

**MEETING DATE: 11-12-20**

# **PLANNING COMMISSION**

**Case No. P20-16  
524 E. Washington**



# CITY of MEDINA

## Planning Commission

November 12, 2020 Meeting

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**Case No:** P20-16

**Address:** 524 E. Washington Street

**Applicant:** Kevin Robinette representing Matthew C Merkle & Katherine E Hall  
(owners)

**Subject:** Certificate of Appropriateness for a significant house rehabilitation and expansion project in the TCOV

**Zoning:** R-2, Medium Density Urban Residential

**Submitted by:** Jonathan Mendel, Community Development Director 

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**Site Location:**

The property is located on the east side of the 500 Block of W. Washington Street.

**Project Introduction:**

The applicant proposes a 1,238 sqft attached garage, living space and open porch addition to the rear and side of the existing 2,588 sqft early Italianate Victorian house. This project will require the removal of the existing side porch on the east side of the house, complete rehabilitation of the remainder of the house (including lifting the house and construction of a new complete foundation), addition of living space and attached garage to the rear of the house and the relocation of the property's driveway to the west side from the east side of the property. As this project is located within the Transitional Corridor Overlay District (TCOV), Certificate of Appropriateness review and approval is required by the Planning Commission.

Given the nature and timing of the project, the applicant requests a phased Certificate of Appropriateness for the project. The applicant wishes to remove/replace the house's main foundation and perform selective partial demolition of the existing house's structure, but a full rehabilitation/addition plan for the house has not been completed at this point. They intend to return to the Planning Commission with the final development plan in the near future.

Please find attached to this report:

1. Applicant's request for phased review and/or approval received November 3, 2020
2. Project site and building elevation plans dated October 21, 2020
3. Aerial photograph

**Transitional Corridor Overlay District (Section 1116)**

Section 1116.10(c) Review and action by the Planning commission states:

- (1) The criteria contained in the Overlay District Development Guidelines shall be used by the Planning Commission to guide their decision...*
- (2) The Planning Commission shall determine whether the proposed change will be appropriate to the preservation of the environmental, architectural or historic character of the Overlay District pursuant to the criteria included in the Overlay District Development Guidelines. In determining the appropriateness of the change, the Planning Commission may solicit input from the Historic Preservation Board in areas with buildings of historical and/or architectural significance.*

Excerpts of applicable TCOV Design Guidelines provide the following:

***TCOV.7 Exterior Renovation or Alterations of Existing Structures.***

*(a) The distinguishing original qualities of a building or structure should not be destroyed. The removal or alteration of historic materials or distinctive architectural features should be avoided when possible.*

*(b) Architectural elements shall be sensitively designed to reflect detailing associated with the particular style of building.*

*(c) The design elements and scale of a building addition shall be compatible with the design elements of the principal structure, in particular, building materials and color, roof lines and shapes and window proportions and alignment.*

***TCOV.8 Building Materials and Appurtenances.***

*(a) The architectural character and exterior building materials of new and remodeled buildings should be harmonious with surrounding buildings in color and texture, proportion, scale, patterns and opening sizes and shapes.*

*(b) Construction materials and colors for walls and fences that are visible from the street should be uniform and compatible with the architectural style, color and building material of the building and its surroundings.*

*(c) The original pattern of window and door openings and their shape and configuration should not be altered. Window and door openings should not be reduced, enlarged, or filled-in on street facade. Replacement windows and doors should match the original in size, shape and design.*

*(d) Original materials should be repaired, restored, and reused whenever possible. Where necessary missing or deteriorated materials should be replaced with appropriate recycled or new materials which match the original as closely as possible.*

**Staff Comments:**

For a first phase, the applicant proposed demolishing the east first floor side porch to permit full access to the existing house's foundation perimeter in order to lift the house, remove the existing foundation and construct a new foundation under the house. During this construction, the applicant intends to complete the final development plans and then return the Planning Commission for review of the remainder of the project.

Given the nature and timing of the project, it is reasonable to phase the Certificate of Appropriateness review and approval to permit flexibility for the intended rehabilitation and expansion of a mid/late 19<sup>th</sup> century house that is a prominent part of the streetscape of the 500 block of E. Washington Street.

**Recommendation:**

Staff recommends that the Planning Commission grant a Certificate of Appropriateness for proposed development plan (house rehabilitation, foundation replacement and partial demolition) at 524 E. Washington Street.

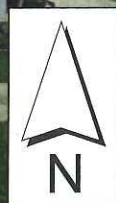


**EWASHINGTON ST**

**Subject Site**

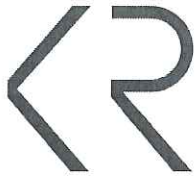


**P20-16**  
**524 E. Washington St.**  
**TCOV-COA - full rehab & rear addition**  
**November 12, 2020**



**1 inch = 50 feet**





architects

October 16, 2020

Jonathan Mendel, Community Development Director  
City of Medina  
132 North Elmwood  
Medina, Ohio



Ref: 524 East Washington

Subj: Applications for Planning, Building and Grading and Erosion Control Permits

Jonathan.

Thank you for calling yesterday to discuss the phased sequence of renovating the Merkle/Hall residence. The first phase, for which we are requesting permits at this time, is primarily focused on replacing the failing masonry and stone foundation. We have obtained the services of an experienced contractor in raising homes, removing and replacing the foundation and subsequently replacing access to underground utilities.

As this work develops we would like to address a number of items that are related to or complimentary to the task of replacing the foundation as follows:

- Removing existing porches which are not a part of the primary structure. The existing east porch deck is an impediment to implementing the foundation work and the roof over this porch is in a state of structural failure.
- The owner has determined that it is best to relocate the shared driveway from the east side to a dedicated driveway on the west side. The neighbor with whom this driveway is shared has erected a fence which is on the property line. We do not believe that this is a tenable situation and we are proposing to abandon the existing garage and either maintain it as an 'outbuilding' or remove it.
- This step requires replacing the garage with a structure attached to the house. We have prepared a conceptual site plan and 3-D model to convey the conceptual layout for the site to facilitate this review and permitting process.
- As the first phase of the work is implemented, it is advantageous to implement the curb cut and base for the future drive on the west side. This is the most accessible portion of the site to the excavation and will facilitate removal of spoils and delivery/staging of materials.

We recognize that these related steps are subject to review for a Certificate of Appropriateness, however at this time the complete addition and renovation of the existing structure has not been established. We are requesting a phased temporary certificate, as the first phase is completed, we will develop the rest of the project in order for a complete review sequence.

Thank you for your consideration.

Please contact me with any questions or concerns.

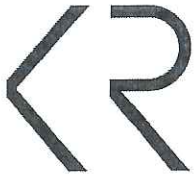
Sincerely,

A handwritten signature in black ink that reads "Kevin C. Robinette". The signature is written in a cursive, flowing style.

**Kevin C. Robinette, AIA**

Kevin C. Robinette Architects, LLC  
2091 South Belvoir Blvd.  
South Euclid, OH 44121  
(p) 216.246.0246  
(e) [robin.c.kevin@gmail.com](mailto:robin.c.kevin@gmail.com)

Cc: Katherine Hall



architects

October 16, 2020

Ref: 524 East Washington

Subj: Applications for Planning, Building and Grading and Erosion Control Permits

City of Medina, Planning, Building and Engineering Departments

Gentlemen,

On behalf of Matthew Merkle and Katherine Hall, owners of the historic residence at 524 East Washington, please find applications and digital files of documentation for the aforementioned permits.

Attached are documents consisting of the following:

- Boards and Commissions Application for Zoning Approval
- Building Permit Application
- Grading and Erosion Control Permit Application
- Drawings attached:
  - A – 1.1 Existing/Selective Demolition Site Plan
  - A – 1.2 Temporary Site Disturbance Plan
  - A – 1.3 Site Plan – New Work
  - C1 – 01 Storm Water Pollution Protection Plan
  - C2 – 02 SWPP notes
  - A – 2 Foundation/ Basement Floor Plan
  - A – 2.1 Foundation Plan w/ Existing Floor Framing

We are proposing the first phase of renovation work for this residence. The first phase encompasses the house structural frame raising for the construction of a new foundation and basement to support the structure. The contractor selected has extensive experience in implementing this work. We are also illustrating the related work scope to complement and complete this initial phase, as follows:

1. Selective demolition
2. Utilities – replacement of services for the home, gas, water, sanitary and storm.
3. Storm water management plans – please note that we are anticipating the storm management being maintained until the spring
4. Storm water management has been designed to facilitate permanent storm water controls
5. Abatement of asbestos containing materials (insulation at boiler piping) has been removed.
6. Selective demolition of basement



Please note that we will issue a sketch coordinating the drainage basin to the SW into the SWPPP. Our civil engineer took all of the storm water to the street, I would like to discuss to determine the best method.

The contractor is scheduled to begin this work on or about October 30<sup>th</sup>.

Please contact me with any questions or concerns.

