gateways" into the City. It is in the interest of the City to protect and enhance the built features of such transition corridors by:

- (1) Preventing the deterioration of property and the extension of blighting conditions.
- (2) Revitalizing and protecting private investment which improves and stimulates the economic vitality and social character of the area.
- (3) Encouraging development that creates compatible relationships with the residential character that has been established.
- (4) Enhancing the aesthetic and architectural compatibility within neighborhoods and commercial areas.

Staff Comments:

In reviewing the above purpose statements for the TCOV, the proposed demolition of the improvements (house and garage) at the subject property meet the intent and purpose of the TCOV.

The subject property was severely damaged by fire in late 2019 and has been vacant and boarded since then. If the existing building had to remain, it may become a long term attractive nuisance to the immediate neighborhood on a major public corridor leading to the Public Square.

Dan Gladish, Building Official for the City of Medina comment:

After careful evaluation, it is my opinion that due to the extensive fire damage and other existing conditions, the subject property should be demolished and is not feasible to rebuild.

Based on the following:

1. Site visit with the Fire Department.
2. Several meetings and site visits (3) with the owner's insurance company and their adjusters.
3. The fire did extensive damages to the interior structure in the area of the fire.
4. The fire completely damaged the house's entire plumbing, electrical and HVAC systems.
5. The interior of the house has had many reconfigurations over the years to the interior floor plans including the removal of several interior load bearing walls. This was due to the house being converted in the past for a multi-tenant use.

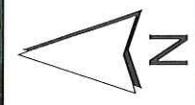
Recommendation:

Staff recommends the Planning Commission grant a Certificate of Appropriateness for the demolition of all buildings 549 S. Court St. with the following condition:

1. Approval of a demolition permit by the City of Medina Building Department.



SCOURT ST



1 inch = 50 feet

Subject property

P20-04
549 S. Court St.
TCOV-COA
for Demolition
February 13, 2020

JAN 31 2020

On November 9th, 2019 we had a fire that originated in the basement. The cause of fire was from a CFL bulb explosion that hit/ignited our Christmas decorations. The fire caused extensive structural and smoke damage. The damage is estimated around \$387,000. That cost is before any demo is done on the interior. The company I hired for the rebuild told me 99% of the time more damage will be needing to be fixed once demo is complete.

~~##~~ We also have pre-existing issues. The foundation of the house is crumbling away. There is a sandstone base with 21" of brick for the foundation. The brick is and has been deteriorating from what I can see for a number of years. The previous homeowner would use spray foam insulation where brick was missing. There are many sections ~~were~~ that are very dangerous. The amount of damage would cost at least \$50,000.

With the damage from fire and pre-existing conditions the amount

Demolition Plan

I have been receiving estimates to demo the house, and have decided to hire out the asbestos removal. The companies name is Eric Environmental. Included is their credentials and bid.

I have been working in heavy construction since 2008. Currently, I run work as a foreman for Northstar construction.

I have been a foreman at Northstar for 4 yrs and was a superintendent for Engelke construction before that.

I will be tearing down the house myself. We will follow any and all guidelines necessary. Safety is always first.

Taking down the house and proper disposal will be done in adequate time. I have connections for necessary equipment needed and I am working on getting trucks to haul out debris to the correct disposal sites.

Thank you,
Tim Clarke and family

JAN 31 2020





02/05/2020 07:25



02/05/2020 07:22





11/12/2019 13:15



11/26/2019 13:25