

**MEETING DATE: 11-12-20**

# **PLANNING COMMISSION**

**Case No. P20-15  
927 Lake Rd.**



**CITY of MEDINA**  
**Planning Commission**  
**November 12, 2020 Meeting**

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**Case No:** P20-15  
**Address:** 927 Lake Road  
**Applicant:** Buckeye Fresh  
**Subject:** Site Plan review for Building Addition  
**Zoning:** I-1, Industrial District  
**Submitted by:** Jonathan Mendel, Community Development Director

A handwritten signature in blue ink, appearing to be 'Jm', is written over the name 'Jonathan Mendel' in the 'Submitted by' line.

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**Site Location:**

The property is located on the west side of the 900 block of Lake Road. The property is adjacent to I-1 Industrial zoning on all sides.

**Project Background:**

The applicant proposes expanding the existing 52,000 sqft building with a 15,120 sqft addition to the rear of the existing building. The addition will be consistent with the existing building in scale and finish materials. The addition will provide additional indoor storage and production space. There are no substantive changes to the rest of the site.

Please find attached to this report:

1. Proposed site improvement plans and building elevations dated October 9, 2020.

**Considerations:**

**District Regulations – Section 1141:**

**Proposed Use:** The existing Light Manufacturing use will continue and the proposed additions do not change this.

**Lot and setback requirements:** The proposed addition's setbacks comply with the I-1 lot development requirements.

### **Site Plan Guidelines**

The following are the Site Plan review guidelines from the Planning and Zoning Code:

1. Strengthen, protect, enhance and improve the existing visual and aesthetic character of the City, and to prevent the creation or perpetuation of nuisances or blight in the City.
2. To integrate developments into the surrounding environment, as well as to ensure that each new development and redevelopment will be attractive.
3. To protect and improve property values.
4. To foster and encourage creative application of design principles.
5. To ensure that the particular existing design features, which contribute to the unique character of Medina, are retained and re-created in a manner that retains and enhances the City's sense of community.
6. To ensure that new development and redevelopment are compatible and harmonious with the existing overall character of the city, especially when development is proposed in areas where the existing structures do not have architectural features that warrant replication or enhancement.
7. To bring new buildings into an orderly arrangement with landscape and nature, other buildings, and open space areas.
8. To ensure that these objectives are achieved through an impartial review

As well as the specific design guidelines for industrial uses:

Development for Industrial Uses within the I-1 Industrial District shall only be required to comply with the following standards:

- A. Architectural details and ornamentation on the street façade shall be meaningful to the overall design and appropriate for the size and scale of proposed structures, and harmonious with other architectural details and ornamentation on adjacent structures
- B. Additions and accessory structures should be designed to be compatible with the main structure.
- C. All exterior finished materials, including windows and doors, shall be of architectural grade with long term maintenance characteristics.

Reviewing the applicant's proposed site plan and building elevations, the project meets the intent and objectives outlined in Chapter 1109 as well as the specific design guidelines for industrial uses.

**Parking and Circulation.** The proposed addition adds additional occupied square footage to the site, but this project does not necessitate additional on-site parking.

**Landscaping, Screening and Buffering.** No landscaping plan is required for this project.

### **Site Lighting**

A proposed site lighting plan and photometric plan has been provided and complies with the applicable Sections of 1145.09(c) of the Planning and Zoning Code.

**Staff Comments:**

**Building Department.** No comments at this time

**Police Chief.** No comment at this time

**Service Department.** They currently have 2 tanks that they use for watering plants inside the building. The inlets for both tanks are air gapped. As long as any additional tanks in the expansion are air gapped they will not have to install isolation backflow devices on them. If you have any questions feel free to call the Backflow Office 330-721-8417.

**Fire Department** No comment at this time

**Engineering Department** No comments at this time

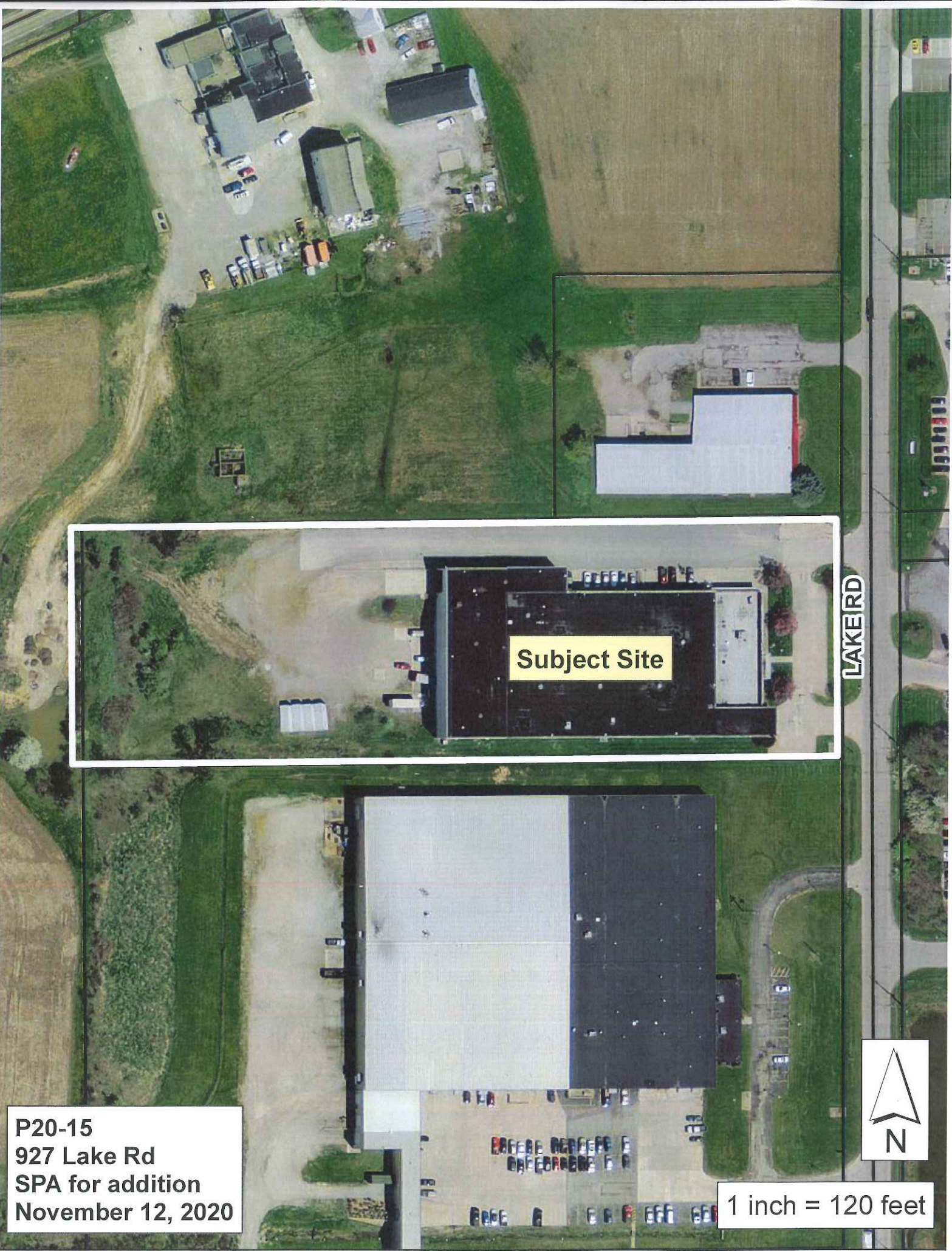
**City Forester** No comment at this time