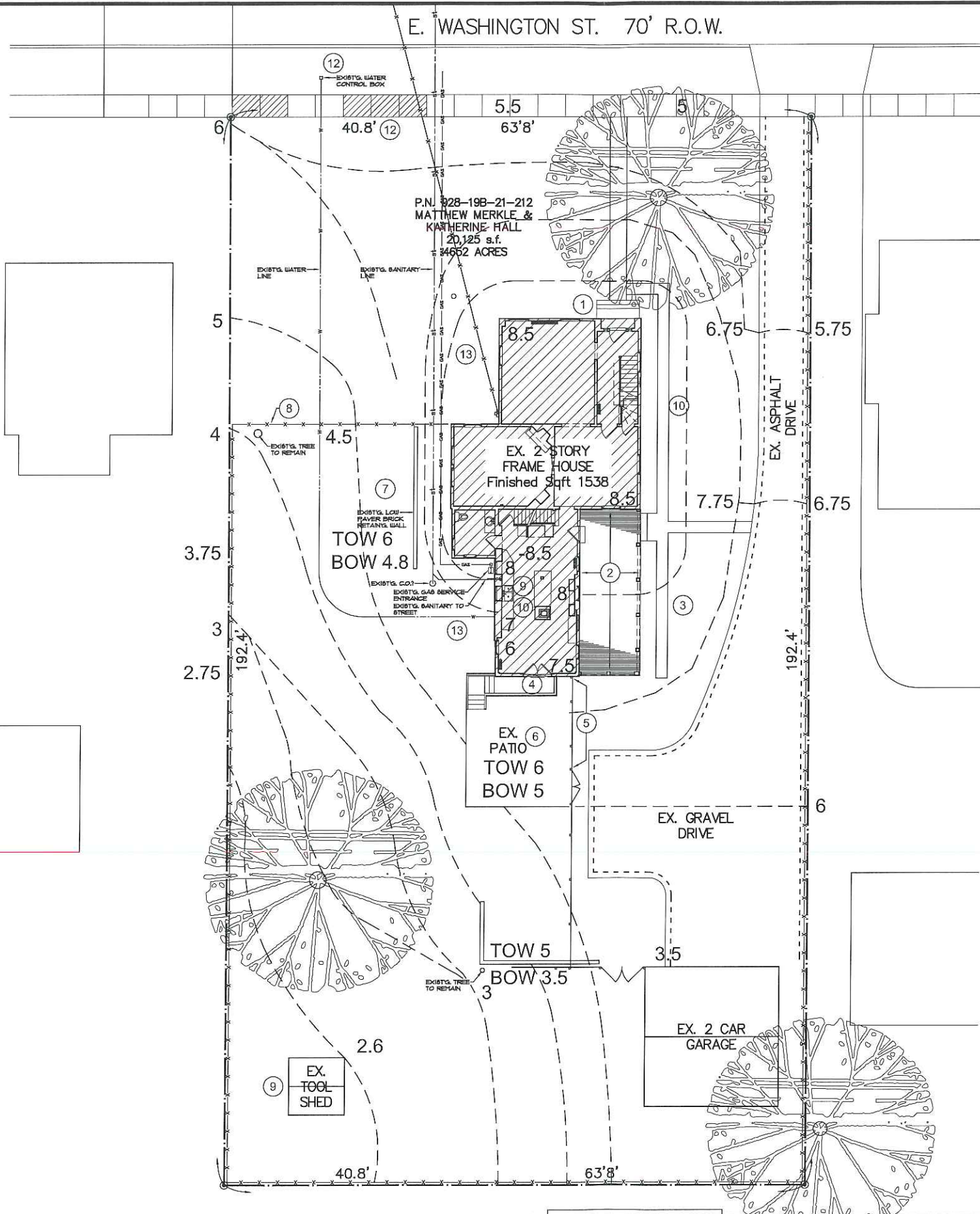
Sincerely,



**Kevin C. Robinette, AIA**

Kevin C. Robinette Architects, LLC  
2091 South Belvoir Blvd.  
South Euclid, OH 44121  
(p) 216.246.0246  
(e) [robin.c.kevin@gmail.com](mailto:robin.c.kevin@gmail.com)

Cc: Matthew Merkle  
Katherine Hall  
Jeff Jardine Riverstone  
Jim Klier Klier Structural Movers



**GENERAL INFORMATION - PHASE 1**

- DOCUMENTS: PHASE 1**
- A-1.1 EXISTING / SELECTIVE DEMOLITION SITE PLAN
  - A-1.2 TEMPORARY SITE DISTURBANCE PLAN
  - A-1.3 SITE PLAN - NEW WORK
  - A-2 FOUNDATION / BASEMENT FLOOR PLAN
  - A-2.1 FOUNDATION PLAN WITH EXISTING FLOOR FRAMING
- EXHIBIT** CITY OF MEDINA - 2016 CONCRETE CURB INSTALLATION PROJECT  
**EXHIBIT** CITY OF MEDINA - 58 METER INSTALLATION SPECS

**CITY OF MEDINA PLANNING AND BUILDING PERMIT APPROVALS**  
 SUBMISSION TO BE MADE FOR PLANNING AND BUILDING PERMIT APPROVALS AS FOLLOWS: 132 NORTH ELMWOOD STREET  
 MEDINA, OHIO 44256  
 WWW.MEDINAOH.ORG

- PLANNING - BOARDS AND COMMISSIONS APPLICATION FOR ZONING APPROVAL - PERMIT APPLICATION  
 CONCEPTUAL APPROVAL  
 JONATHAN MENDEL - 330.722.9023  
 JMENDEL@MEDINAOH.ORG
- BUILDING - BUILDING PERMIT APPLICATION  
 FOUNDATION APPROVAL, WITH UNDERSLAB PLUMBING  
 DAN GLADDISH - 330.722.9030  
 DGLADDISH@MEDINAOH.ORG

**STRUCTURAL MOVING AND FOUNDATION CONTRACTOR**  
 KLER STRUCTURAL MOVERS  
 DIVISION OF KLER CONSTRUCTION  
 18456 PITTS ROAD  
 WELLINGTON, OHIO 44090  
 440.547.2405  
 INFO@KLERSTRUCTURALMOVERS.COM

**SUMMARY OF WORK - PHASE 1**

THE HALLMERKLE RESIDENCE IS AN HISTORIC HOME IN MEDINA THAT HAS A FOUNDATION CONSISTING OF A VERY SOFT RED BRICK OVER STONE. THE FOUNDATION HAS DETERIORATED DUE TO MOISTURE PENETRATION AFFECTING THE POROSITY OF THE BRICK. THE PRIMARY WORK SCOPE IS TO RE-SUPPORT THE STRUCTURAL FRAME AT THE FIRST FLOOR LEVEL. THE FRAME TO THE GREATEST EXTENT POSSIBLE AND PROVIDE FOR A NEW FOUNDATION UNDER THE EXISTING FRAME.  
 IT IS ALSO BEING PROPOSED THAT THE DRIVEWAY, CURRENTLY SHARED WITH THE NEIGHBOR TO THE EAST, WITH A FENCE ON THE PROPERTY LINE BE RELOCATED TO THE WEST SIDE OF THE HOME. THIS WILL REQUIRE A NEW CURB CUT AND SIDEWALK TO BE PROVIDED AND A GRAVEL BASE FOR THE DRIVE TO BE CONSTRUCTED, IN CONJUNCTION WITH UPGRADES TO EXISTING UTILITIES. THERE ARE A NUMBER OF RELATED TASKS REQUIRED TO SUPPORT THIS EFFORT, INCLUDING OBTAINING REQUIRED MUNICIPAL APPROVALS AND INSPECTIONS. THE FOLLOWING OUTLINE ENCOMPASSES THESE COMPONENTS

**RELATED WORK**

1. VERIFY WATER CONTROL VALVE LOCATION AND DEPTH - DEPTH IS TYPICALLY 4'-5" DEEP OLDER PORTIONS OF THE CITY, SUCH AS THIS, DEPTH MAY BE 3'-4". THIS COULD CREATE A CONFLICT AS THE NEW CURB CUT IS PROPOSED OVER THE EXISTING CONTROL VALVE. PIPING WILL HAVE TO BE REPLACED, FROM THE CONTROL VALVE AS A COPPER LINE, EXISTING IS GALVANIZED.
  - A HOSE BIBB WILL BE REQUIRED TO PROVIDE FOR WATER IN ORDER TO IMPLEMENT THE FOUNDATION. A PROPOSED LOCATION IS INDICATED ON SHEET A-1.2
  - IN THE EVENT OF A POTENTIAL FREEZE/ HEAT TRACING? HOW TO POWER? PERHAPS INSTALL WATER LINE AT THIS TIME TO ALLOW FOR PROXIMITY TO HOUSE AND SUBSEQUENT POWER.
2. REMOVE ALL REMAINING PIPING OR DUCTWORK PENETRATING THE FIRST FLOOR FRAMING TO A DEPTH OF 2" BELOW THE EXISTING SILL PLATE/MASONRY
3. REMOVAL OF ASBESTOS CONTAINING MATERIAL AND BOILER PIPING BY:

HATHAWAY ENVIRONMENTAL  
 SHAWN HATHAWAY  
 6885 LIBERTY ROAD  
 SOLON, OHIO 44139  
 216.538.8355

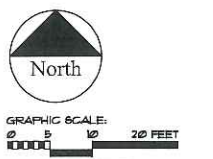
- WATER AND ELECTRICAL REQUIRED
- 4. CURB CUT AND STORM DISCHARGE CURB CORE WITH EXCAVATION AND FILL (BY KLER, PROPOSAL REQUIRED)
- 5. PREPARATION OF STORM DISCHARGE AT SE CORNER OF SITE, APPROXIMATE ELEVATION - 2.5 (ISSUE OF THIS BEING HIGH TO ACCEPT OPTIMAL DEPTH OF FOUNDATION DRAINAGE, APPROXIMATE ELEVATION 1.5) DO WE CREATE A RETAINING POND WITH A DISCHARGE OF .5, CONSIDERING PHASING, PROVIDE FOR AT THIS TIME OR IN SPRING?
- 6. RELOCATING EXISTING ELECTRICAL PANEL TO THE NORTH WEST CORNER OF THE BASEMENT (UPON COMPLETION)? OR PROVIDE FOR UPDATE ELECTRICAL SERVICE AT THIS TIME

