

MEETING DATE: 3-12-20

PLANNING COMMISSION

**Case No. P20-05
1061 N. Court Street**



CITY of MEDINA
Planning Commission
March 12, 2020 Meeting

Case No: P20-05

Address: 1061 N. Court Street

Applicant: Matt Yanda, GPD Group representing Taco Bell of America, LLC

Subject: Site Plan Review – site reconstruction for replacement Taco Bell

Zoning: C-3 General Commercial

Submitted by: Jonathan Mendel, Community Development Director 

Site Location:

The property is located on the west side of North Court Street and is adjacent to C-3 zoning on all sides.

Project Introduction:

The applicant proposes reconstructing the current site for a replacement Taco Bell drive-thru restaurant with the associated 2,430 sqft building and accessory parking areas and circulation areas.

Please find attached to this report:

1. Site improvement and building elevation plans received March 3, 2020
2. Aerial photograph

District Regulations – Section 1137:

A restaurant with drive-through is typically a conditionally permitted use in C-3 General Commercial Zoning. Since this is a reconstruction of the existing restaurant with drive-through and the scale and impact of the proposed versus the existing is essentially the same, a conditional zoning certificate review is not required in this instance.

Site Plan and Improvement Plan Review:

Applicable Design Review Guidelines – Section 1109.04(C)

- 1. The height, width and general proportions of the structure shall complement adjacent buildings so that an overall harmonious appearance is created and maintained.*
- 3. Architectural details and ornamentation shall be meaningful to the overall design and appropriate for the size and scale of proposed structures, and harmonious with other architectural details and ornamentation on adjacent structures.*
- 7. Materials shall be appropriate for the structure and the use therein. Materials shall be weather-resistant. The materials shall be compatible with and not in stark contrast to the materials used on adjacent structures.*
- 8. Colors and textures shall be appropriate for the size and scale of the proposed structure and shall be harmonious with adjacent structures. Building colors shall consist of earth-tones. Bright, chromatic, colors are discouraged.*

Reviewing the proposed building in relation to the above guidelines, the proposed building is consistent with the guidelines and will be harmonious to the surrounding businesses.

Parking and Circulation.

In Section 1145.04 restaurants require 1 parking space for each 2 seats. The proposal requires 31 parking spaces and the applicant has proposed 41 spaces. This exceeds the following maximum parking space code section:

1145.04(e) Maximum Number of Parking Spaces. In order to prevent excessive lot coverage, the artificial increase in air temperature, and surface water run-off, no minimum off-street parking space requirement in Section 1145.04, Schedule of Parking Requirements and Standards, shall be exceeded by more than twenty percent (20%) unless good cause can be shown by the applicant and approved by the Planning Commission. Single Family Dwellings and Two Family Dwellings are exempt from this provision.

The above section would limit the maximum parking supply to 37 spaces, which is a 4 space difference than the proposed supply. The above code does permit the Planning Commission to approve more spaces if good cause is accepted by the Planning Commission. The applicant provides the following reason for increasing the maximum parking supply:

Due to the high volume of customers that this site receives, Taco Bell feels that it is necessary to rebuild the site and building with additional parking/seats to property serve the volume of customers.

Lighting: Planning and Zoning Code section 1145.09(C) requires exterior lighting for parking areas. The applicant submitted a compliant site lighting plan.

Landscaping: The applicant proposes compliant parking lot and general site landscaping plans.

City Department Comments:

Police Department. No comment at this time

Water/Backflow. No comment at this time

Fire Department. No comment at this time

Engineering Department. No comment at this time

Economic Development. Recommends approval

City Forester. No comment at this time.

Staff Comments:

Upon completion, the proposed reconstructed and updated restaurant building and site will be a considerable improvement and harmonious with the developed commercial environment on N. Court Street.

Recommendation:

Staff recommends the Planning Commission **approve** the site plan for the proposed 2,430 sq. ft. restaurant with drive-through building and site with the following conditions.

1. Subject to approval of building permits from the Medina Building Department.
2. Subject to site development approval by the Medina Engineering Department.