**Economic Development.** No comment at this time

**Recommendation:**

Staff recommends the Planning Commission **approve** the application subject to the following conditions:

1. Review and approval of permits by the City of Medina Building Department and Engineering Department.



Subject Site

LAKE RD

P20-15  
927 Lake Rd  
SPA for addition  
November 12, 2020

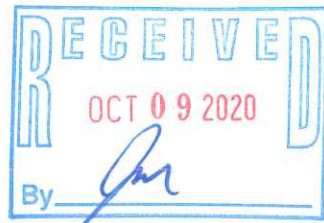


1 inch = 120 feet

# A DESIGN/BUILD ADDITION PROJECT FOR:

# BUCKEYE FRESH

## 927 LAKE ROAD, MEDINA, OHIO 44256

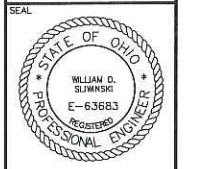


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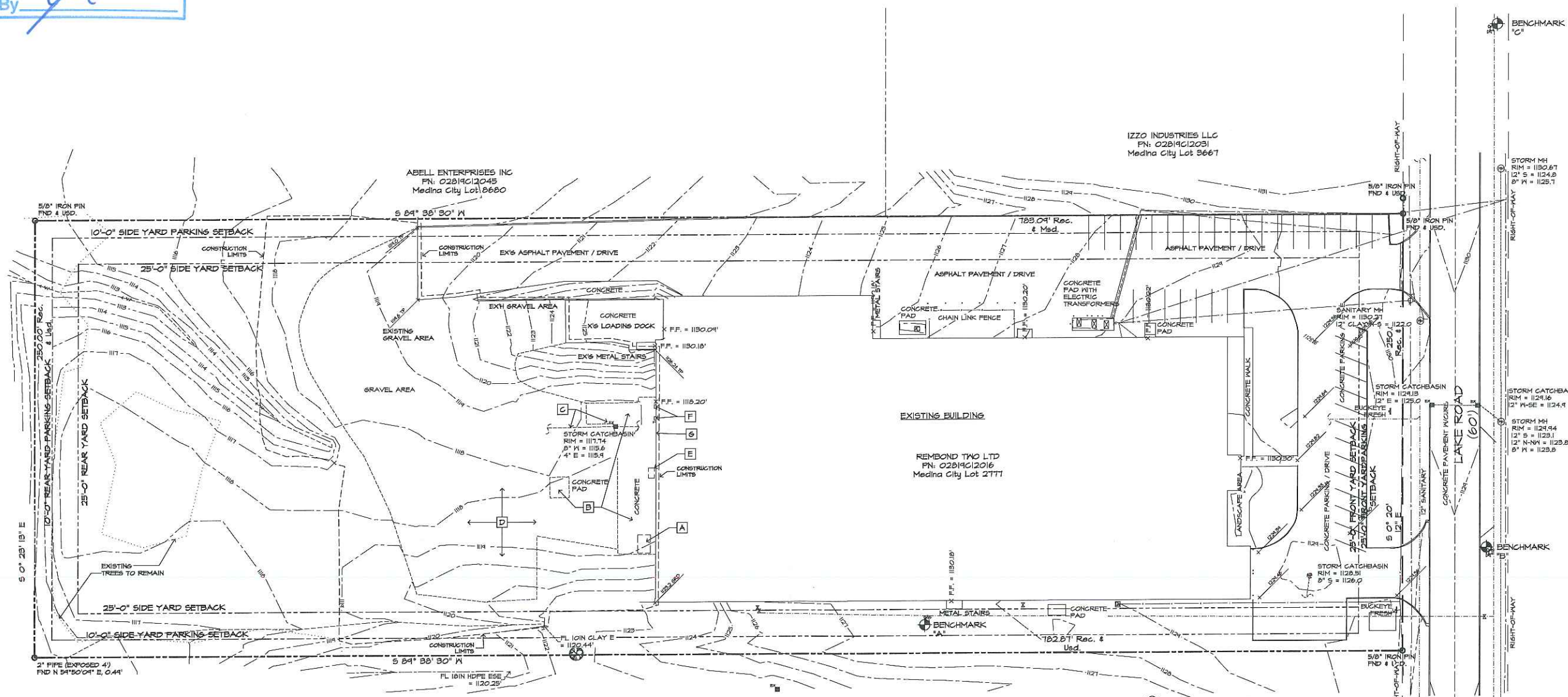
**Campbell**  
CONSTRUCTION

155 BLACHLEYVILLE RD. WOOSTER, OH 44691 330/262-5166  
1 PARK CENTRE DR. WADSWORTH, OH 44281 330/336-8786

BUILDING ADDITION FOR  
BUCKEYE FRESH  
927 LAKE ROAD  
MEDINA, OHIO 44256



REVISIONS
FILE ..ESTBPM
DRAWN BY
DATE 10-08-2020
DRAWING NO. <b>SD-1</b>



LOT SIZE 4.494 ACRES

BENCHMARK

BM "A": NW FLANGE BOLT ON FIRE HYDRANT, SOUTH SIDE OF BUILDING, ELEV. "A" = 1130.34'

BM "B": ARROW ON FIRE HYDRANT, LAKE ROAD, ELEV. "B" = 1131.45'

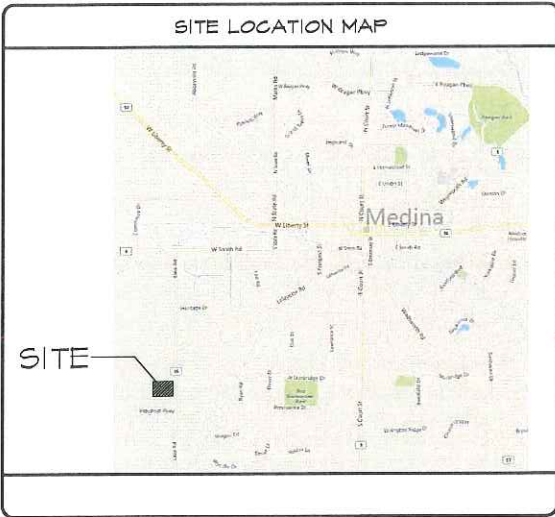
BM "C": ARROW ON FIRE HYDRANT, LAKE ROAD, ELEV. "C" = 1135.07'

KEYNOTES	
A	EXISTING HVAC CONDENSING UNIT TO BE RELOCATED.
B	REMOVE EXISTING CONCRETE.
C	REMOVE EXISTING CATCH BASIN AND STORM SEWER.
D	REMOVE EXISTING GRAVEL AS REQUIRED AND SAVE FOR RE-USE.
E	REMOVE EXISTING WALL MOUNT AIR CONDITIONER.
F	REMOVE EXISTING TRUCK BUMPERS MOUNTED ABOVE EXISTING CHD.
G	MAINTAIN EXISTING EXHAUST FLUE.