**FLOOR PLAN KEY NOTES**

- ① INDICATES KEY NOTE ON THIS DRAWING ONLY. SEE KEY NOTES LIST BELOW.
1. REMOVE EXIST'G. WOOD FRONT STEPS
  2. REMOVE EXIST'G. PORCH IN ITS ENTIRETY
  3. REMOVE EXIST'G. WOOD STEPS WITH PORCH
  4. REMOVE EXIST'G. WOOD DECK AND STAIRS
  5. REMOVE EXIST'G. WOOD FENCE TO GATE
  6. REMOVE EXIST'G. PATIO STONES
  7. REMOVE EXIST'G. RETAINING WALL STONES
  8. REMOVE WOOD FENCE TO PROPERTY LINE
  9. REMOVE EXIST'G. TOOL SHED
  10. EXIST'G. STONE WALKS TO BE RELOCATED BY CONTRACTOR (INCLUDING STEP AT PORCH)
  11. EXIST'G. SIDEWALK STONES AT NEW CURB CUT TO BE SAVED AND STAGED BY CONTRACTOR FOR RE-INSTALLATION
  12. CURB CUT AND SIDEWALK SLAB REMOVAL AND CONCRETE APRON AND WALK REPLACEMENT - REFERENCE CITY OF MEDINA STANDARDS, SEE DETAILS PER SHEET A-1.2. SIDEWALK SLOPE 1/12 MAXIMUM. EXISTING ELEVATION OF WALK WILL DROP 1'-0" WITH SLOPING WALK AT EACH SIDE, 12' TO EAST AND WEST TREE REMOVAL BY CONTRACTOR - ONLY REMOVE TREES WITHIN IMMEDIATE PROXIMITY OF HOME AND AREA OF DISTURBANCE

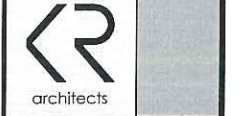
OCT 21 2020

REV.	DATE	DESCRIPTION



Project	MERKLE HALL RESIDENCE ADDITION AND ALTERATIONS
Address	524 EAST WASHINGTON STREET MEDINA, OHIO 44256
Drawing	EXISTING / SELECTIVE DEMOLITION SITE PLAN
Scale	1" = 10'-0"
Date	05.28.2020
Issue for:	REVIEW

Architecture	KEVIN C. ROBINETTE ARCHITECTURE, LLC AIA
Project Management	KEVIN C. ROBINETTE
Owner Representation	2091 South Belvoir Blvd. South Euclid, Ohio 44121 216-246-0246 robin.c.kevin@gmail.com



**PROGRESS PRINT**  
 NOT FOR CONSTRUCTION

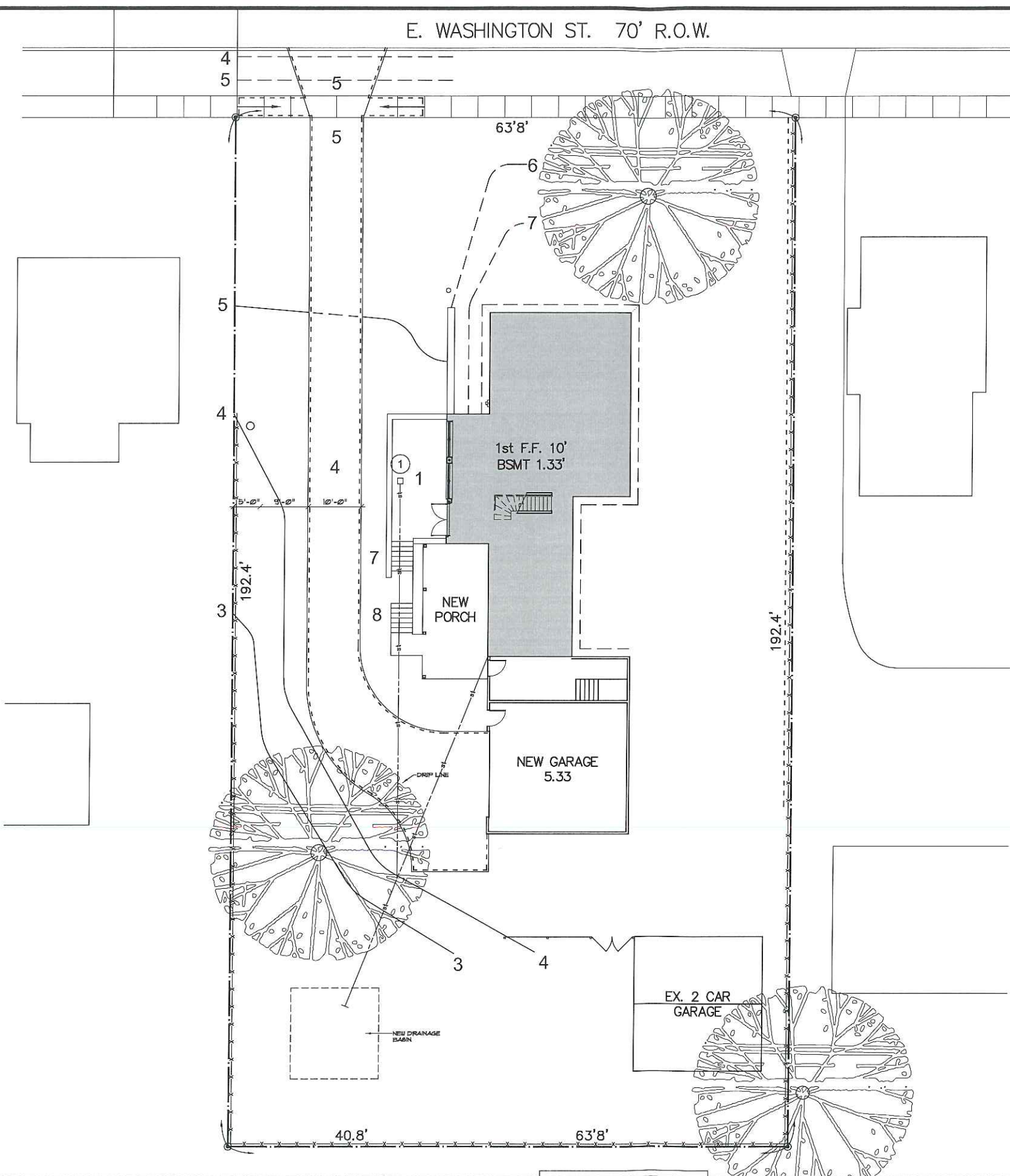
A-1.1



E. WASHINGTON ST. 70' R.O.W.

FLOOR PLAN KEY NOTES

- ① INDICATES KEY NOTE ON THIS DRAWING ONLY. SEE KEY NOTES LIST BELOW.
- 1. NEW CAST IRON YARD DRAIN - PIPE TO NEW DRAINAGE BASIN