Subject property

P20-05
1061 N. Court
SPA - new site design/bldg
March 12, 2020

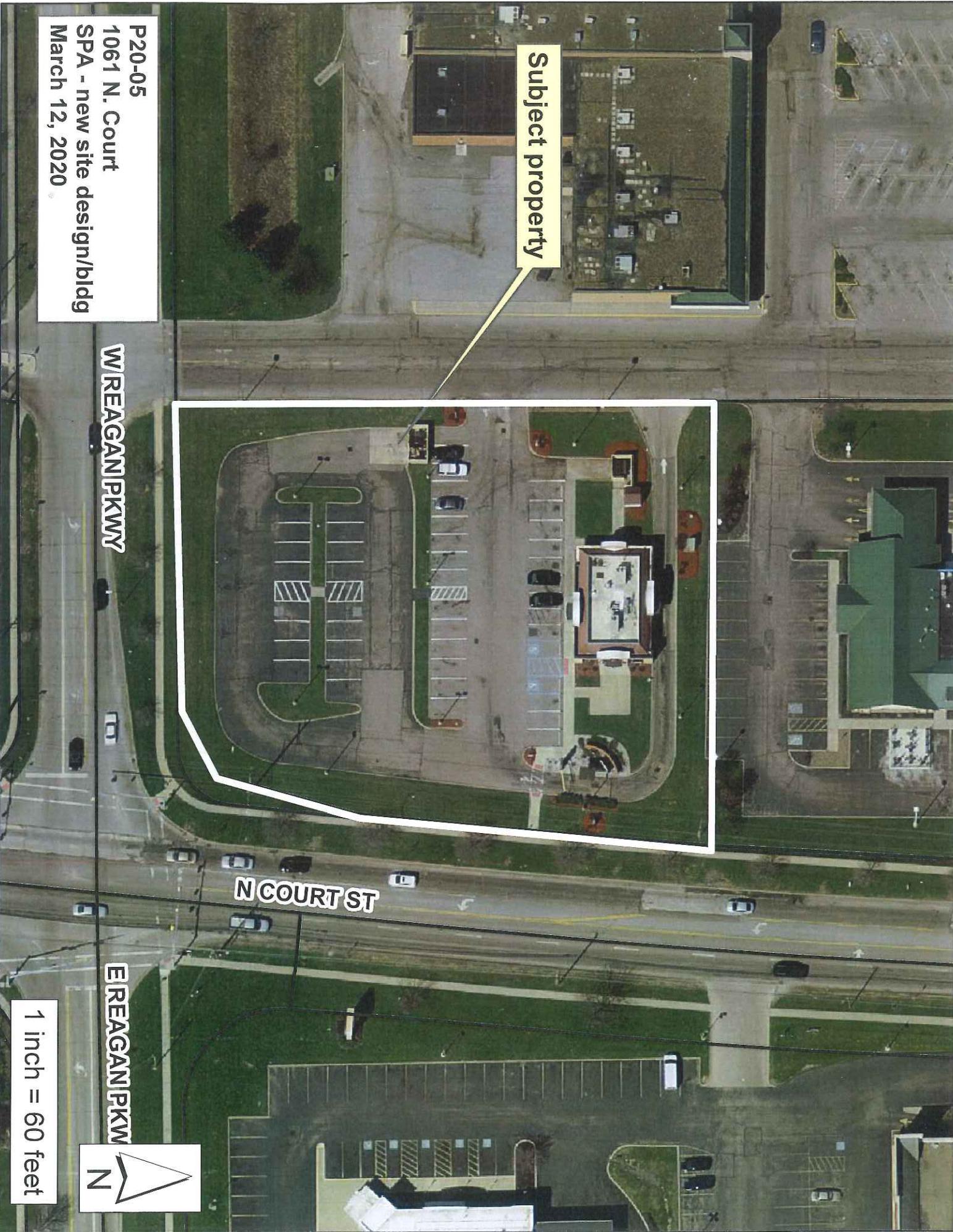
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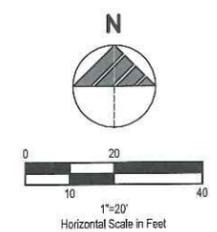
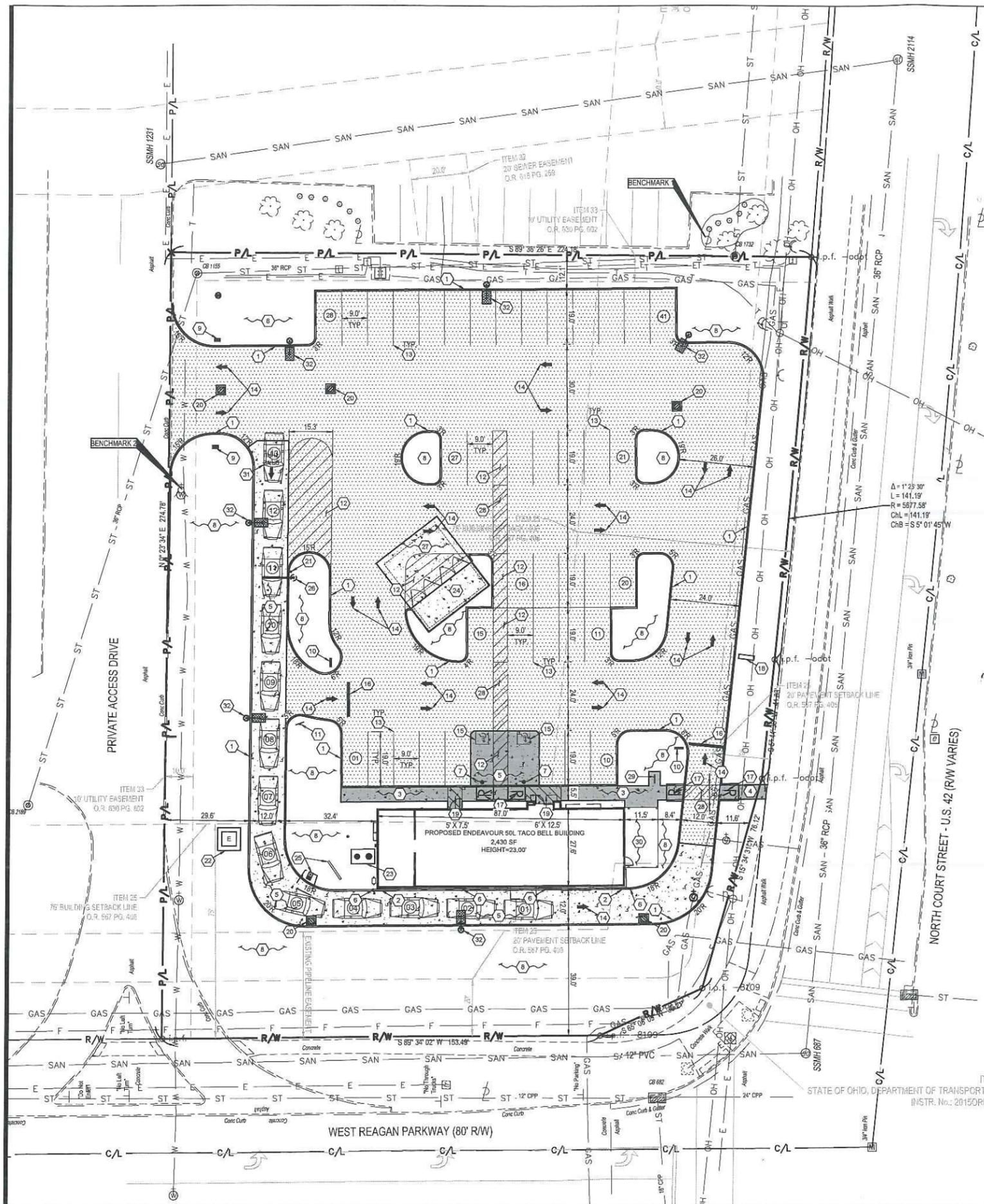
N COURT ST

E REAGAN PKWY



1 inch = 60 feet





- LEGEND**
(SEE SHEET C-001 FOR GENERAL LEGEND)
- PROPOSED STANDARD DUTY ASPHALT PER ASPHALT PAVEMENT TABLE THIS SHEET AND SHEET C-501.
 - PROPOSED CONCRETE
 - PROPOSED PAINTED TRANSVERSE STRIPING, SEE SHEET C-501.
 - PROPOSED CROSSWALK STRIPING, SEE SHEET C-501.
 - PROPOSED ADA PATH
 - PROPOSED FROST SLAB
 - CONSTRUCTION KEYNOTE
 - PROPOSED PARKING SPACE NUMBER
 - PROPOSED DRIVE THRU STACK CAR AND NUMBER