DRAWING INDEX:	
SD-1	EXISTING SITE PLAN
SD-2	PROPOSED SITE PLAN
SD-3	TOPOGRAPHICAL SITE PLAN
SD-4	DIMENSIONAL SITE PLAN
SITE DETAILS	
SD-5	PHOTOMETRIC SITE PLAN
A-1	LOWER LEVEL FLOOR PLAN
A-2	UPPER LEVEL FLOOR PLAN
A-3	EXTERIOR ELEVATIONS

PRELIMINARY - NOT FOR CONSTRUCTION - ESTIMATE ONLY



**UTILITY PIPING NOTES**

1. STORM SEWER PIPE  
 1) FOR 12" DIAMETER & LESS, USE ASTM D-3034, SDR 35 WITH GASKETED/CEMENTED JOINTS (WATER TIGHT).

THE OIL AND GAS PRODUCERS  
 UNDERGROUND PROTECTION SERVICE  
 P.O. BOX 205  
 GRANVILLE, OHIO 43023-0206  
 PHONE (614) 587-0486 OR  
 CALL TOLL FREE 800-925-0988

2 WORKING DAYS  
 BEFORE YOU DIG

OHIO UTILITIES PROTECTION SERVICES

**KEYNOTES**

A) PROVIDE 4" THICK CONCRETE PAD 8' x 10' (+/-) AND RELOCATE EXISTING HVAC CONDENSING UNIT TO THIS LOCATION.

B) 5'-0" WIDE X 6" THICK CONCRETE ICG/ANSI A117.1-2004 COMPLIANT DOOR APRON.

C) HEAVY DUTY CONCRETE PAVEMENT. SEE DETAIL ON SHEET SD-4.

D) 6" DIA. CONCRETE FILLED PAINTED STEEL PIPE BOLLARD. SEE DETAIL, SH. SD-4.

F) HEAVY DUTY GRAVEL PAVEMENT. SEE DETAIL ON SHEET SD-4.

G) WALL MOUNTED LIGHTING FIXTURE. SEE FIXTURE SCHEDULE ON THE ELECTRICAL DRAWINGS FOR MORE INFORMATION.

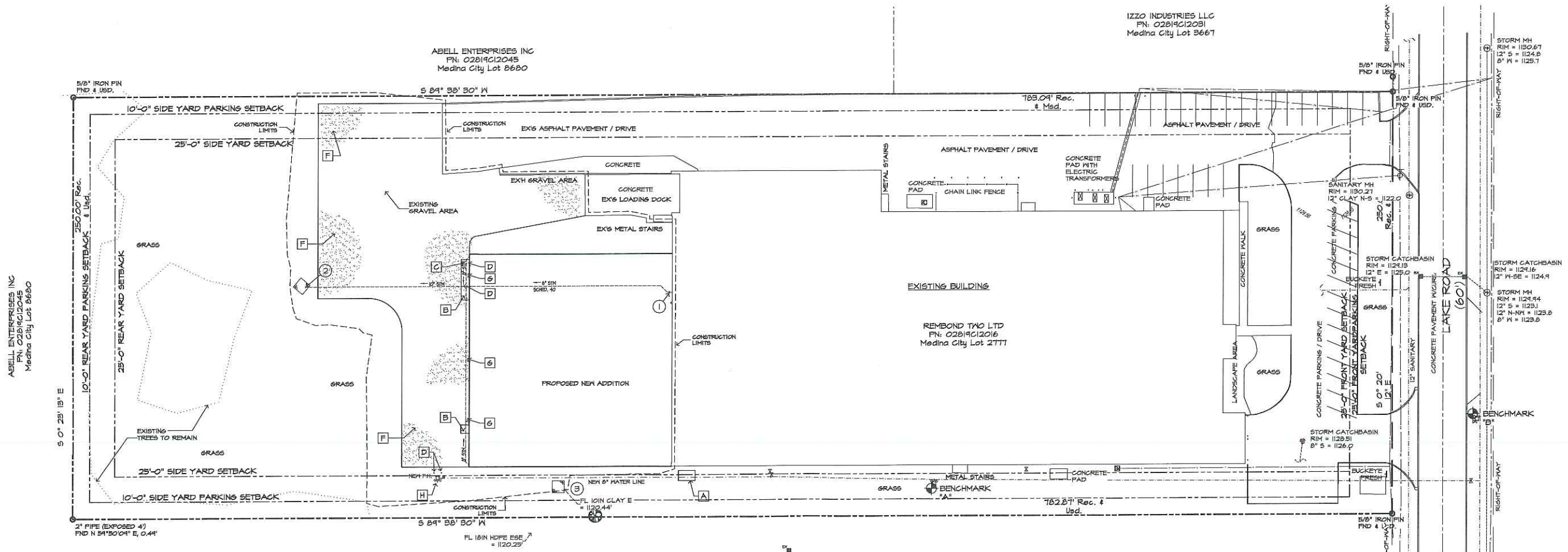
H) NEW FIRE HYDRANT.

**ZONING INFORMATION**

CITY OF MEDINA  
 ZONING: I-1 INDUSTRIAL  
 927 LAKE ROAD  
 P.N. 02819C12016 REMBOND TWO, LTD  
 145,731 SF (4.48 AC)

BUILDINGS:  
 EXISTING = 52,740 SF  
 NEW = 15,120 SF  
 TOTAL = 67,860 SF  
 BUILDING COVERAGE = 34.66 %

	ALLOWED	ACTUAL
MINIMUM LOT SIZE:	1/2 ACRE (21,780 SF)	4.48 ACRES
MINIMUM LOT FRONTAGE:	100'-0"	250.00' EAST
MAXIMUM BUILDING LOT COVERAGE:	65%	34.66 %
FRONT YARD SETBACK:	25'-0"	87'-2" (+/-) EXISTING EAST SIDE
SIDE YARD BUILDING SETBACKS:	25'-0"	45'-2" (+/-) NORTH 30'-0" (+/-) SOUTH
REAR YARD BUILDING SETBACKS:	25'-0"	355'-8" (+/-) EXISTING WEST 235'-0" NEW ADDITION WEST
PARKING SETBACKS:	25'-0" FRONT (INDUSTRIAL) 10'-0" SIDE AND REAR (20'-0" IF NEXT TO R - NOT APPLICABLE) PARKING TO BE MIN. OF 5'-0" FROM ANY BUILDING	
BUILDING HEIGHT:	50'-0"	32'-4"



LOT SIZE 4.494 ACRES  
 BENCHMARK

BM "A": N<sup>1</sup>/4 FLANGE BOLT ON FIRE HYDRANT, SOUTH SIDE OF BUILDING, ELEV. "A" = 1130.34'

BM "B": ARROW ON FIRE HYDRANT, LAKE ROAD, ELEV. "B" = 1131.48'

BM "C": ARROW ON FIRE HYDRANT, LAKE ROAD, ELEV. "C" = 1133.07'

ASRETI - MEDINA LLC  
 P.N. 02819C12017  
 Medina City Lot 366B



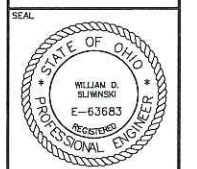
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BUILDING ADDITION FOR  
 BUCKEYE FRESH  
 927 LAKE ROAD  
 MEDINA, OHIO 44256



REVISIONS

FILE: ESTBPM

DRAWN BY:

DATE: 10-08-2020

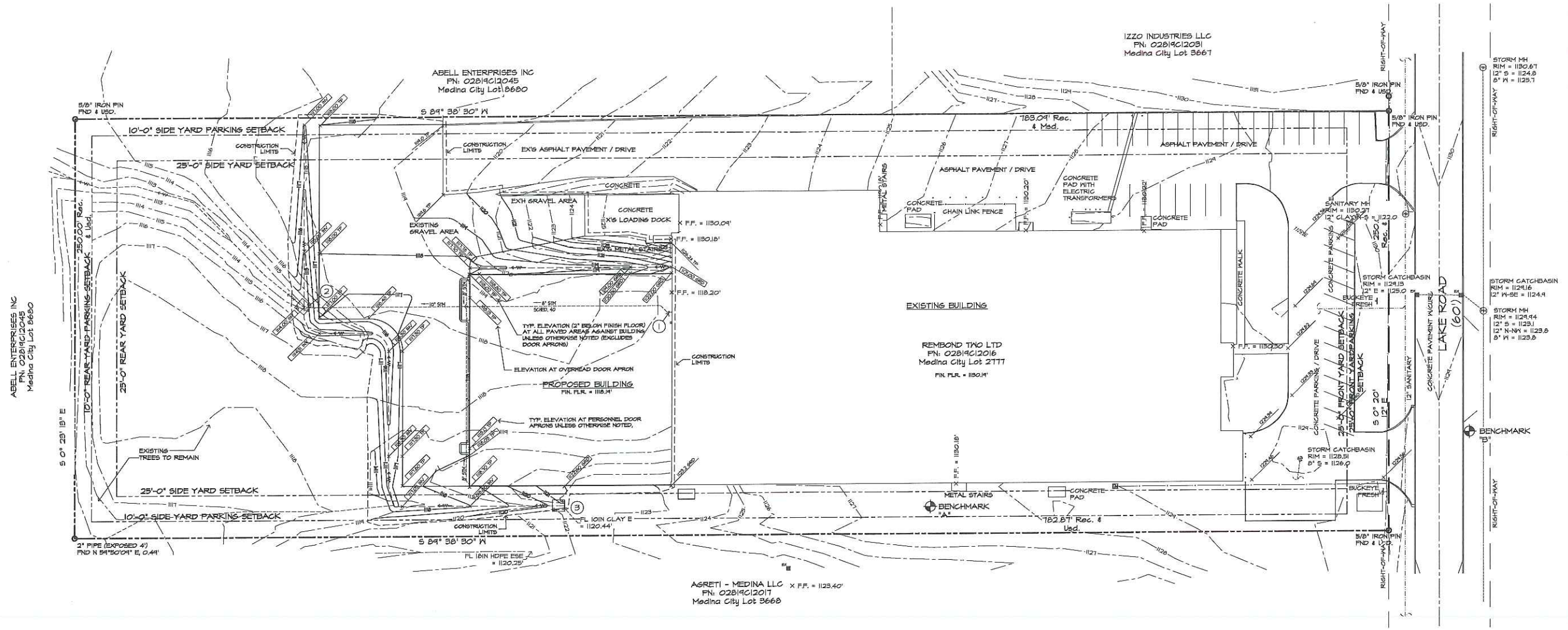
DRAWING NO. SD-2

TOPOGRAPHICAL LEGEND		
TC = TOP OF CURB	EXISTING POINT ELEVATION	$\pm 1000.00$ TO $\pm 1000.50$
TP = TOP OF PAVEMENT	NEA POINT ELEVATION	$\pm 1000.00$ TO $\pm 1000.50$
GRD = GRADE	EXISTING CONTOUR LINE	100
TG = TOP OF GRADE	NEA CONTOUR LINE	100
INV = INVERT		

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BEFORE YOU DIG

CALL TOLL FREE 800-362-2764  
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**STORM SEWER STRUCTURE SCHEDULE**

- ① START OF 6" PIPE  
INV = 1115.50' (ASSUMED), 6" IN,  
EX. 4"
- ② PROPOSED PIPE OUTLET  
INV = 1114.25 10"E  
CONST. TLTYPWD, TYPE D,  
STONE OUTLET PROTECTION
- ③ EXISTING PIPE OUTLET  
INV = 1120.44', EX. 10"E  
CONST. TLTYPWD, TYPE D,  
STONE OUTLET PROTECTION

**STORM SEWER SCHEDULE**

FROM	TO	LENGTH	SIZE	SLOPE
1	2	218.0'	6" x 10"	0.25%

LOT SIZE 4.494 ACRES

BENCHMARK

BM "A": NM FLANGE BOLT ON FIRE HYDRANT,  
SOUTH SIDE OF BUILDING,  
ELEV. "A" = 1130.34'

BM "B": ARROW ON FIRE HYDRANT,  
LAKE ROAD,  
ELEV. "B" = 1131.48'

BM "C": ARROW ON FIRE HYDRANT,  
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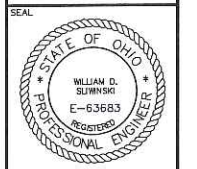


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330/336-8786

BUILDING ADDITION FOR  
BUCKEYE FRESH  
927 LAKE ROAD  
MEDINA, OHIO 44256



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DATE	10-08-2020
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SITE LIGHTING FIXTURE SCHEDULE					
SYMBOL	TYPE	MFGR.	CATALOG NO.	VOLTAGE	DESCRIPTION
	A	LITHONIA	TWH-LED WALL PACK	UNIVERSAL	WALL MOUNT LED FIXTURE WITH DIE CAST ALUMINUM HOUSING WITH DARK BRONZE POWDERCOAT FINISH, TYPE 3 LIGHT DISTRIBUTION, 5000 K-COLOR TEMPERATURE, 70 WATTS, ADJUSTABLE LUMEN OUTPUT, 4,204 LUMENS MAX. SETTING (STEP 4).

NOTES:  
 1. COLOR TEMPERATURE FOR EXTERIOR LED FIXTURES TO BE 5000°K.  
 2. ACCEPTABLE SUBSTITUTES FOR LITHONIA LIGHT FIXTURES SHALL BE PHILLIPS / DAY-BRITE OR COOPER / METALUX.

**Performance Data**

**Lumen Output**  
 Lumen output is based on a typical installation in a typical environment with 70°F ambient temperature. Lumen output will vary with ambient temperature. Lumen output is based on a typical installation in a typical environment with 70°F ambient temperature. Lumen output will vary with ambient temperature.

Step	Step 1	Step 2	Step 3	Step 4	Step 5
Step 1	70	2,071	376	6,216	712
Step 2	70	4,142	752	12,432	1,424
Step 3	70	6,213	1,128	18,648	2,136
Step 4	70	8,284	1,504	24,864	2,848
Step 5	70	10,355	1,880	31,080	3,552

**Lumen Ambient Temperature (LAT) Multiplier**

Temp (°F)	Temp (°C)	Multiplier
40	4	1.00
50	10	0.95
60	16	0.90
70	21	0.85
80	27	0.80
90	32	0.75
100	38	0.70

**Projected LED Lumen Maintenance**  
 One thousand (1,000) hours of operation at 70°F ambient temperature. Lumen maintenance is based on a typical installation in a typical environment with 70°F ambient temperature. Lumen maintenance will vary with ambient temperature.