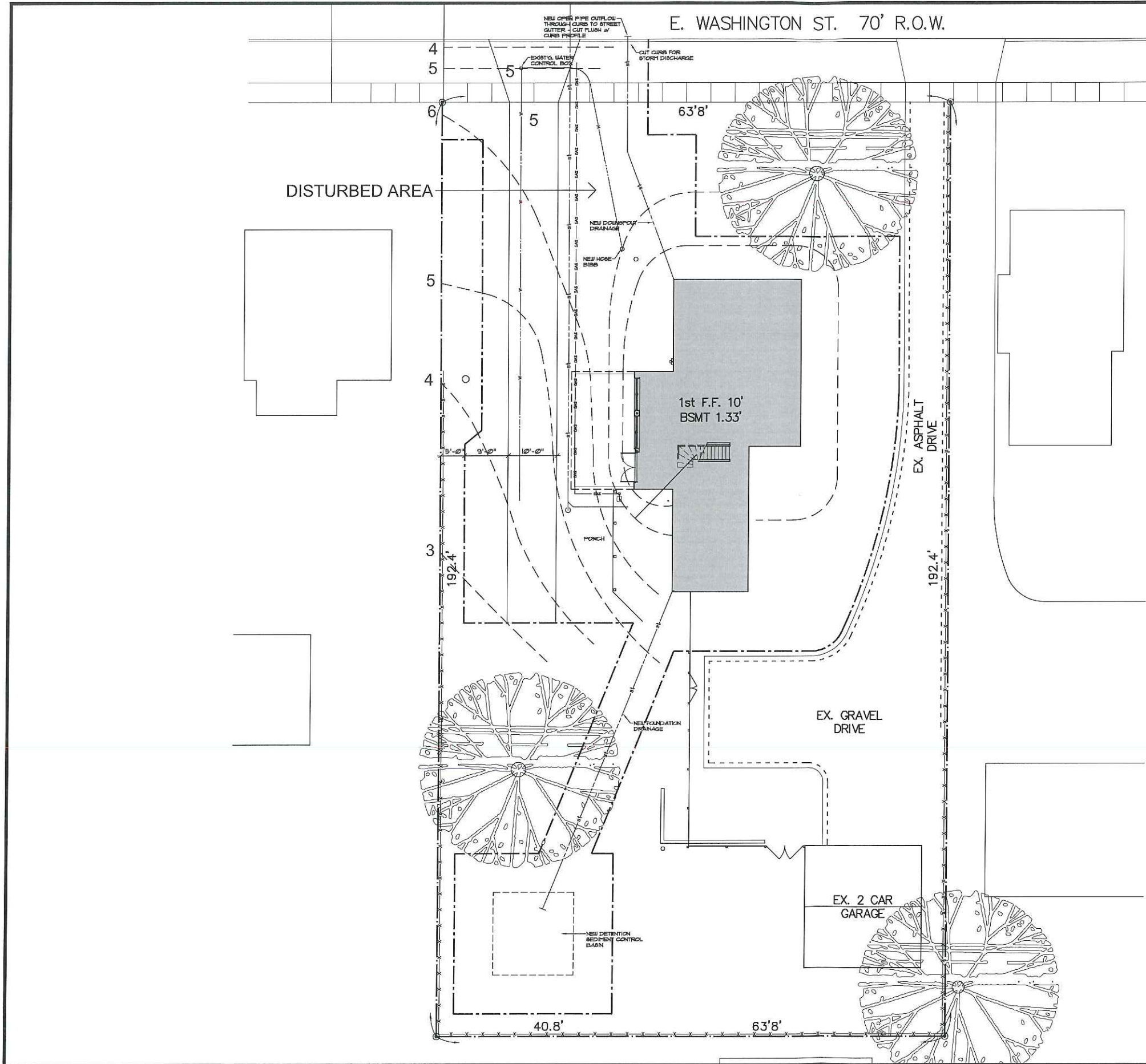
REV.	DATE	DESCRIPTION



GRAPHIC SCALE:  
0 5 10 20 FEET

<p><b>KEVIN C. ROBINETTE ARCHITECTURE, LLC</b> AIA</p> <p>Architecture Project Management Owner Representation</p> <p>2091 South Belvoir Blvd. South Euclid, Ohio 44121 216-246-9246 robin.c.kevin@gmail.com</p>	<p><b>Project:</b> MERKLE HALL RESIDENCE ADDITION AND ALTERATIONS</p> <p><b>Address:</b> 524 EAST WASHINGTON STREET MEDINA, OHIO 44256</p> <p><b>Drawing:</b> SITE PLAN - NEW WORK</p> <p><b>Scale:</b> 1" = 10'-0"</p> <p><b>Date:</b> 05.28.2020</p> <p><b>Issue for:</b> REVIEW</p>
<p>architects</p>	
<p>PROGRESS PRINT NOT FOR CONSTRUCTION</p>	
<p>A-1.3</p>	





**UTILITIES**  
 CURRENTLY UTILITIES, WITH THE EXCEPTION OF POWER, ENTER THE EXISTING BASEMENT AT THE WEST WALL, SOUTH SIDE. PROPOSED UTILITY WILL ENTER THE HOME AT THE WEST WALL, NORTH CORNER, WHICH WILL PROVIDE FOR FUTURE UTILITIES, INCLUDING UPGRADED ELECTRICAL SERVICE

**GAS**  
 EXISTING CONDITION - GAS METER IS LOCATED ON THE WEST WALL, SOUTH SIDE, ENTERING INTO THE BASEMENT PORTION OF THE EXCAVATION. SERVICE HAS BEEN TURNED OFF.  
 PROPOSED CONDITION - GAS PLASTIC PIPING AND CONNECTION TO METER TO BE MAINTAINED AND RELOCATED TO NORTH OF PROPERTY BY KLIER. UPON DEVELOPMENT OF BASEMENT, EXISTING PIPING TO BE RE-IMPLEMENTED WITH EXCAVATION FOR RE-INSTALLATION AT NORTHWEST CORNER BY KLIER, FINAL, INSTALL BY GAS COMPANY.  
 UTILITY CONTACT - COLUMBIA GAS

**ELECTRIC**  
 EXISTING CONDITION - FED OVERHEAD FROM THE WEST SIDE AT THE STREET, POLE ON OPPOSITE SIDE OF STREET. A MAST WITH A DROP AT THE WEST SIDE OF THE HOUSE, ON THE NORTHERN END, INTO THE NORTH CRAWLSPACE. FEEDS AN EXISTING 100 A PANEL ON THE NORTH BASEMENT MASONRY WALL.  
 PROPOSED CONDITION - EXISTING PANEL TO BE DETACHED FROM MASONRY WALL AND SUSPENDED FROM EXISTING FLOOR FRAME BY KLIER.  
 UTILITY CONTACT

**WATER**  
 EXISTING CONDITION - IS LOCATED ON THE WEST WALL, SOUTH SIDE, ENTERING INTO THE BASEMENT PORTION OF THE EXCAVATION. THE EXISTING WATER CURB BOX (CITY RESPONSIBILITY) IS LOCATED IMMEDIATELY UNDER THE PROPOSED DRIVE APRON. OWNER HAS CHOICE OF PIPING NEW LINE UP TO CURB BOX OR RELOCATING. DEPTH TO BE VERIFIED AND CONDITION RELATIVE TO NEW APRON ELEVATION WITH POTENTIAL FREEZE TO BE CONSIDERED.  
 PROPOSED CONDITION - TEMPORARY CONDITION TO PROVIDE FOR HOSE BIB AT SITE TO SUPPORT PHASE I WORK. CONSTRUCTION SERVICE FOR FLAT FEE IN LIEU OF METERING.  
 PERMANENT CONDITION - TO PROVIDE FOR NEW WATER LINE TO NORTHWEST CORNER OF BASEMENT. ONE UNION ALLOWED BY CITY AT SITE, FROM HOSE BIBB THROUGH BASEMENT WALL SLEEVE.  
 UTILITY CONTACT - FRED HIMMELREICH, PE  
 BENDEL WATER FOREMAN  
 CITY OF MEDINA  
 ENGINEERING DEPARTMENT  
 132 N. ELMWOOD AVENUE  
 MEDINA, OHIO 44256  
 (330) 723-3846  
 CITY OF MEDINA WATER  
 330-350-2194

**SANITARY**  
 EXISTING CONDITION - SANITARY DISCHARGE IS LOCATED ON THE WEST WALL, SOUTH SIDE, DISCHARGING FROM THE BASEMENT PORTION OF THE EXCAVATION, TO THE STREET.  
 PROPOSED CONDITION - EXISTING SANITARY PIPING TO BE ABANDONED PER SANITARY SEWER ABANDONMENT PROCEDURE.  
 UTILITY CONTACT - LISA GEMBUS  
 PERMIT TECHNICIAN  
 MEDINA COUNTY SANITARY ENGINEERS  
 791 WEST SMITH ROAD  
 MEDINA, OHIO 44256  
 PHONE: 330-723-9599

**STORM**  
 EXISTING CONDITION - THERE ARE NO STORM SEWERS FOR THIS PORTION OF MEDINA. STORM WATER DISCHARGES AT GRADE, FOLLOWING EXISTING, NATURAL DIRECTION OF FLOW. IT IS RECOMMENDED BY THE CITY THAT THIS METHODOLOGY BE MAINTAINED THROUGH MEANS TO ASSURE THAT STORM WATER IS PROPERLY MANAGED THROUGH TREATMENT FOR EROSION/SEDIMENT CONTROL AND DISPERSION, AVOIDING A CONCENTRATION WITH NO DETRIMENT TO ADJACING PROPERTIES.  
 PROPOSED CONDITION - TEMPORARY CONDITIONS TO BE ESTABLISHED IN ORDER TO CONTAIN SEDIMENT RUN-OFF WITHIN A DEFINED AREA OF DISTURBANCE. THIS AREA WILL PROVIDE FOR CONTAINMENT PROVISIONS AS DETAILED, REFER TO DRAWING A-1.2. THESE CONDITIONS WILL BE ESTABLISHED PRIOR TO THE EXCAVATION AND MAINTAINED THROUGHOUT THE PHASE I. IT IS ANTICIPATED THAT THE MAINTENANCE OF THESE CONDITIONS WILL BE REQUIRED UNTIL THE SPRING WHEN THE LANDSCAPING CAN BE REPLACED.  
 PERMANENT CONDITIONS WILL BE ESTABLISHED THROUGH TWO STRATEGIES:  
 • A CORE CUT WITH PIPING THROUGH THE EXISTING CURB AT THE STREET TO COLLECT DOWNSPOUT DRAINAGE FROM THE NORTH SIDE OF THE HOUSE. THE CITY OF MEDINA HAS A PRECEDENT FOR THIS AT 514 EAST WASHINGTON.  
 • STORM DISCHARGE WILL BE FACILITATED AT THE NATURAL FLOW FOR THE SITE TO THE SW CORNER, THE LOWEST PORTION OF THE SITE. A RETENTION BASIN FOR SEDIMENT CONTROL PRIOR TO DISCHARGE FOR THE NATURAL FLOW TO BE DEVELOPED.  
 UTILITY CONTACT - FRED HIMMELREICH, PE  
 CITY OF MEDINA  
 ENGINEERING DEPARTMENT  
 132 N. ELMWOOD AVENUE  
 MEDINA, OHIO 44256  
 (330) 723-3846

**AUTHORITY HAVING JURISDICTION PERMITTING OR REGULATION**  
 • SPECIFICATIONS FOR RESIDENTIAL DRIVE APRONS.  
 • CITY OF MEDINA, GRADING AND EROSION CONTROL PERMIT AND PERMIT APPLICATION.  
 • MEDINA COUNTY, SANITARY SEWER ABANDONMENT PROCEDURE.  
 • SCHEDULING FOR INSPECTIONS AND FEES (TO BE DEVELOPED UNDER SEPARATE COVER)

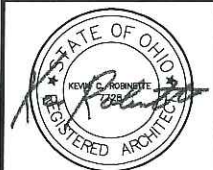
REV.	DATE	DESCRIPTION



GRAPHIC SCALE:  
 0 5 10 20 FEET

Project	MERKLE HALL RESIDENCE ADDITION AND ALTERATIONS
Address	524 EAST WASHINGTON STREET MEDINA, OHIO 44256
Drawing	TEMPORARY SITE DISTURBANCE PLAN
Scale	1" = 10'-0"
Date	09.30.2020
Issue for	REVIEW

KEVIN C. ROBINETTE ARCHITECTURE, LLC  
 Architecture  
 Project Management  
 Owner Representation  
 2091 South Belvoir Blvd.  
 South Euclid, Ohio 44121  
 216-246-0246  
 robin.c.kevin@gmail.com



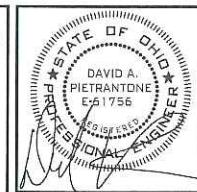
KEVIN C. ROBINETTE LICENSE #7728  
 EXPIRATION DATE 12/31/2021

PROGRESS PRINT  
 NOT FOR  
 CONSTRUCTION

A-1.2



SURVEY, BOUNDARY, TOPOGRAPHY AND UTILITY INFORMATION WAS PROVIDED TO THE RIVERSTONE COMPANY. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING INFORMATION OR INCOMPLETE SURVEY OR RECORD INFORMATION.