- PLAN KEYNOTES**
1. PROPOSED P.C.C. CURB, SEE SHEET C-501.
 2. PROPOSED CURB AT DRIVE THRU, SEE SHEET C-503.
 3. PROPOSED P.C.C. CURBED WALK, SEE SHEET C-501.
 4. PROPOSED P.C.C. WALK, SEE SHEET C-501.
 5. PROPOSED 5" P.C.C. PAVEMENT W/ W.F. 6" X 6" W2.9 X W2.9 (CONTROL JTS. 12'-0" O.C.) OVER 6" COMPACTED ODOT #304 LIMESTONE AGGREGATE BASE. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
 6. PROPOSED BOLLARD IN CURB, SEE SHEET C-503.
 7. PROPOSED HANDICAPPED PARKING SIGN, SEE SHEET C-501.
 8. PROPOSED LANDSCAPING AREA. SO ALL DISTURBED AREAS EXCEPT WHERE PLANTING BEDS ARE INDICATED. SEE SHEET L-101.
 9. PROPOSED NON-ILLUMINATED DIRECTIONAL SIGN PER SIGN SUPPLIER SPECIFICATIONS. CONTRACTOR SHALL INSTALL FOUNDATION PER SIGN SUPPLIER DESIGN.
 10. PROPOSED NON-ILLUMINATED 'STOP' AND 'DO NOT ENTER' SIGN PER SIGN DETAIL ON SHEET C-501. CONTRACTOR SHALL INSTALL FOUNDATION PER SIGN SUPPLIER DESIGN.
 11. PROPOSED NON-ILLUMINATED 'EXIT' SIGN PER SIGN SUPPLIER SPECIFICATIONS. CONTRACTOR SHALL INSTALL PER SIGN SUPPLIER DESIGN.
 12. PROPOSED PAINTED TRANSVERSE STRIPING - WHITE ON ASPHALT, YELLOW ON CONCRETE, BLUE FOR ADA. SEE PAVEMENT MARKINGS AND NOTES, SHEET C-501.
 13. PROPOSED PAINTED 4" WIDE SOLID STRIPE - WHITE ON ASPHALT, YELLOW ON CONCRETE, BLUE FOR ADA. SEE PAVEMENT MARKINGS AND NOTES, SHEET C-501.
 14. PROPOSED DIRECTIONAL PAVEMENT MARKINGS - WHITE ON ASPHALT, YELLOW ON CONCRETE. SEE SHEET C-501.
 15. PROPOSED PAINTED ADA PAVEMENT SYMBOL PER ADA SPECIFICATIONS AND SHEET C-501.
 16. PROPOSED 18" WIDE, WHITE PAINTED STOP BAR. SEE PAVEMENT MARKINGS AND NOTES ON SHEET C-501.
 17. PROPOSED ADA ACCESSIBLE RAMP PER ADA SPECIFICATIONS AND SHEET C-501.
 18. PROPOSED 6' O.A.H., 40 S.F. MONUMENT SIGN PER SIGN SUPPLIER SPECIFICATIONS. SEE STRUCTURAL DRAWINGS.
 19. PROPOSED FROST SLAB AT DOOR. SEE PLAN FOR SIZE, AND SEE STRUCTURAL DRAWINGS FOR DETAIL.
 20. PROPOSED CATCH BASIN PER ODOT SPECIFICATIONS, SEE SHEET C-141 FOR DESIGN INFORMATION.
 21. PROPOSED BOLLARD, SEE SHEET C-501.
 22. PROPOSED ELECTRICAL TRANSFORMER PER ELECTRICAL COMPANY SPECIFICATIONS. G.C. TO VERIFY EXACT LOCATION AND SIZE WITH UTILITY ENGINEER.
 23. PROPOSED CONDENSING UNIT. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION, SEE SHEET C-502 FOR DETAIL.
 24. PROPOSED DUMPSTER, SEE ARCHITECTURAL DRAWINGS.
 25. PROPOSED MENU BOARD AND ORDER CONFIRMATION BOARD PER SIGN SUPPLIER SPECIFICATIONS AND SHEET C-503. SIGN SUPPLIER TO PROVIDE A TEMPLATE FOR G.C. G.C. TO COORDINATE A MEETING WITH THE CONSTRUCTION/PROJECT MANAGER AND OPERATIONS TO VERIFY LOCATION AND PLACEMENT OF MENU BOARD AND ORDER CONFIRMATION BOARD PRIOR TO ANY CONSTRUCTION. SIGN SUPPLIER SHALL PROVIDE G.C. WITH FOUNDATION DETAILS. G.C. RESPONSIBLE FOR SIGN FOUNDATIONS/ELECTRICAL.
 26. PROPOSED EVOLUTION PORTAL CLEARANCE BAR, SEE SHEET C-503.
 27. PROPOSED 7" P.C.C. PAVEMENT W/ W.F. 6" X 6" W2.9 X W2.9 (CONTROL JTS. 12'-0" O.C.) OVER 8" COMPACTED ODOT #304 LIMESTONE AGGREGATE BASE. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
 28. PROPOSED PAINTED CROSSWALK STRIPING, SEE DETAIL ON SHEET C-501.
 29. PROPOSED BIKE RACK, SEE STRUCTURAL SHEETS.
 30. PROPOSED PATIO AREA, SEE SHEET A2.0
 31. PROPOSED 'DRIVE-THRU' GRAPHICS, SEE PAVEMENT MARKINGS AND NOTES, SHEET C-501.
 32. PROPOSED LIGHT POLE AND FOUNDATION, SEE ELECTRICAL DRAWINGS FOR SPECIFICATIONS.

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Call 800-362-2764 (Toll Free)
Ohio Utilities Protection Service

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ASPHALT PAVEMENT

| MATERIAL | DEPTH (H.V. DUTY) | DEPTH (STD. DUTY) | ODOT SPECIFICATIONS ITEM |
|--------------------------|-------------------|-------------------|--|
| A.C. SURFACE COURSE | 1.5" | 1.5" | COMPACTED ODOT #448 (SURFACE, TYPE 1) |
| A.C. INTERMEDIATE COURSE | 3.0" | 2.0" | COMPACTED ODOT #448 (INTERMEDIATE, TYPE 2) |
| AGG. BASE COURSE | 8" | 8" | COMPACTED ODOT #304 (AGGREGATE COURSE) |
| SUBGRADE COMPACTION | 18" | 18" | COMPACTED SUBGRADE (MINIMUM) |

SOILS REPORT GOVERNS IF ANY DISCREPANCIES OCCUR. SEE TYPICAL PAVEMENT SECTION SHEET C-501.

BENCHMARKS:
STATE PLANE GRID NORTH, NAD 83 (2011), GEOID 128, OHIO NORTH ZONE, TIED BY GPS TO THE O.D.O.T. VRS.

ELEVATIONS ARE NAVD 88.

BENCHMARK #1 - BOX CUT ON LIGHT POLE BASE.
N 543410.778
E 2143948.34
ELEVATION=963.38

BENCHMARK #2 - X CUT ON BONNET BOLT.
N 543324.168
E 2143765.172
ELEVATION=964.05

| BUILDING SETBACKS | | PARKING SPACES | |
|----------------------|-------------------|--|-------------------|
| | REQUIRED/PROVIDED | REQUIRED/PROVIDED | REQUIRED/PROVIDED |
| FRONT: N. COURT ST. | 0' / 40.0' | NUMBER OF SPACES | 31 / 41 |
| REAR: ACCESS DRIVE | 0' / 79.5' | PARKING REQUIREMENTS | |
| SIDE: W. REAGAN PKWY | 0' / 51.5' | 1 SPACE PER EVERY 2 SEATS | |
| SIDE: CITIZENS BANK | 0' / 190.8' | THEREFORE: 50 INTERIOR + 12 EXTERIOR / 2 = 31 SPACES REQUIRED. | |
| PARKING SETBACKS | | LAND USE DATA | |
| | REQUIRED/PROVIDED | | |
| FRONT: N. COURT ST. | 5' / 17.0' | BUILDING | 4.6% / 0.06 AC. |
| REAR: ACCESS DRIVE | 0' / 29.6' | PAVEMENT/IMPERVIOUS | 52.7% / 0.69 AC. |
| SIDE: W. REAGAN PKWY | 5' / 39.0' | LANDSCAPING | 42.7% / 0.56 AC. |
| SIDE: CITIZENS BANK | 0' / 12.1' | TOTAL | 100% / 1.31 AC. |
| LANDSCAPE SETBACKS | | CURRENT ZONING: C-3 GENERAL COMMERCIAL | |
| | REQUIRED/PROVIDED | | |
| FRONT: N. COURT ST. | 5' / 17.0' | | |
| REAR: ACCESS DRIVE | 0' / 29.6' | | |
| SIDE: W. REAGAN PKWY | 5' / 39.0' | | |
| SIDE: CITIZENS BANK | 0' / 12.1' | | |