Hours	Step 1	Step 2	Step 3	Step 4	Step 5
1,000	70	2,071	376	6,216	712
2,000	70	4,142	752	12,432	1,424
3,000	70	6,213	1,128	18,648	2,136
4,000	70	8,284	1,504	24,864	2,848
5,000	70	10,355	1,880	31,080	3,552

**Electrical Load**

Step	Step 1	Step 2	Step 3	Step 4	Step 5
Step 1	70	2,071	376	6,216	712
Step 2	70	4,142	752	12,432	1,424
Step 3	70	6,213	1,128	18,648	2,136
Step 4	70	8,284	1,504	24,864	2,848
Step 5	70	10,355	1,880	31,080	3,552

**Options and Accessories**

VG - Vandal guard  
 WG - Wire guard

**TWH LED LED Wall Luminaire**

**Specifications**  
 Width: 16-1/2" (418mm)  
 Height: 15-3/4" (399mm)  
 Depth: 8"  
 Weight: 20 lbs (9.1kg)

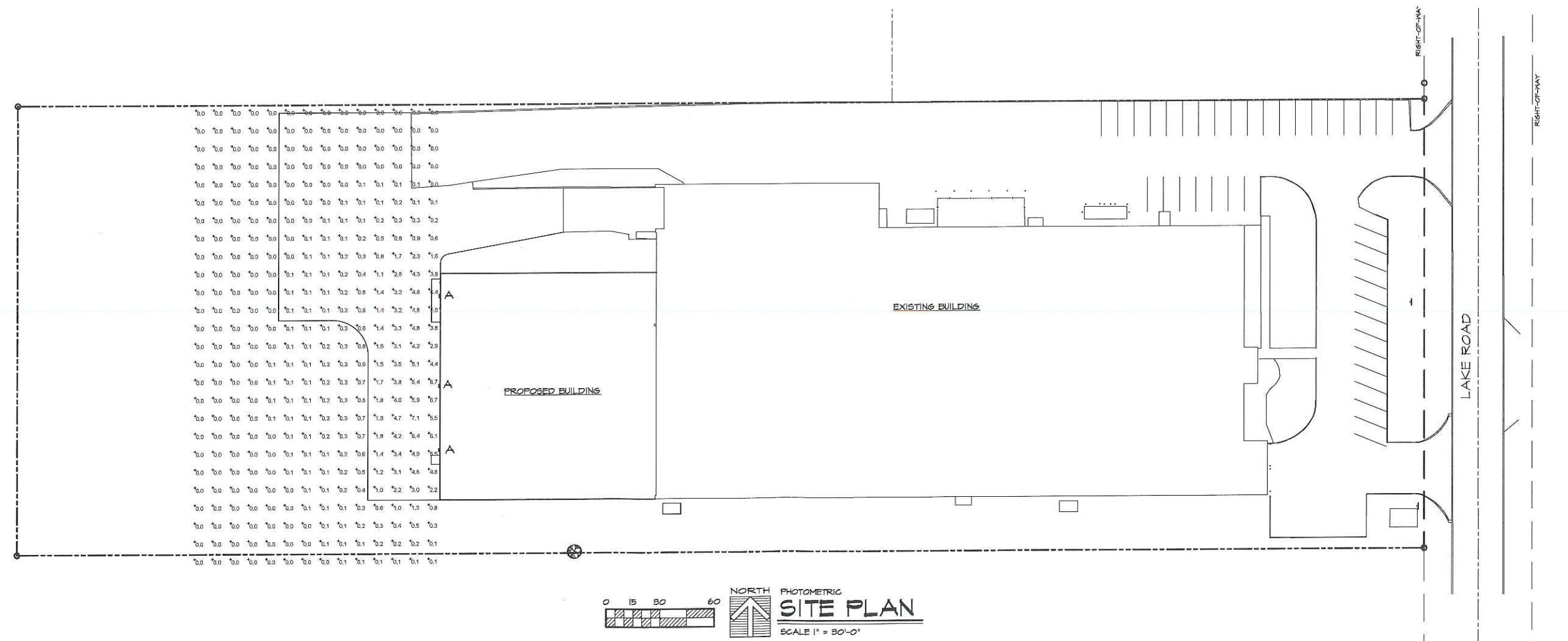
**Introduction**  
 The TWH LED offers a classic appearance and is powered by advanced LEDs. The new TWH LED luminaire is powerful yet energy efficient, capable of replacing up to a 400W metal halide luminaire while saving up to 83% in energy costs. Offering an expected service life of more than 20 years, the TWH LED eliminates frequent lamp and ballast replacements associated with traditional technologies.

**Specifications**  
 The new TWH LED features an Adjustable Light Output (ALCO) that allows the contractor to set the light output during installation, to a level perfectly suited for the job site. The feature allows one luminaire to replace anywhere from 70W to all the way up to 400W metal halide luminaire.

**Ordering information**  
 EXAMPLE: TWH LED ALD 50K T3M MVOLT DDBXD

Symbol	Power Factor	Color Temperature	Mounting	Finish	Control System	Input Voltage	Output Voltage
TWH LED	ALD	50K	T3M	Black	Dimmable	120V/240V	120V/240V

**Accessories**  
 VG - Vandal guard  
 WG - Wire guard



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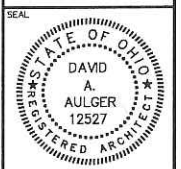
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 330/336-8786

BUILDING ADDITION FOR  
 BUCKEYE FRESH  
 927 LAKE ROAD  
 MEDINA, OHIO 44256



REVISIONS

FILE  
 .ESTBPM

DRAWN BY

DATE  
 10-06-2020

DRAWING NO.  
**SD-5**

**NOTE:**  
 THESE DESIGN / BUILD ESTIMATE DRAWINGS DO NOT SHOW ALL ITEMS / MATERIALS / INFORMATION REQUIRED FOR THE PROJECT. BIDDERS SHALL REQUIRED ALL ITEMS / MATERIALS / COMPONENTS REQUIRED FOR A COMPLETE PROJECT IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES AND LOCAL MODIFIED ORDINANCES USING GOOD ENGINEERING PRACTICES.

ALL CONTRACTORS AND SUPPLIERS SHALL REVIEW THE SITE, ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND THE WRITTEN SCOPE OF WORK AND SHALL VISIT THE SITE TO REVIEW THE EXISTING BUILDING AND SITE CONDITIONS FOR ITEMS AND INFORMATION REQUIRED TO COMPLETE THEIR BID.

MECHANICAL AND PLUMBING CONTRACTORS SHALL REVIEW THE SITE, ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND THE WRITTEN SCOPE OF WORK FOR INFORMATION AND ITEMS REQUIRED FOR COMPLETION OF THEIR BID.

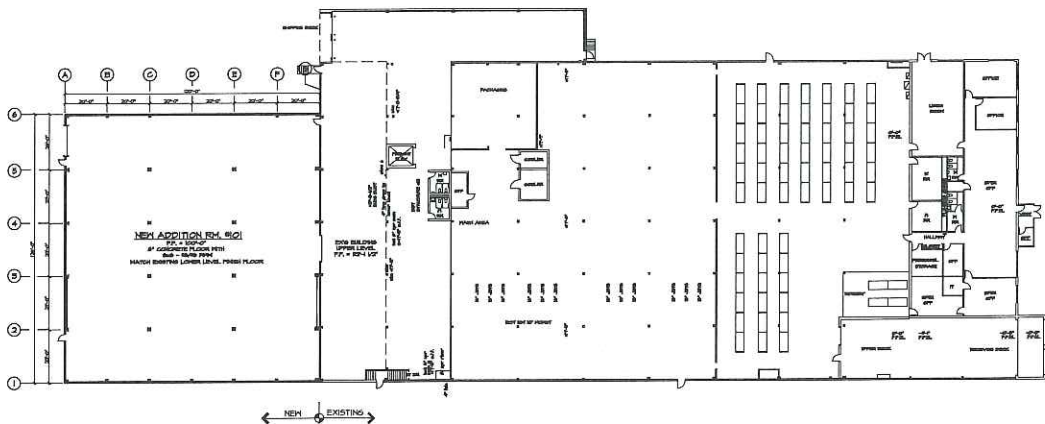
ELECTRICAL CONTRACTORS SHALL REVIEW THE SITE, ARCHITECTURAL, MECHANICAL AND PLUMBING DRAWINGS AND THE WRITTEN SCOPE OF WORK FOR INFORMATION AND ITEMS REQUIRED FOR COMPLETION OF THEIR BID.