**RIVERSTONE**  
 LAND SURVEYING - ENGINEERING - DESIGN  
 3800 LAKESIDE AVENUE - SUITE 100  
 CLEVELAND, OHIO - 44114  
 PHONE: (216) 491-2000 FAX: (216) 491-9640  
 WWW.RIVERSTONEDESIGN.COM

**ABBREVIATED STORM WATER POLLUTION PREVENTION PLAN (SWPPP)**

**SITE DATA:** THE PROJECT IS LOCATED AT 524 EAST WASHINGTON ROAD IN THE CITY OF MEDINA, OHIO. THE PARCEL IS APPROXIMATELY 0.33 ACRES. DURING CONSTRUCTION APPROXIMATELY 0.33 ACRES WILL BE DISTURBED. THIS SITE IS CURRENTLY DEVELOPED WITH A SINGLE FAMILY HOME WITH A DRIVEWAY AND DETACHED GARAGE. CONSTRUCTION ACTIVITIES INCLUDE RAISING THE EXISTING WITH A NEW BASEMENT, A ADDITION TO THE HOUSE WHICH INCLUDES A NEW ATTACHED GARAGE. THE EXISTING DRIVEWAY WILL BE REMOVED AND A NEW DRIVEWAY WILL BE INSTALLED ON THE OTHER SIDE OF THE PARCEL. THE AREA WHERE THE EXISTING DRIVEWAY IS TO BE REMOVED WILL BE GRADED AND SEEDED. THERE ARE NO STORM SEWERS IN THE IMMEDIATE AREA. DOWNSPOUTS WILL BE DISCHARGED VIA PIPE TO THE STREET.

**SOILS:** THE NATIONAL RESOURCE CONSERVATION SERVICE WEB SOIL SURVEY OF MEDINA COUNTY IDENTIFIES THE SOILS ON SITE AS ELLSWORTH-URBAN COMPLEX (EuB) WHICH ARE CLASSIFIED AS A HYDROLOGICAL GROUP D SOIL.

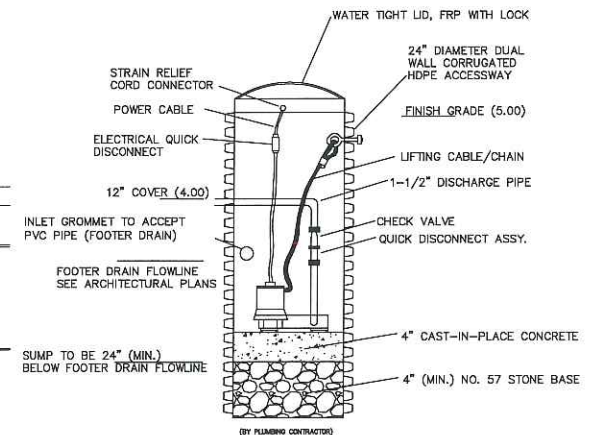
**CONSTRUCTION:**  
 START: FALL 2020 - COMPLETION: SUMMER 2021

**SWPPP PREPARED BY:**  
 THE RIVERSTONE COMPANY  
 DAVID PIETRANTONE P.E.  
 3800 LAKESIDE AVENUE, SUITE 100  
 CLEVELAND, OHIO 44114  
 PHONE: (216) 491-2000  
 DPIETRANTONE@RIVERSTONEDESIGN.COM

**PREPARED FOR:**  
 KEVIN C. ROBINETTE ARCHITECTURE, LLC  
 2091 SOUTH BELVOIR BLVD.  
 SOUTH EUCLID, OHIO 44121  
 PHONE: (216) 246-0246  
 ROBIN.C.KEVIN@GMAIL.COM

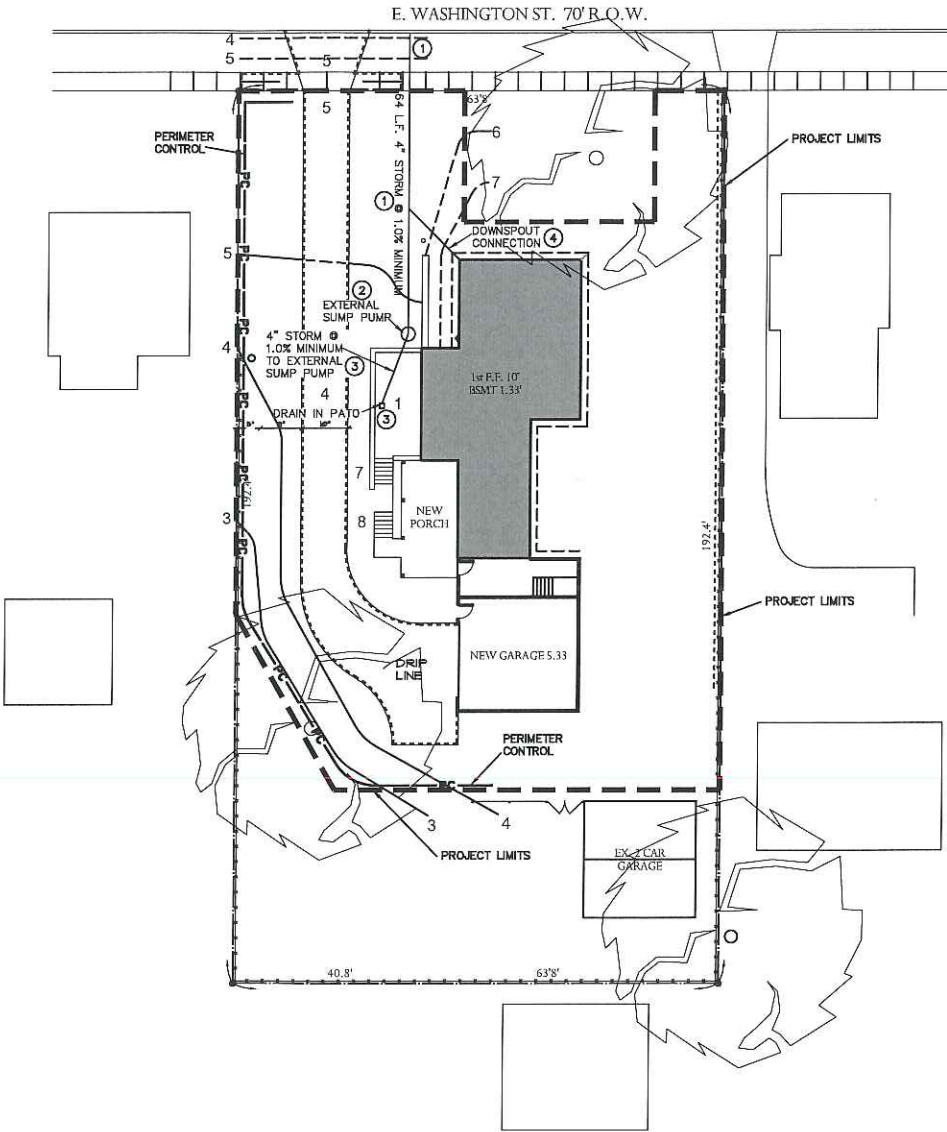
**OWNER:**  
 KATHERINE E HALL & MATTHEW C MERKLE  
 524 E. WASHINGTON STREET  
 MEDINA, OHIO 44256

**SWPPP LEGEND**  
 --- PC --- PERIMETER CONTROL; SILT FENCE OR COMPOST FILLED FILTER SOCK  
 - - - - - CONSTRUCTION LIMITS



**EXTERIOR FOUNDATION DRAIN SUMP PUMP**  
 N.T.S.

- DRAINAGE NOTES**
- 4" STORM SEWER TO DISCHARGE ABOVE AND BEHIND THE BACK OF CURB OF EAST WASHINGTON STREET, PER CITY OF MEDINA ENGINEERING DEPARTMENT. CONTRACTOR MAY REFERENCE 514 EAST WASHINGTON ROAD.
  - EXTERIOR SUMP PUMP NECESSARY FOR PATIO DRAIN AND FOUNDATION DRAINS. PUMP SHALL DISCHARGE TO GRAVITY 4" STORM SEWER THAT DISCHARGES TO EAST WASHINGTON ROAD.
  - PATIO DRAIN SEE ARCHITECTURAL PLAN FOR DETAILS AND PLACEMENT. PATIO DRAIN SHALL CONNECT TO EXTERIOR SUMP PUMP WITH 4" STORM SEWER AT A MINIMUM SLOPE OF 1.0%
  - DOWNSPOUT CONNECTION TO BE TIED INTO THE PROPOSED 4" STORM SEWER.