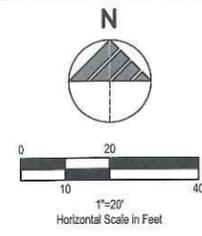
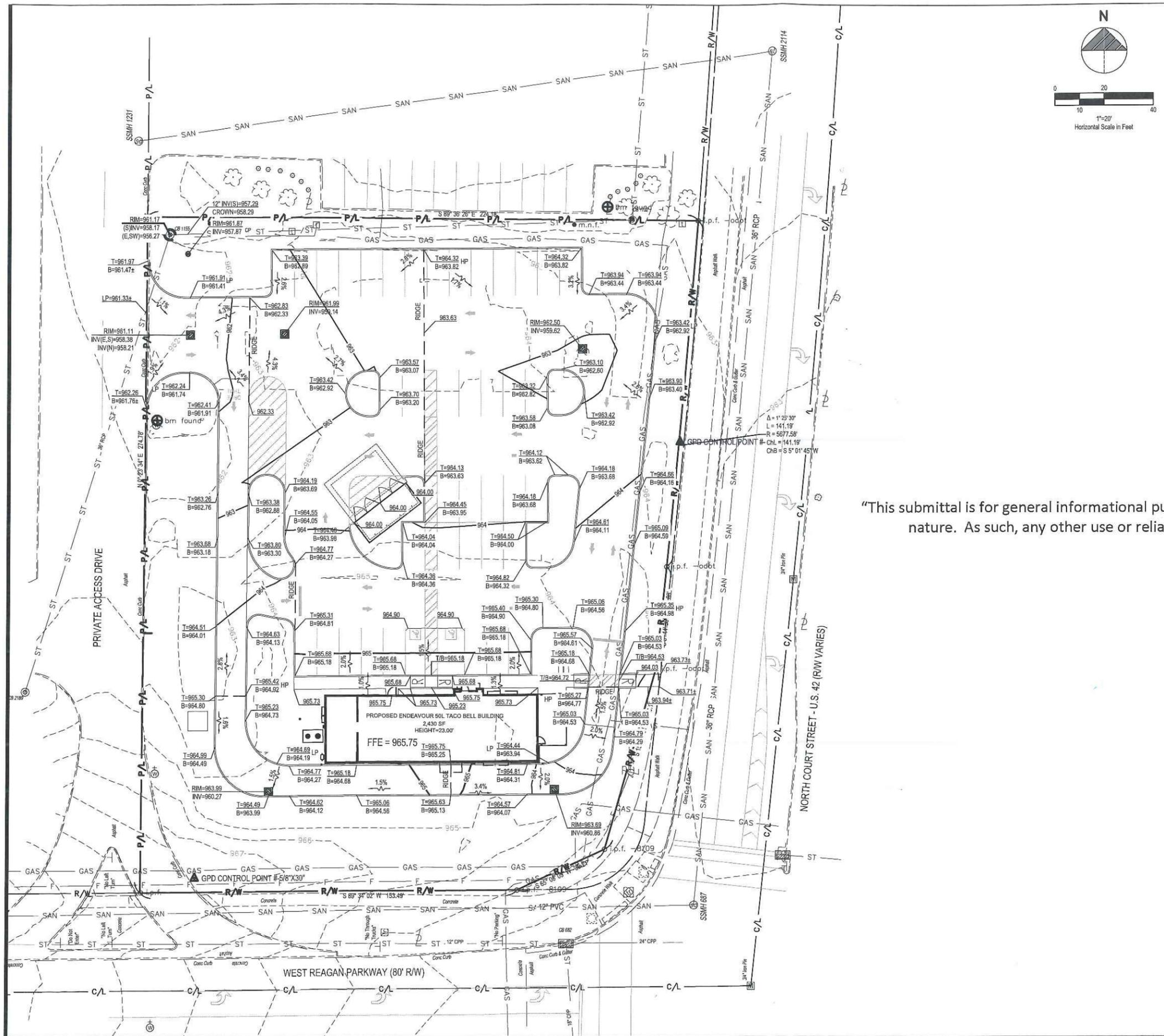


CONTRACT DATE: 11.26.19
BUILDING TYPE: ENDS0L
PLAN VERSION: NOV. 2018
BRAND DESIGNER:
SITE NUMBER:
STORE NUMBER: 2019088.18

TACO BELL
1061 N. COURT STREET
MEDINA, OH 44256



SITE PLAN



- LEGEND**
(SEE SHEET C-001 FOR GENERAL LEGEND)
- 0.00 — PROPOSED CONTOUR
 - 0.00/0.00 PROPOSED ELEVATION @ FINISHED GROUND ELEVATION
 - T=963.00 B=930.00 TOP OF CURB ELEVATION
BOTTOM OF CURB/FINISHED PAVEMENT ELEVATION
 - 0.00/± MATCH EXISTING ELEVATION
 - 0.0% PROPOSED DRAINAGE SLOPE & DIRECTION

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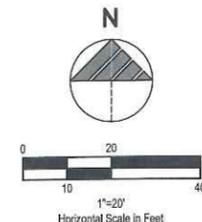
| | |
|-----------------|------------|
| CONTRACT DATE: | 11.26.19 |
| BUILDING TYPE: | END50L |
| PLAN VERSION: | NOV. 2018 |
| BRAND DESIGNER: | |
| SITE NUMBER: | |
| STORE NUMBER: | 2019088.18 |