FIRE PROTECTION CONTRACTORS SHALL REVIEW ALL THE DRAWINGS AND THE SCOPE OF WORK AND SHALL DESIGN AND PROVIDE A COMPLETE AND CODE COMPLIANT FIRE SUPPRESSION SYSTEM FOR THE PROJECT.

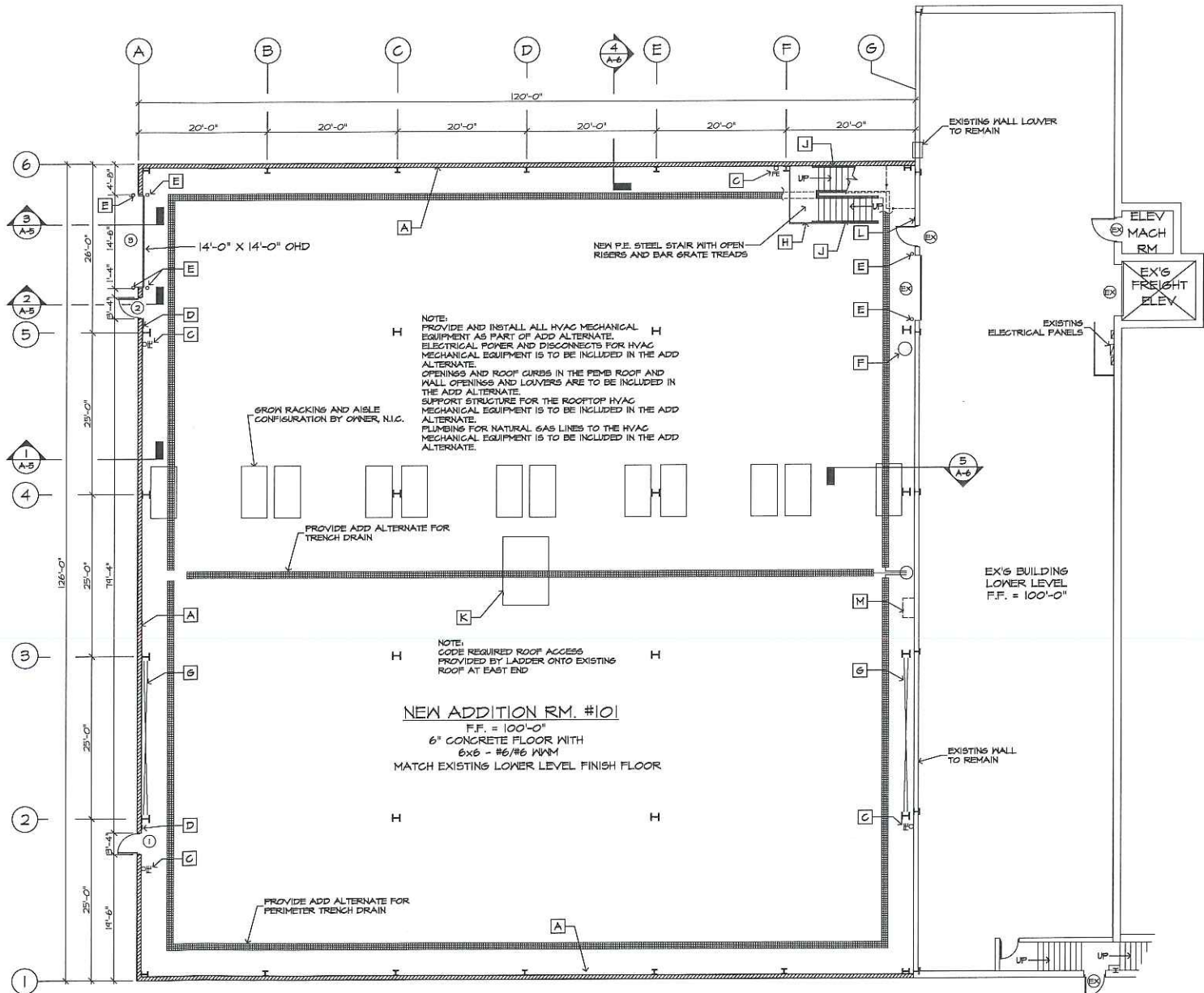
**GENERAL NOTES**

1. ALL FINISH FLOOR ELEVATIONS = 100'-0" (GROUND LEVEL) UNLESS OTHERWISE NOTED. SEE SITE DEVELOPMENT DRAWINGS FOR ACTUAL USGS ELEVATIONS.

**NOTE:**  
 GUARDRAILS AND HANDRAILS TO COMPLY WITH OBC 1607.0:  
 A. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 PLF IN ACCORDANCE WITH SECTION 4.51 OF ASCE 7, WHICH CAN BE REDUCED TO 20 PLF IN USE GROUPS 1-3, F, H, AND S PER EXCEPTION NO. 1.  
 B. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ACCORDANCE WITH SECTION 4.51 OF ASCE 7.  
 C. INTERMEDIATE RAILS, BALUSTERS, AND PANEL FILLERS (EVERYTHING EXCEPT HANDRAILS) SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 50 POUNDS IN ACCORDANCE WITH SECTION 4.51 OF ASCE 7.  
 D. TOILET GRAB BARS SHALL BE DESIGNED TO RESIST A SINGLE CONCENTRATED LOAD OF 250 LBS APPLIED IN ANY DIRECTION AT ANY POINT SO AS TO PRODUCE THE MAXIMUM LOAD EFFECT.



**OVERALL FLOOR PLAN**  
 SCALE 1" = 40'-0"



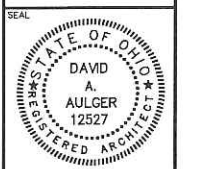
**LOWER LEVEL FLOOR PLAN**  
 SCALE 3/8" = 1'-0"  
 15,120 SF NEW ADDITION

**KEYNOTES**

A	6" X 8" X 16" CONCRETE MASONRY ABUSE WALL TO 7'-4" A.F.F.
B	PRE-ENGINEERED METAL BUILDING (PEMB) WALL.
C	FIRE EXTINGUISHER ON WALL MOUNT BRACKET.
D	QBC REQUIRED WALL MOUNT TACTILE ICC/ANSI A111-2001 COMPLIANT EXIT SIGNAGE.
E	NEW 6" DIAMETER SCHEDULE 40 CONCRETE FILLED STEEL PIPE BOLLARD, SEE DETAIL ON SHEET A-5.
F	MAINTAIN EXISTING EXHAUST FLUE UP THRU NEW ROOF.
G	PEMB METAL ROD CROSS BRACINGS.
H	1 1/4" SCHEDULE 40 PAINTED STEEL PIPE 2-RAIL INDUSTRIAL STYLE GUARD RAIL WITH POSTS EQUALLY SPACED AND 6'-0" O.C. MAX.
J	1 1/4" SCHEDULE 40 PAINTED STEEL PIPE HANDRAILS AT 24" A.F.F.
K	SEE MECHANICAL DRAWINGS FOR ROOF TOP EQUIPMENT INFORMATION.
L	WALL MOUNT ICC/ANSI A111-2001 ICC/ANSI COMPLIANT STAIR SIGN.
M	REMOVE EXISTING WALL MOUNT AIR CONDITIONER AND SALVAGE TO OWNER.

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 330/262-5186  
 330/338-8788

**BUILDING ADDITION FOR BUCKEYE FRESH**  
 927 LAKE ROAD  
 MEDINA, OHIO 44256



REVISIONS

FILE: ..ESTBFM

DRAWN BY:

DATE: 10-08-2020

DRAWING NO.