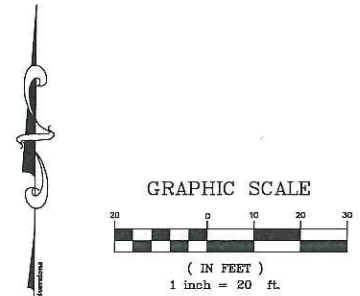


AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME FOR SEEDING
ANY DISTURBED AREA WITHIN 50' OF A STREAM AND NOT AT FINAL GRADE	WITHIN 2 DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR 14 DAYS OR MORE
DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN 1 YEAR AND NOT WITHIN 50' OF A STREAM	WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	PRIOR TO THE ONSET OF WINTER

TEMPORARY SEEDING MIXTURE			
SEEDING DATES	SPECIES	LB./1,000 sq.ft.	per Acre
MARCH 1 TO AUGUST 15	OATS	3	4 BUSHEL
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
AUGUST 15 TO NOVEMBER 1	PERENNIAL RYEGRASS	1	40 LB
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
NOVEMBER 1 TO SPRING SEEDING	RYE	3	2 BUSHEL
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
NOVEMBER 1 TO SPRING SEEDING	WHEAT	1	2 BUSHEL
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
NOVEMBER 1 TO SPRING SEEDING	PERENNIAL RYEGRASS	1	40 LB
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME FOR SEEDING
ANY AREAS THAT WILL BE DORMANT FOR 1 YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50' OF A STREAM AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA

PERMANENT SEEDING MIXTURE			
SEEDING DATES	SPECIES	LB./1,000 sq.ft.	per Acre
MARCH 15 TO OCTOBER 1	TALL FESCUE	1	40-50 LBS
	TURF-TYPE (DWARF) FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
AUGUST 15 TO NOVEMBER 1	PERENNIAL RYEGRASS	1	40 LB
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
NOVEMBER 1 TO SPRING SEEDING	RYE	3	2 BUSHEL
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
NOVEMBER 1 TO SPRING SEEDING	WHEAT	1	2 BUSHEL
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB
NOVEMBER 1 TO SPRING SEEDING	PERENNIAL RYEGRASS	1	40 LB
	TALL FESCUE	1	40 LB
	ANNUAL RYEGRASS	1	40 LB



2020-398

PLAN REVISIONS:

PAGE REVISIONS:

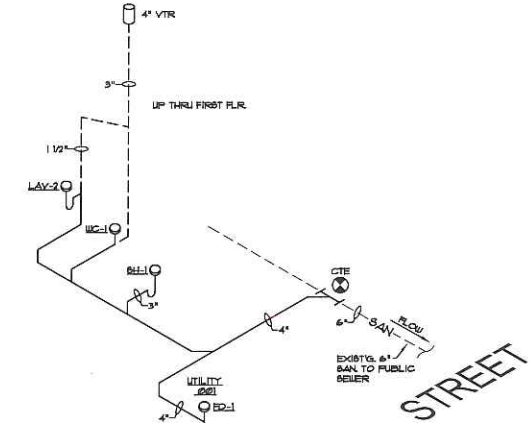
ISSUED FOR:  
 FOR PERMIT  
 10/16/2020  
 NOT FOR CONSTRUCTION

524 E. WASHINGTON STREET  
 SWPPP  
 MEDINA, OHIO  
 ABBREVIATED SWPPP / DRAINAGE PLAN

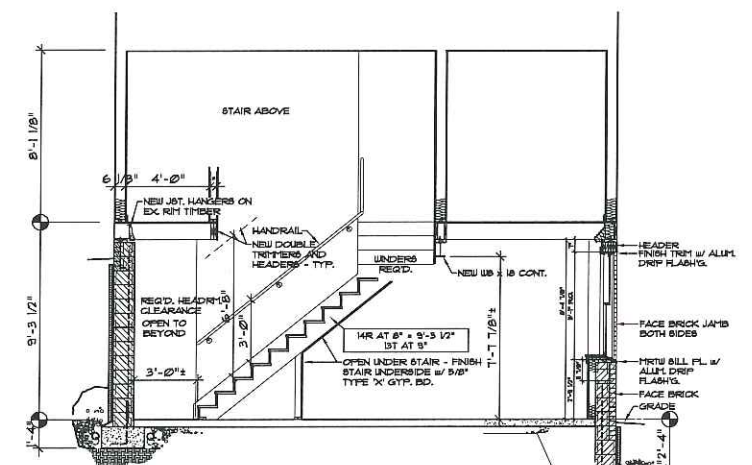


**C1.01**

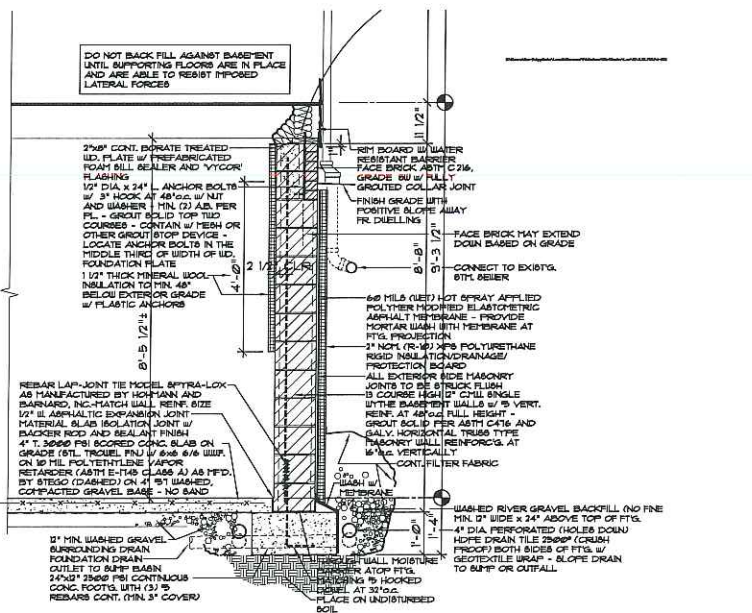




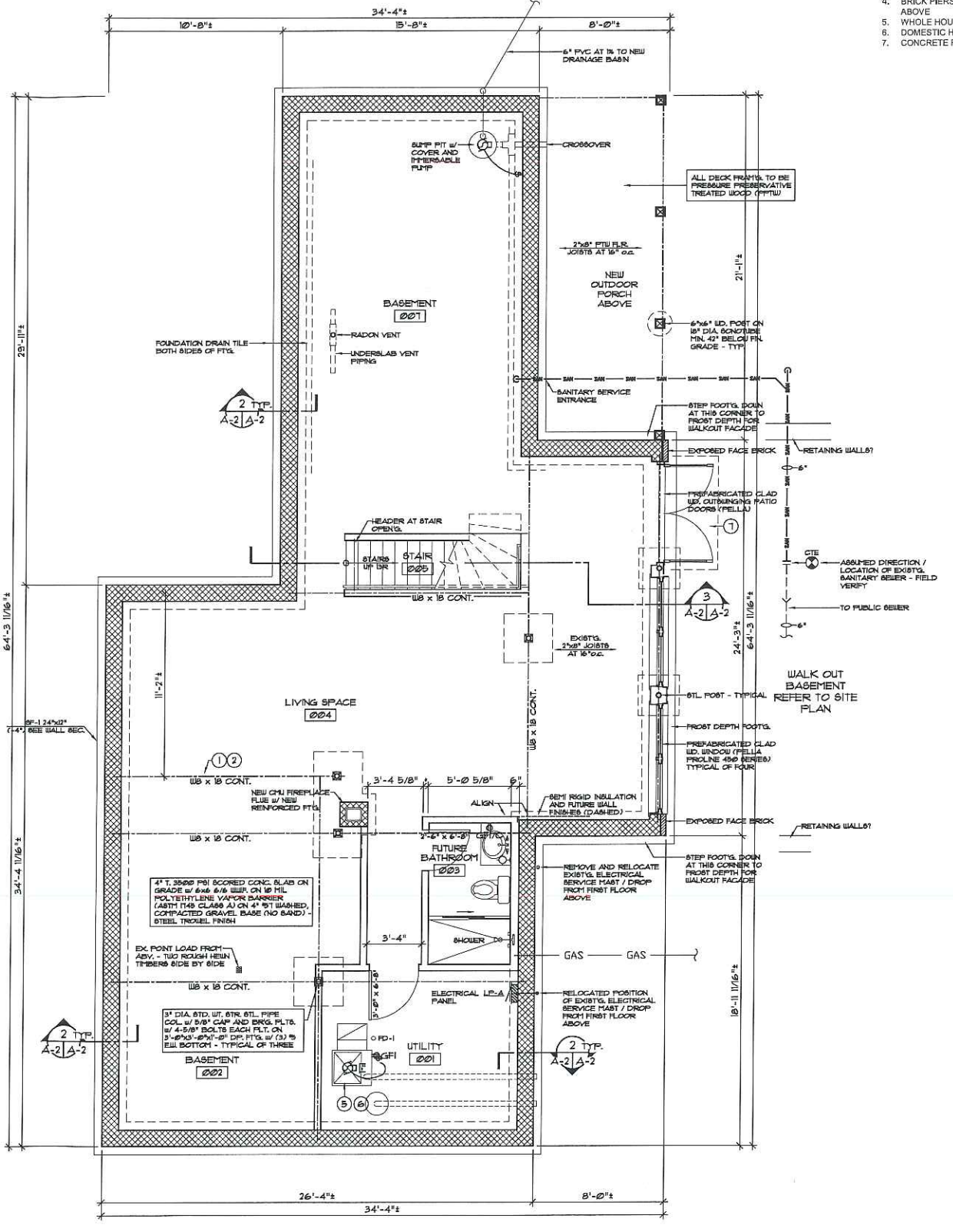
**BASEMENT SANITARY PIPING DIAGRAM**  
NOT TO SCALE  
NOTE:  
1. ALL PIPING BELOW FLOOR TO BE SCHEDULE 40 PVC. SLOPE TO BE MINIMUM 1/8\"/>