TACO BELL
1061 N. COURT STREET
MEDINA, OH 44256

ENDEAVOUR
LARC850

GRADING PLAN

C-121



PLAN KEYNOTES

- STORM**
100. PROPOSED TEE CONNECTION, EXISTING 36" INV (E,W)=956.29, PROPOSED 12" INV (S)=957.29.
 101. PROPOSED 41 L.F. OF 12" HDPE STORM SEWER @ 1.00%
 102. PROPOSED 38 L.F. OF 10" HDPE STORM SEWER @ 2.00%
 103. PROPOSED 121 L.F. OF 10" HDPE STORM SEWER @ 0.4%
 104. PROPOSED 183 L.F. OF 10" HDPE STORM SEWER @ 1.0%
 105. PROPOSED 116 L.F. OF 10" HDPE STORM SEWER @ 0.5%
 106. PROPOSED DOWNSPOUT COLLECTOR LINE @ 2.00% MINIMUM, 11 L.F. TOTAL INV.=963.75
 107. PROPOSED DOWNSPOUT COLLECTOR LINE @ 2.00% MINIMUM, 11 L.F. TOTAL INV.=963.75

- SANITARY**
200. PROPOSED SANITARY CONNECTION, EXISTING 12" INV=955.52, PROPOSED 6" INV=955.77
 201. PROPOSED 78 L.F. OF 6" PVC SANITARY SEWER @ 2.00% MINIMUM
 202. PROPOSED 15 L.F. OF 6" PVC SANITARY SEWER @ 2.00% MINIMUM
 203. PROPOSED 15 L.F. OF 6" PVC SANITARY SEWER @ 2.0% MINIMUM
 204. PROPOSED SANITARY CLEANOUT SEE SHEET C-502 AND WYE CONNECTION SHEET C-502. INV=957.33.
 205. PROPOSED SANITARY WYE CONNECTION, SEE SHEET C-502, INV=957.19.

- WATER**
300. PROPOSED WATER SERVICE CONNECTION, COORDINATE WITH PLUMBING PLANS.
 301. PROPOSED WATER METER AND BACKFLOW PREVENTOR INSIDE BUILDING PER CITY OF MEDINA STANDARDS AND SPECIFICATIONS. BACKFLOW PREVENTOR SHALL BE LOCATED AFTER THE METER.
 302. PROPOSED 86 L.F., 4" DUCTILE IRON WATER SERVICE LINE.
 303. PROPOSED WATER SERVICE TAP PER CITY OF MEDINA STANDARDS AND SPECIFICATIONS.
 304. PROPOSED WATER METER PIT PER CITY OF MEDINA WATER DEPARTMENT STANDARDS.

- ELECTRIC AND COMMUNICATIONS**
400. PROPOSED ELECTRIC METER PER ELECTRIC COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. ELECTRIC SERVICE LINE TO BE COORDINATED WITH THE ELECTRIC COMPANY.
 401. PROPOSED ELECTRIC AND TELECOMMUNICATIONS SERVICE CONNECTION TO BE COORDINATED WITH THE UTILITY COMPANIES.
 402. PROPOSED ELECTRICAL TRANSFORMER PER ELECTRICAL COMPANY SPECIFICATIONS. G.C. TO VERIFY EXACT LOCATION AND SIZE WITH UTILITY ENGINEER.

- GAS**
500. PROPOSED GAS METER PER GAS COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. GAS SERVICE LINE TO BE COORDINATED WITH THE GAS COMPANY.
 501. PROPOSED 105 L.F. GAS SERVICE CONNECTION TO BE COORDINATED WITH THE GAS COMPANY.
 502. PROPOSED GAS VALVE TO BE COORDINATED WITH GAS COMPANY.

UTILITY CROSSINGS
 GENERAL CROSSING NOTES: CONTRACTOR SHALL COORDINATE ALL CROSSINGS WITH THE UTILITY COMPANY. PRESSURIZED AND SECONDARY UTILITIES SHALL DEFLECT TO MAINTAIN 18" CLEAR AT SANITARY OR STORM SEWER CROSSINGS.

600. PROPOSED UTILITY CROSSING: 10" STORM INV=958.85; 4" WATER MAIN SHALL DEFLECT TO MAINTAIN 18" CLEARANCE.
601. PROPOSED UTILITY CROSSING: 6" SANITARY INV=957.33; CONDUIT SHALL DEFLECT TO MAINTAIN 18" CLEARANCE.
602. PROPOSED UTILITY CROSSING: 10" STORM INV=960.34; 6" SANITARY INV=956.73
603. PROPOSED UTILITY CROSSING: 4" DOWNSPOUT COLLECTOR INV=962.76; CONDUIT SHALL DEFLECT TO MAINTAIN 18" CLEARANCE.
604. PROPOSED UTILITY CROSSING: 4" DOWNSPOUT COLLECTOR INV=962.76; CONDUIT SHALL DEFLECT TO MAINTAIN 18" CLEARANCE.
605. PROPOSED UTILITY CROSSING: ELECTRIC CONDUIT SHALL DEFLECT TO MAINTAIN 18" CLEARANCE FROM EXISTING GAS LINE.
606. PROPOSED UTILITY CROSSING: 6" SANITARY INV=956.45; CONDUIT SHALL DEFLECT TO MAINTAIN 18" CLEARANCE.
607. PROPOSED UTILITY CROSSING: 6" SANITARY INV=956.12; CONTRACTOR SHALL FIELD VERIFY GAS LINE DEPTH TO ENSURE CROSSING HAS 18" CLEARANCE
608. PROPOSED UTILITY CROSSING: 6" SANITARY INV=956.00; CONTRACTOR SHALL FIELD VERIFY FIBER OPTIC LINE DEPTH TO ENSURE CROSSING HAS 18" CLEARANCE



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- LEGEND**
 (SEE SHEET C-001 FOR GENERAL LEGEND)
- ST PROPOSED STORM SEWER
 - SAN PROPOSED SANITARY SEWER
 - W PROPOSED WATER SERVICE
 - GAS PROPOSED GAS SERVICE
 - E PROPOSED UNDERGROUND ELECTRIC SERVICE
 - A # APPURTENANCES
 - # UTILITY CONSTRUCTION KEYNOTE

| PROPOSED STRUCTURES | |
|---------------------|--|
| STRUCT. ID | STRUCTURE DETAILS |
| CB 1 | PROPOSED CATCH BASIN (SEE DETAIL, SHEET C-503) RIM=961.11 INV. 10" (E,S)=958.38 INV. 12" (N)=958.21 |
| CB 2 | PROPOSED CATCH BASIN (SEE DETAIL, SHEET C-503) RIM=962.50 INV. 10" (W)=959.62 |
| CB 3 | PROPOSED CATCH BASIN (SEE DETAIL, SHEET C-503) RIM=963.99 INV. 10" (N,E)=960.27 |
| CB 4 | PROPOSED CATCH BASIN (SEE DETAIL, SHEET C-503) RIM=963.89 INV. 10" (N,E)=960.86 |
| CO 1 | PROPOSED SANITARY CLEANOUT RIM=964.29 INV. 6" (X)=957.33 |