PRELIMINARY - NOT FOR CONSTRUCTION - ESTIMATE ONLY

**A-1**

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ALL CONTRACTORS AND SUPPLIERS SHALL REVIEW THE SITE, ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND THE WRITTEN SCOPE OF WORK AND SHALL VISIT THE SITE TO REVIEW THE EXISTING BUILDING AND SITE CONDITIONS FOR ITEMS AND INFORMATION REQUIRED TO COMPLETE THEIR BID.

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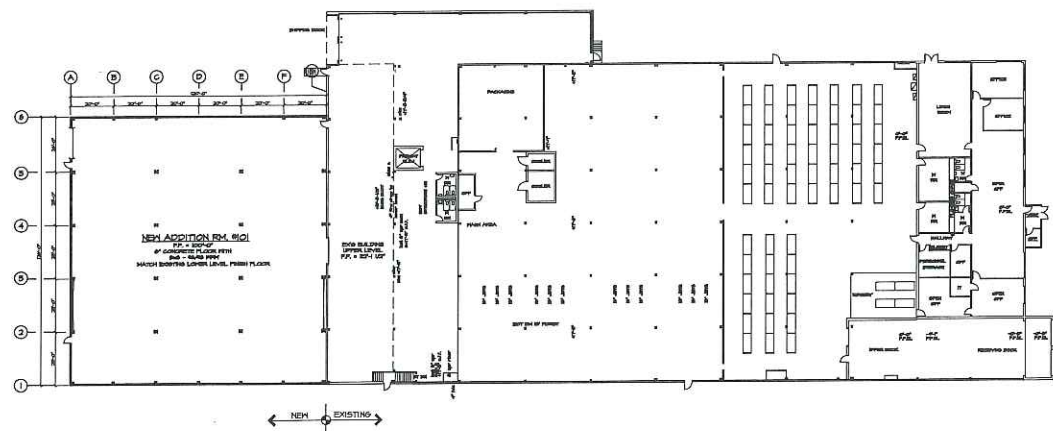
FIRE PROTECTION CONTRACTORS SHALL REVIEW ALL THE DRAWINGS AND THE SCOPE OF WORK AND SHALL DESIGN AND PROVIDE A COMPLETE AND CODE COMPLIANT FIRE SUPPRESSION SYSTEM FOR THE PROJECT.

**GENERAL NOTES**

- I. ALL FINISH FLOOR ELEVATIONS = 100'-0" (GROUND LEVEL) UNLESS OTHERWISE NOTED. SEE SITE DEVELOPMENT DRAWINGS FOR ACTUAL USGS ELEVATIONS.

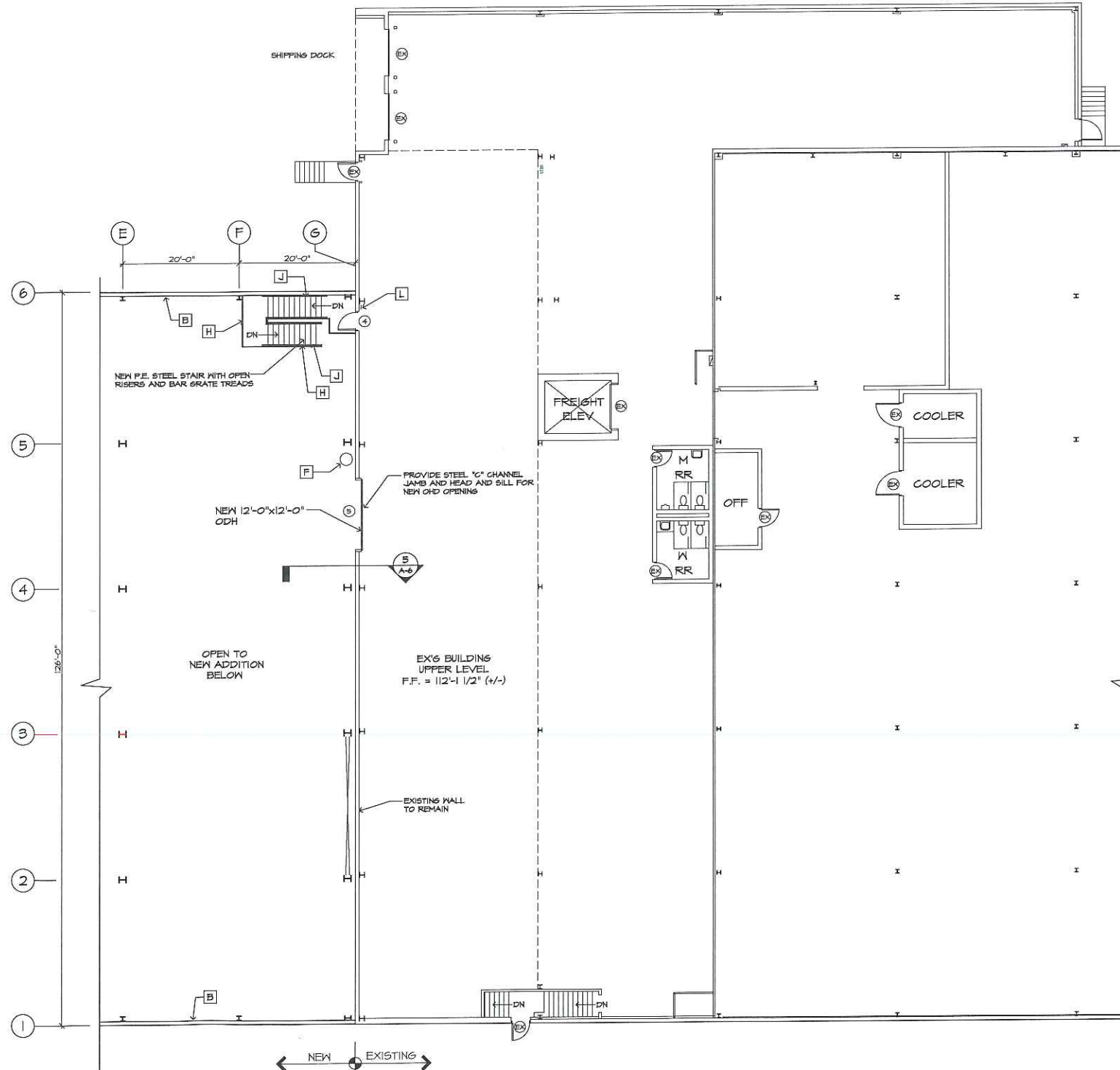
**NOTE:**

- GUARDRAILS AND HANDRAILS TO COMPLY WITH OBC 1607.8:
- A. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 PLF IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7, WHICH CAN BE REDUCED TO 20 PLF IN USE GROUPS I-B, F, H, AND S PER EXCEPTION NO. 1.
  - B. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7.
  - C. INTERMEDIATE RAILS, BALUSTERS, AND PANEL FILLERS (EVERYTHING EXCEPT HANDRAILS) SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 50 POUNDS IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7.
  - D. TOILET GRAB BARS SHALL BE DESIGNED TO RESIST A SINGLE CONCENTRATED LOAD OF 250 LBS APPLIED IN ANY DIRECTION AT ANY POINT SO AS TO PRODUCE THE MAXIMUM LOAD EFFECT.