**STAIR SECTION**  
SCALE: 1/4\"/>



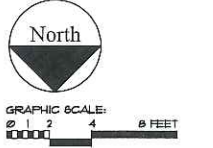
**NEW BASEMENT TYPICAL WALL SECTION**  
SCALE: 1/2\"/>



**FOUNDATION / BASEMENT FLOOR PLAN**  
SCALE: 1/4\"/>

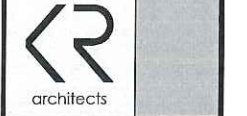
- FLOOR PLAN KEY NOTES**
- INDICATES KEY NOTE ON THIS DRAWING ONLY. SEE KEY NOTES LIST BELOW.
  - EXISTING CUT TIMBER BEAM SAGS - REPLACE
  - BEAM DEPTH ABOUT 10"
  - 6 1/2\"/>
  - BRICK PIERS BELOW WALL INTERSECTIONS ABOVE
  - WHOLE HOUSE VENTILATION SYSTEM
  - DOMESTIC HOT WATER HEATER
  - CONCRETE FROST SLAB

REV.	DATE	DESCRIPTION



Project	MERKLE HALL RESIDENCE ADDITION AND ALTERATIONS
Address	524 EAST WASHINGTON STREET MEDINA, OHIO 44256
Drawing	FOUNDATION / BASEMENT FLOOR PLAN
Scale:	1" = 4'-0"
Date:	05.28.2020
Issue for:	REVIEW

Architecture	KEVIN C. ROBINETTE ARCHITECTURE, LLC AIA
Project Management	
Owner Representation	
	2091 South Belvoir Blvd. South Euclid, Ohio 44121 216-246-0246 robin.c.kevin@gmail.com

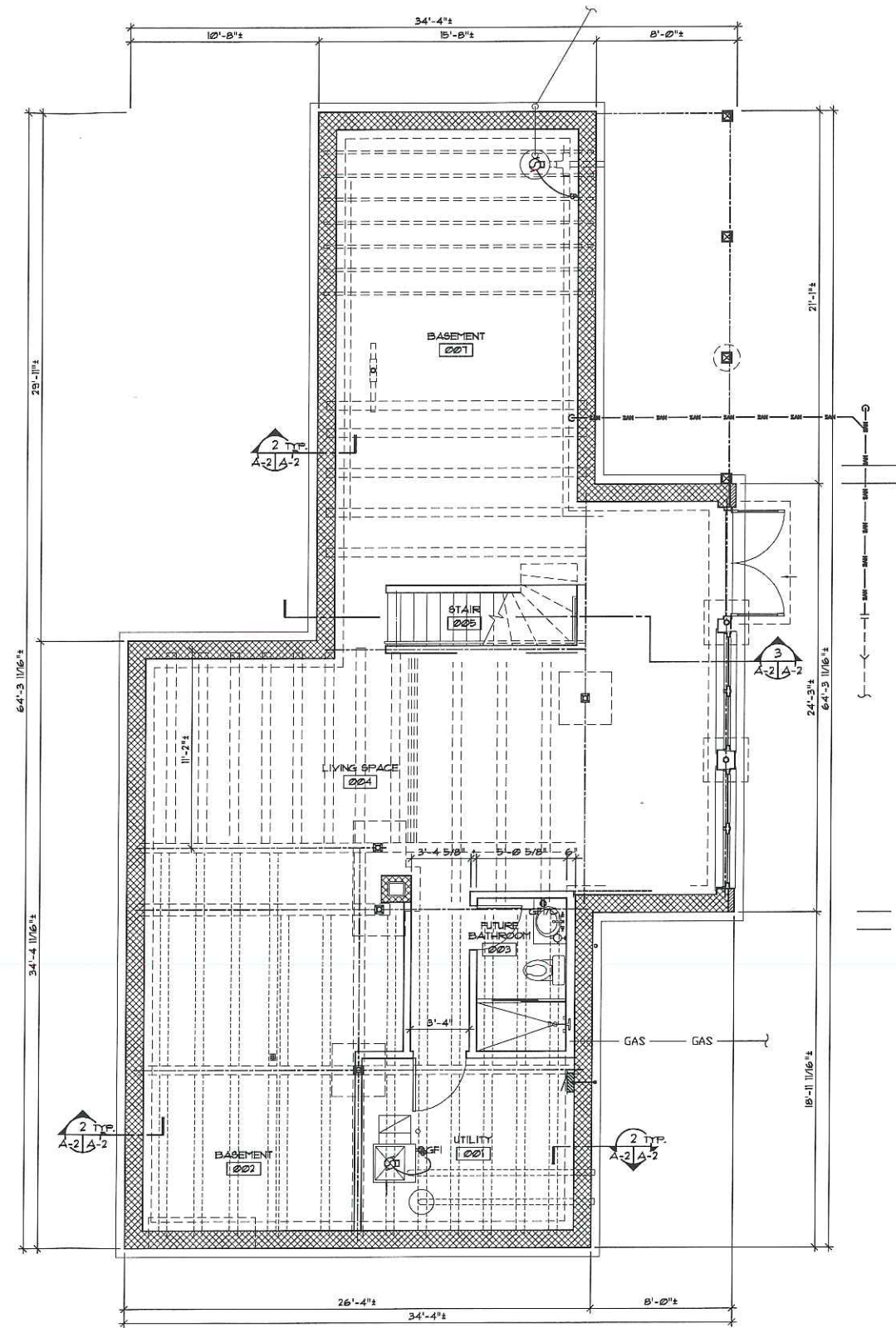


KEVIN C. ROBINETTE, LICENSE #7728  
EXPIRATION DATE 12/31/2021

**A-2**

**PROGRESS PRINT**  
NOT FOR CONSTRUCTION

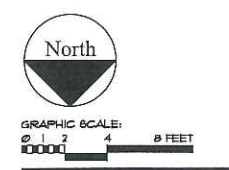




FOUNDATION /  
BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"

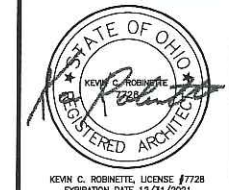
PROGRESS PRINT  
NOT FOR  
CONSTRUCTION

REV.	DATE	DESCRIPTION



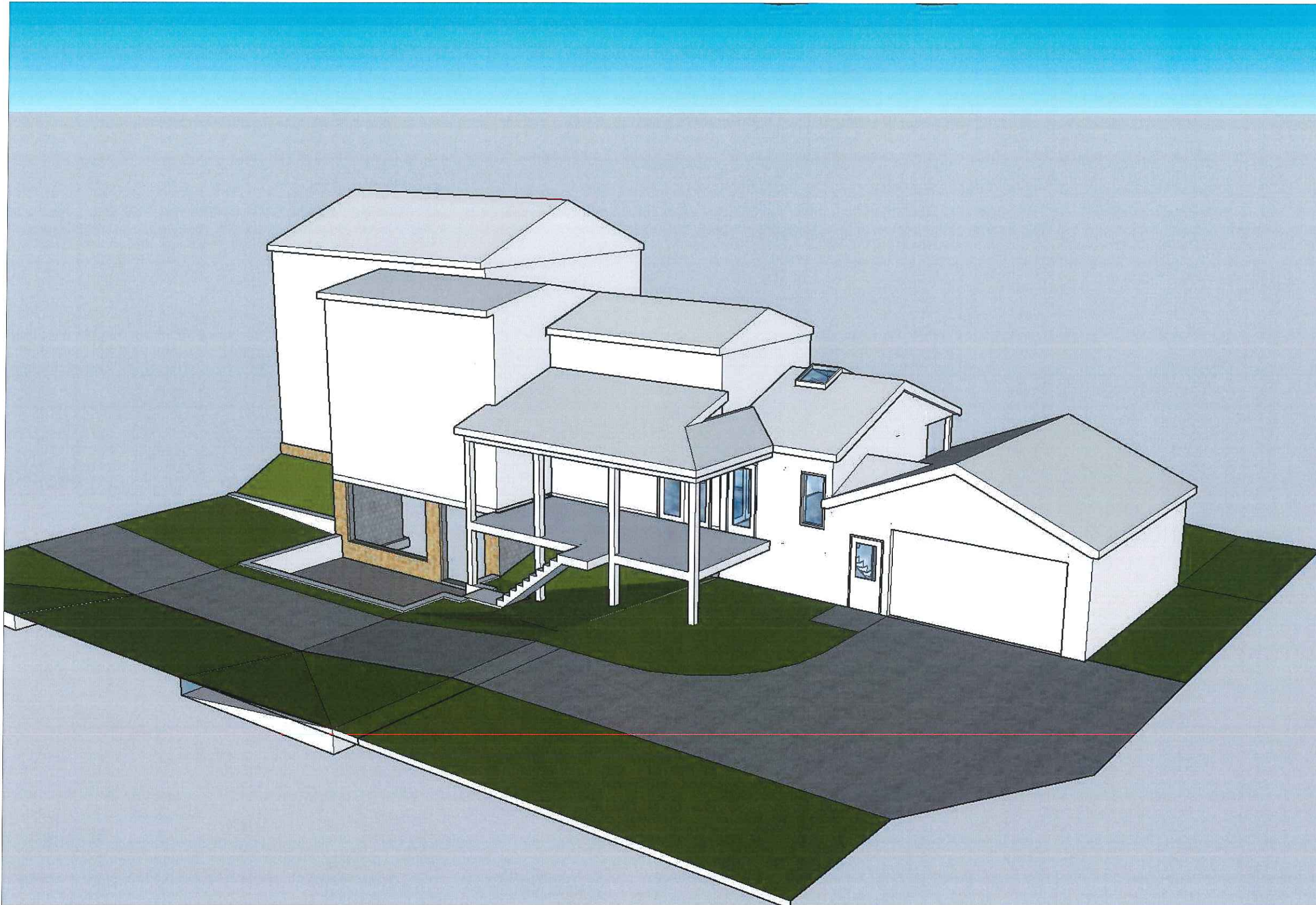
Project	MERKLE HALL RESIDENCE ADDITION AND ALTERATIONS
Address	524 EAST WASHINGTON STREET MEDINA, OHIO 44256
Drawing	FOUNDATION PLAN W/ EX. FLR. FRAMING
Scale:	1" = 4'-0"
Date:	09.28.2020
Issue for:	REVIEW