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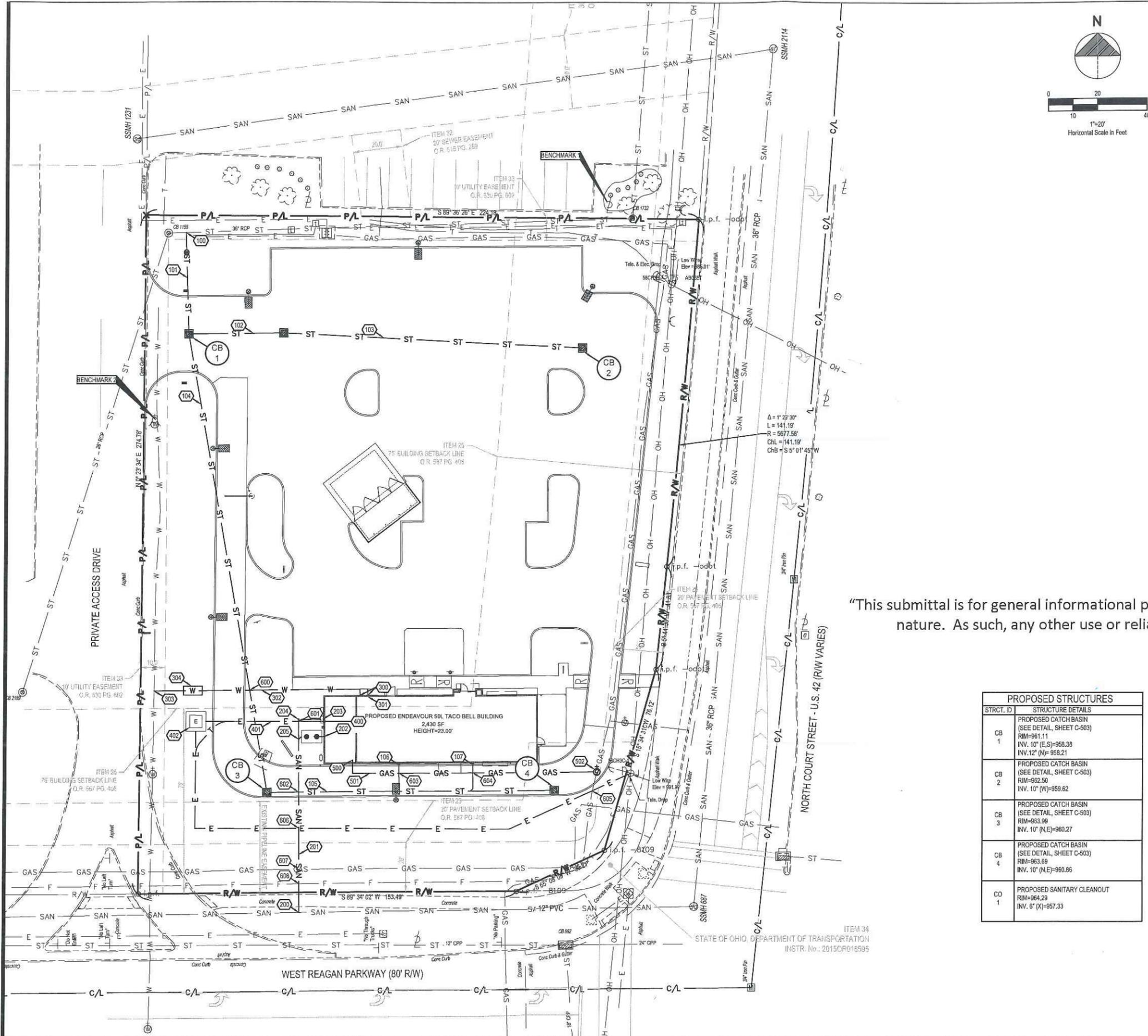
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CONTRACT DATE: 11.26.19
 BUILDING TYPE: IND950L
 PLAN VERSION: NOV. 2018
 BRAND DESIGNER:
 SITE NUMBER:
 STORE NUMBER: 2D19088.18

TACO BELL
 1061 N. COURT STREET
 MEDINA, OH 44256

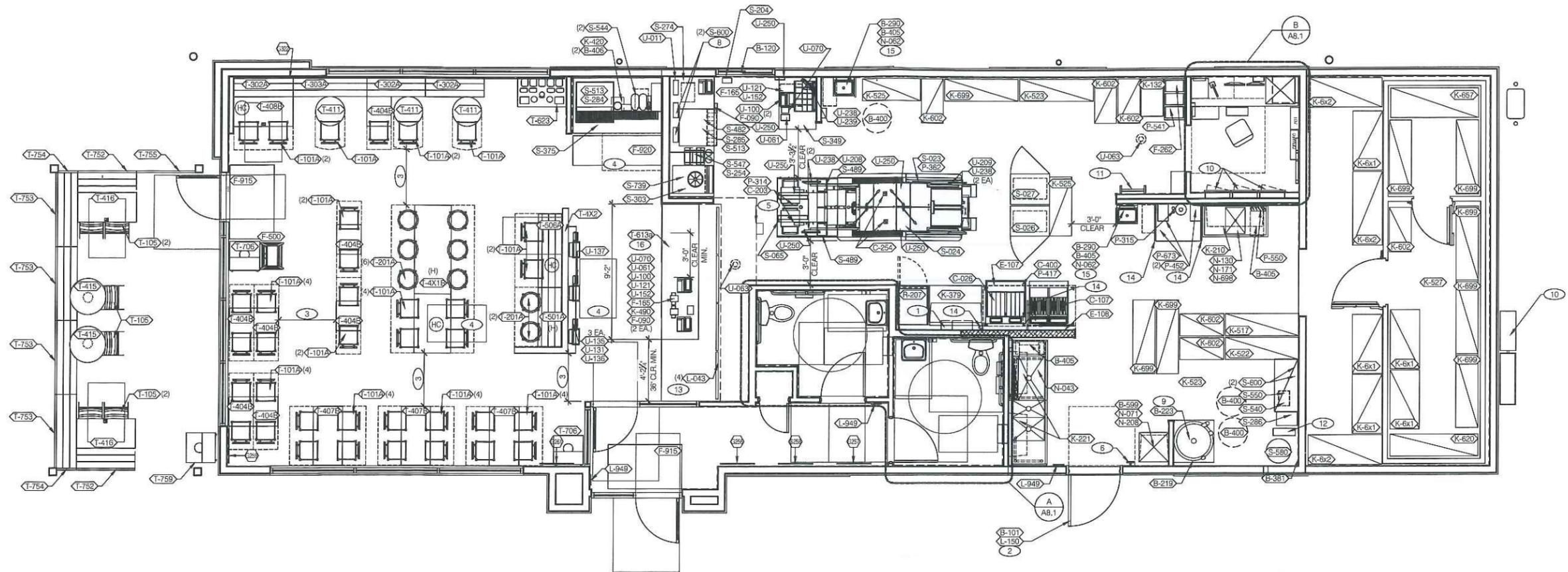
ENDEAVOUR
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UTILITY PLAN