**OVERALL FLOOR PLAN**

SCALE 1" = 40'-0"



**UPPER LEVEL FLOOR PLAN**

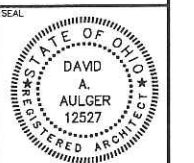
SCALE 3/8" = 1'-0"

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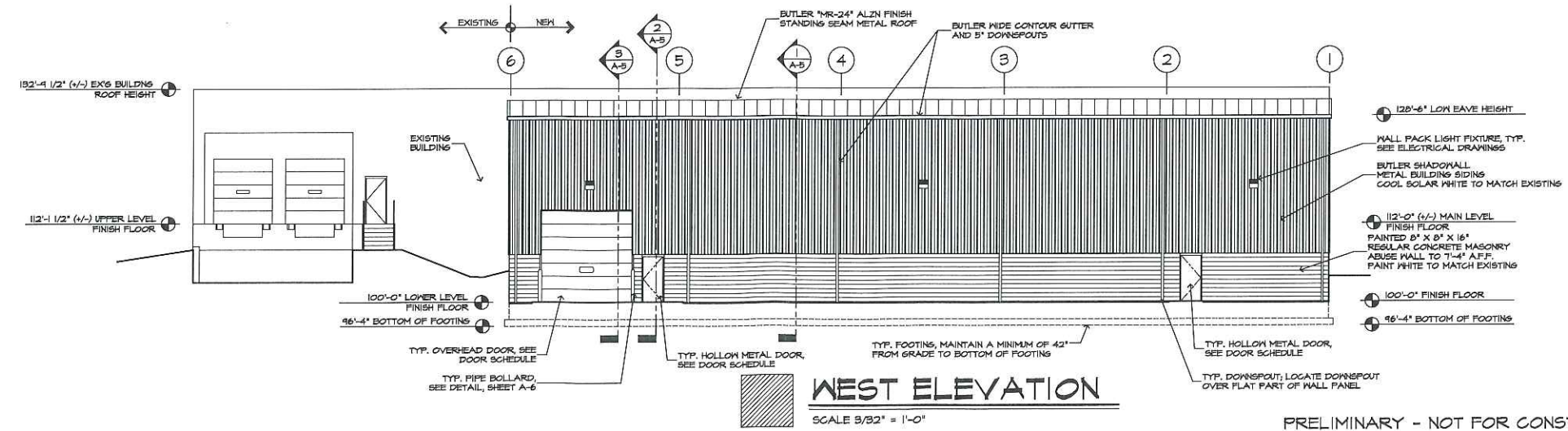
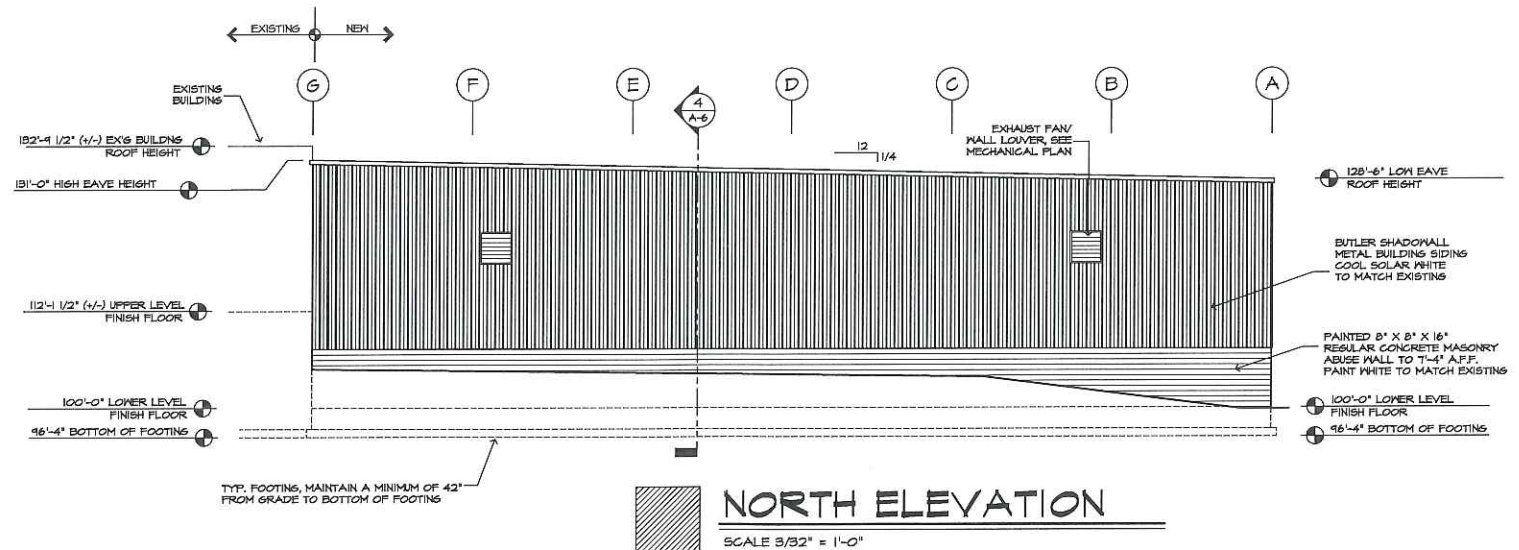
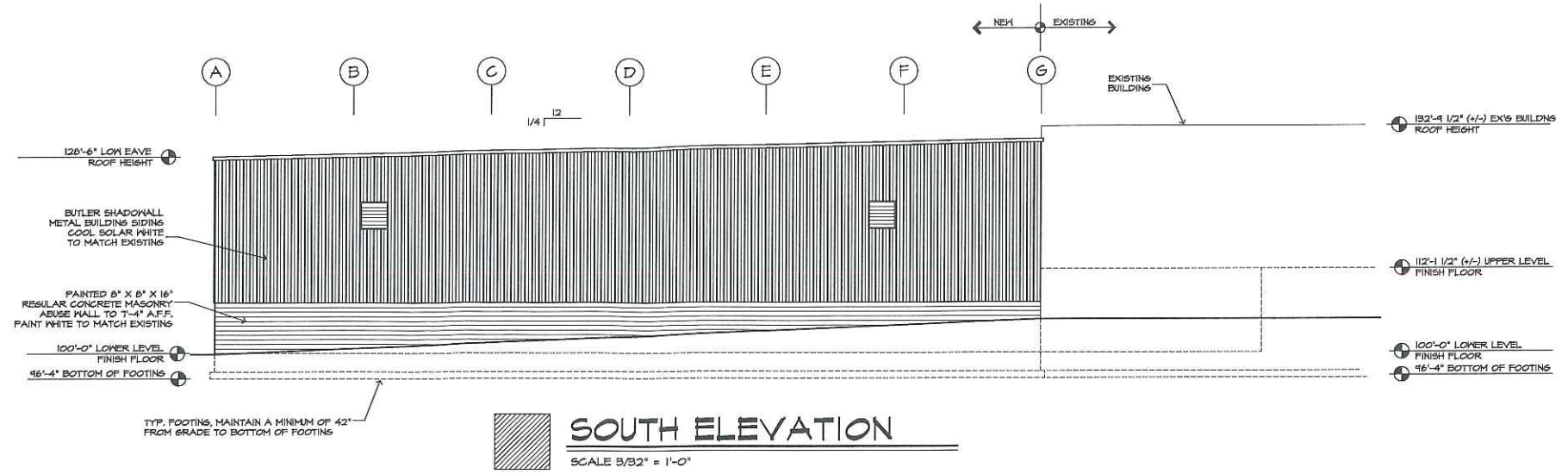
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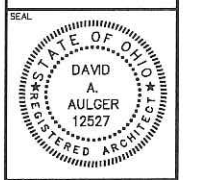
**A-2**



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