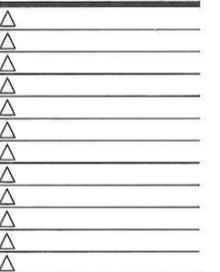


STATE OF OHIO, DEPARTMENT OF TRANSPORTATION
 INSTR. No. 20150.P016595

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3/03/2020
 Mark S. Salopek License #8875
 Expiration Date December 31, 2021



CONTRACT DATE: 03.02.2020
 BUILDING TYPE: END50L
 PLAN VERSION:
 SITE NUMBER:
 STORE NUMBER: 2019088.18

EQUIPMENT/SEATING PLAN 1/4"=1'-0" A

| SYM. | QTY. | ITEM |
|--------|------|--------------------------------------|
| T-101A | 34 | CHAIR - 18" |
| T-201A | 8 | BARREL BARSTOOL - 29" |
| T-302A | 3 | BENCH - 48" |
| T-303A | 1 | BENCH - 60" |
| T-4X1B | 1 | HUB TABLE WITH ADA (10'-0" LENGTH) |
| T-4X2 | 1 | DECOR WALL |
| T-404A | 7 | 24" X 20" TABLE TOP |
| T-407B | 3 | 24" X 48" TABLE TOP |
| T-408B | 1 | 24" X 48" ADA TABLE TOP |
| T-411 | 3 | 24" DIA S.S. TABLE |
| T-501A | 1 | 48" x42" H. WEATHERED GREY COUNTER |
| T-506A | 1 | 60" x30" H. WEATHERED GREY COUNTER |
| T-613A | 1 | 121" L SERVICE COUNTER & POS STATION |

| SYM. | QTY. | ITEM |
|-------|------|---|
| T-623 | 1 | EXPLORER CONDIMENT CART - END, FINISHES |
| T-706 | 2 | WASTE ENCLOSURE - SINGLE |
| T-105 | 6 | EXTERIOR CHAIR |
| T-415 | 2 | EXTERIOR ALUMINUM TABLE 24" DIA. X 30" |
| T-416 | 2 | EXTERIOR ALUMINUM ADA TABLE 48" X 24" X 30" |
| T-752 | 2 | 48" FENCH |
| T-753 | 4 | 60" FENCH |
| T-754 | 2 | 16" BLACK METAL RAILING |
| T-755 | 1 | 48" BLACK METAL RAILING |
| T-759 | 1 | WASTE ENCLOSURE - EXTERIOR |

| SYM. | QTY. | ITEM | REMARKS |
|------|------|----------------------------------|-----------------------|
| G256 | 1 | TACOS, 28"x40" | SEE A8.0 FOR LOCATION |
| G257 | 1 | TACOS, 28"x40" | SEE A8.0 FOR LOCATION |
| G258 | 1 | TACOS, 28"x40" | SEE A8.0 FOR LOCATION |
| G259 | 1 | SAUCE CUP BELL PATTERNS, 28"x40" | SEE A8.0 FOR LOCATION |
| G261 | 1 | SAUCE CUP BELL PATTERNS, 28"x40" | SEE A8.0 FOR LOCATION |
| G322 | 1 | CAMO PURPLE 72" WALL MURAL | SEE A8.0 FOR LOCATION |

DECOR
 1. REFER TO SC SHEETS FOR SCOPE OF WORK RESPONSIBILITIES.
 2. (H) - SYMBOL DENOTES A HIGH TABLE OR DINING COUNTER WITH STOOLS.
 3. (HC) - SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

| SQUARE FOOTAGES: | | SEATING: | |
|------------------|----------|----------|----|
| FOH | 1,085 SF | INTERIOR | 50 |
| BOH | 1,335 SF | EXTERIOR | 12 |
| TOTAL | 2,430 SF | TOTAL | 62 |

| SHELVING QUANTITIES | | |
|---------------------|----------|----------|
| STORAGE TYPE | REQUIRED | PROVIDED |
| DRY | 53 LF | 68 LF |
| COLD | 26 LF | 32 LF |
| FROZEN | 10 LF | 16 LF |

- 1 HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL).
- 2 SEE SHEET A1.1 FOR SECURITY DOOR PACKAGE.
- 3 MAINTAIN 44" MIN CLEAR AISLE ACCESSIBLE EGRESS PATH TO EXIT DOOR, 32" @ DOORWAYS AND CASSED OPENINGS
- 4 30" X 48" CLEAR FLOOR SPACE FOR HANDICAP ACCESS.
- 5 ALERT LIGHT BOX FOR 3-COMP POWER SOAK.
- 6 PULL STATION @ 3'-8" A.F.F.
- 7 GAS LINE DOWN TO EQUIPMENT.
- 8 COORDINATE LOCATION OF HORIZ PVC SYRUP CHASE THRU WALL TO COUNTER.
- 9 6" HIGH WATER HEATER PLATFORM.
- 10 SWITCHGEAR / ELECTRIC PANELS.
- 11 ROOF LADDER. SEE DETAIL 2 & 4/A6.0.
- 12 8' LADDER.
- 13 PROVIDE AND INSTALL OCCUPANCY LOAD SIGNAGE. 52 MAX.
- 14 SPLASH GUARD SEE 9/A6.3.
- 15 AUTOMATIC HAND SOAP AND SANITIZER DISPENSERS PROVIDED BY ECOLAB.
- 16 IDX TO INSTALL CONTINUOUS SOLID SURFACE COUNTERTOP AT POS/HANDOFF MILLWORK (NO SEAMS)

SEATING PACKAGE - BY SEATING VENDOR U.O.N. (TOTAL SEATS = 50 INT) F

ARTWORK SCHEDULE E

GENERAL NOTES D

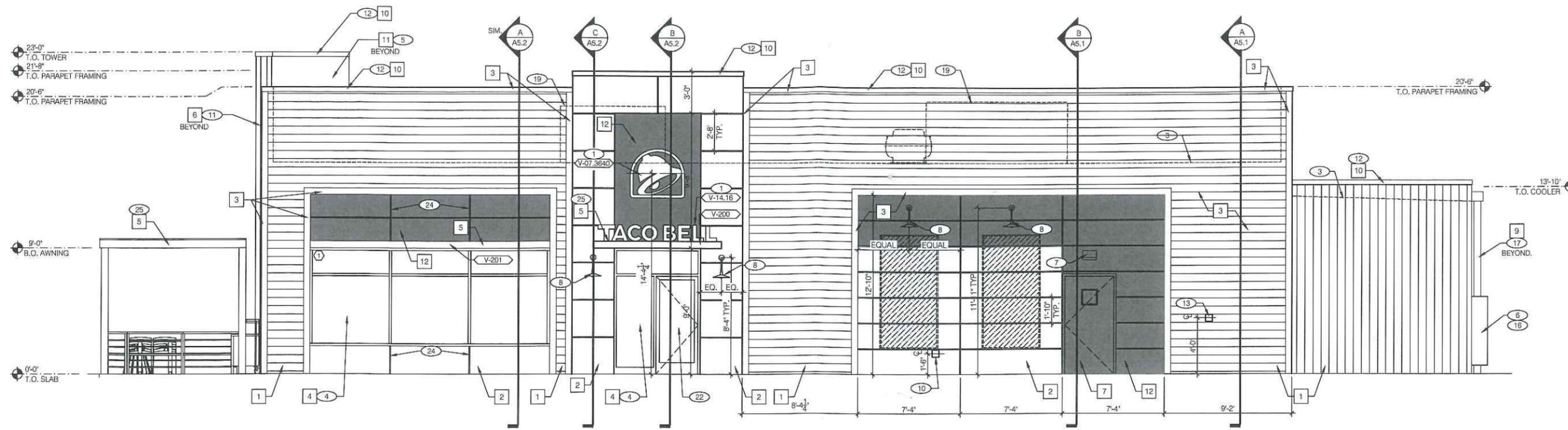
GENERAL INFORMATION C

KEYNOTES B

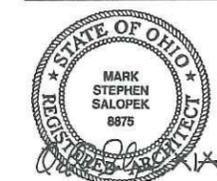
TACO BELL
 1061 N. COURT ST
 MEDINA, OH 44256



ENDEAVOUR
 MEDIUM50
EQUIPMENT AND SEATING PLAN
A2.0



RIGHT SIDE ELEVATION 1/4"=1'-0" **A**



3/03/2020
Mark S. Salopek License #8875
Expiration Date December 31, 2021

MISCELLANEOUS
A. SEE SHT A1.1 'WINDOW TYPES' FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS):
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY.

'CRITICAL' DIMENSIONS:
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/ BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

| QTY | ITEM DESCRIPTION | ELEC |
|-----|---|------|
| 1 | ENTRANCE PORTAL CANOPY | X |
| 1 | DINING ROOM WINDOW AWNING | X |
| 2 | 3'-6" x 4'-0" LARGE SWINGING BELL, PURPLE LOGO - FACE LIT | X |
| 1 | 3'-6" x 4'-0" LARGE SWINGING BELL, FLAT CUT OUT, WALL MOUNTED | X |
| 2 | 16" LARGE CHANNEL LETTERS, WHITE | X |
| 1 | 16" LARGE LETTERS, FLAT CUT OUT, WHITE - AWNING MOUNTED | X |
| 1 | DRIVE-THRU CANOPY - 4'-0"D x 9'-0"W x 6'H | X |

NOTE: SIGNAGE UNDER SEPARATE PERMIT

NOT USED N.T.S. **I**

NOT USED N.T.S. **G**

GENERAL NOTES **F**

NOT USED **E**

SIGN SCHEDULE N.T.S. **C**

| EXTERIOR FINISH SCHEDULE | | | | | | | |
|--------------------------|-----------------------------------|----------------|---|---|------------------------------|----------------|------------------------------|
| SYMBOL | AREA | MANUFACTURER | MATERIAL SPEC | COLOR | ALTERNATE FINISH INFORMATION | | |
| | | | | | MFR. | MATERIAL SPEC. | COLOR |
| 1 | EXTERIOR FIBER CEMENT PANELS | JAMES HARDIE | ARTISAN V-GROOVE RUSTIC 144"L X 8.25" W; 7" EXPOSURE COMES PRIMED FOR PAINT | PAINT SW7043 WORLDLY GRAY | NICHIHA | ROUGH SAWN | SMOKE |
| 2 | EXTERIOR FIBER CEMENT PANELS | JAMES HARDIE | REVEAL PANEL SYSTEM | PAINT SW7055 ENDURING BRONZE | NICHIHA | ILLUMINATION | PAINTED SW7048 URBANE BRONZE |
| 3 | EXTERIOR FIBER CEMENT TRIM BOARDS | JAMES HARDIE | 5/4" X 5.5" X 144" RUSTIC, PRIMED FOR PAINT | PAINT SW7055 ENDURING BRONZE | | | |
| 4 | STOREFRONT | OLD CASTLE | SERIES 500 - WIDE STILE FOR WINDOWS AND SERIES 500 - WIDE STILE FOR DOORS | DARK BRONZE | N/A | N/A | N/A |
| 5 | METAL CANOPIES | BY SIGN VENDOR | - | DRYLAC POWDER COATING 038/60080 STATUARY BRONZE | N/A | N/A | N/A |
| 6 | TOWER AND PORTAL ACCENT | WESTERN STATES | WESTERN REVEAL - NR 16" PANELS | CORTEN AZP RAW | N/A | N/A | N/A |
| 7 | EXTERIOR HOLLOW METAL DOOR | - | - | TB CUSTOM PURPLE | N/A | N/A | N/A |
| 9 | DOWNSPOUT | - | - | PAINT SW7043 WORLDLY GRAY | N/A | N/A | N/A |
| 10 | EXTERIOR METAL TRIM - PARAPET CAP | AEP SPAN | VINTAGE | | | | |
| 11 | PARAPET BACK ROOFING | DUROLAST | SINGLE-PLY ROOF MEMBRANE | TAN | N/A | N/A | N/A |
| 12 | EXTERIOR FIBER CEMENT PANELS | JAMES HARDIE | REVEAL PANEL SYSTEM | TB CUSTOM PURPLE | | | |

EXTERIOR FINISH SCHEDULE **H**

- 1 BUILDING SIGN, BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- 2 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3 DASHED LINE INDICATES ROOF BEYOND.
- 4 STOREFRONT, TYPICAL.
- 5 SINGLE MEMBRANE ROOFING.
- 6 SWITCH GEAR. PAINT TO MATCH WALL.
- 7 WALL PACK LIGHT FIXTURE.
- 8 LIGHT SCONCE.
- 9 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 10 HOSE BIBB LOCATION. REFER TO PLUMBING AND DETAIL 4/A6.2
- 11 TOWER WITH METAL PANEL FINISH.
- 12 PARAPET COPING. IF DURO-LAST EDGE TRIM IS USED, USE THE DURO-LAST PRE-FINISHED EDGE TRIM. SEE DETAIL 2/A6.0.
- 13 CO2 FILLER VALVE & COVER. SEE DETAIL 5/A6.2 SIM.
- 14 DRIVE-THRU CANOPY BY OTHERS.
- 15 GAS SERVICE.
- 16 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
- 17 SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL.
- 18 CONCRETE CURB.
- 19 RTU BEYOND.
- 20 NOT USED.
- 21 OVERFLOW SCUPPER
- 22 STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
- 23 BOLLARD
- 24 CENTER REVEAL ON VERTICAL WINDOW MULLION.
- 25 CANOPY BY SIGN VENDOR.

"This submittal is for general informational purposes only and is preliminary in nature. As such, any other use or reliance is strictly prohibited."

KEY NOTES **D**

CONTRACT DATE: 03.02.2020
BUILDING TYPE: END50L
PLAN VERSION:
SITE NUMBER: 296196/439724
STORE NUMBER: 2019088.18



EXTERIOR ELEVATIONS
A4.0