Architecture	KEVIN C. ROBINETTE ARCHITECTURE, LLC AIA
Project Management	
Owner Representation	
South Euclid, Ohio 44121	
216-246-0246	
	robh.c.kevin@gmail.com



KEVIN C. ROBINETTE LICENSE #7728  
EXPIRATION DATE 12/31/2021  
**A-2.1**





**View from Southwest**

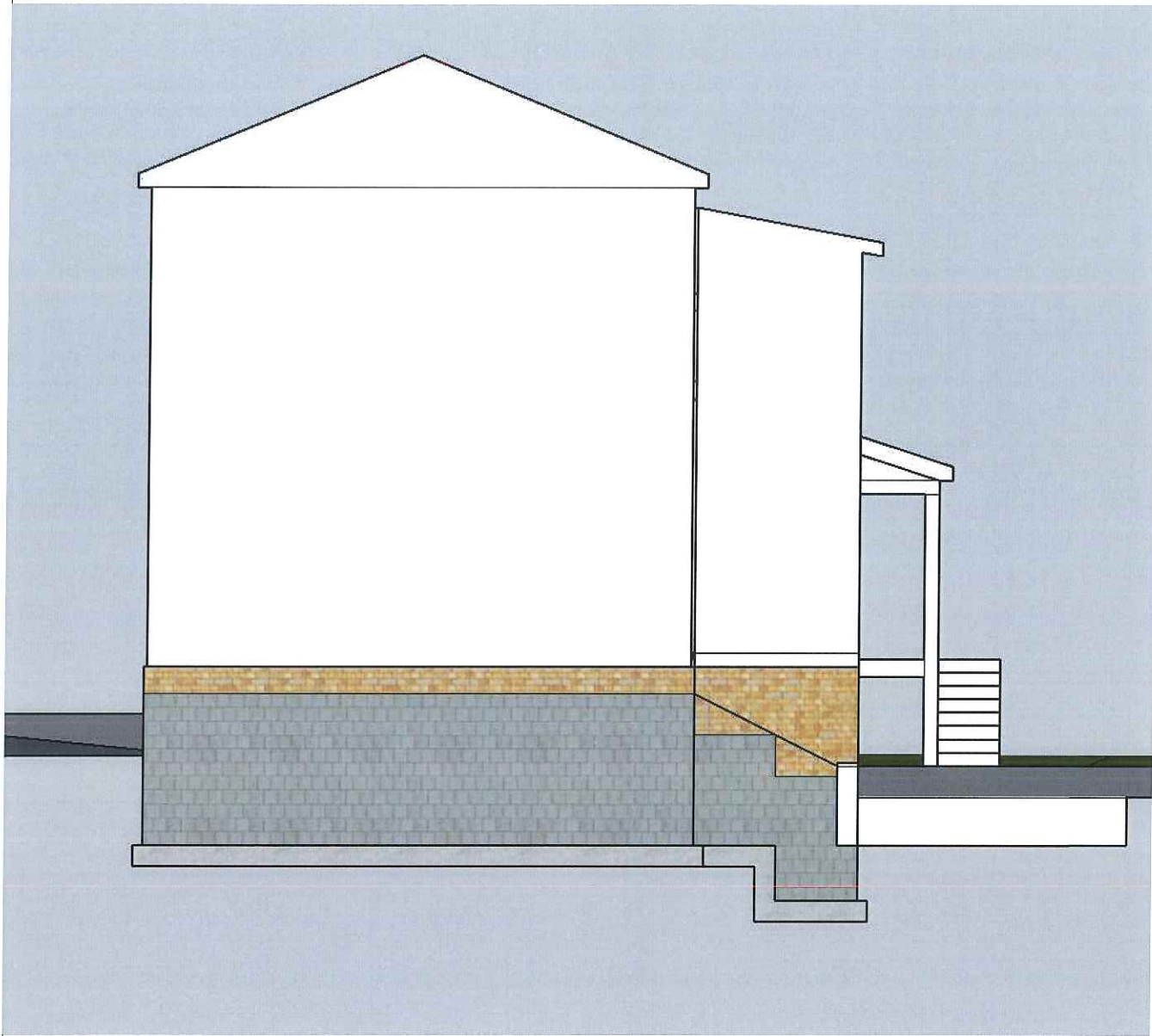


**KEVIN C ROBINETTE ARCHITECT, LLC**

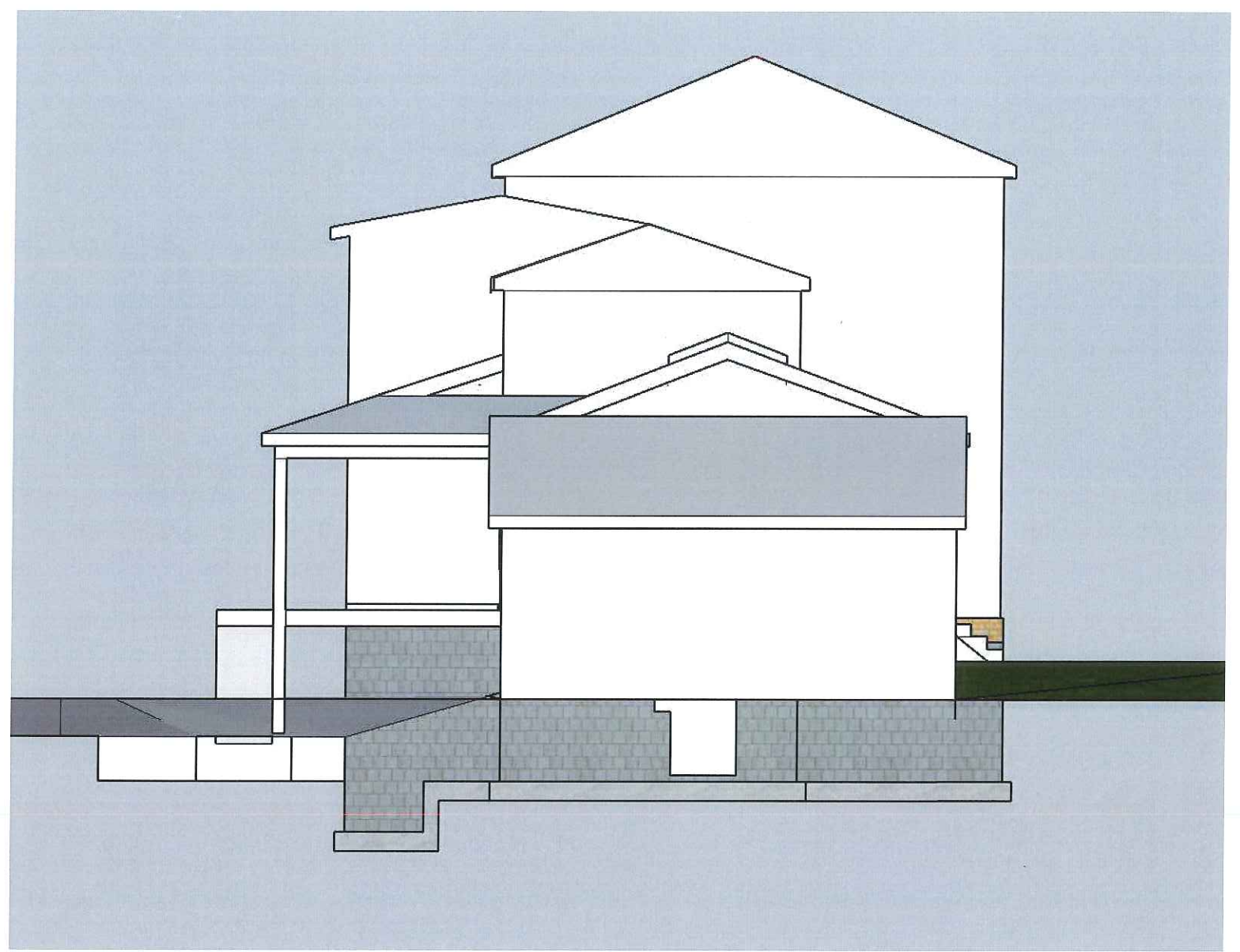
2091 South Belvoir Blvd.  
South Euclid, Ohio 44121  
216.246.0246  
robin.c.kevin@gmail.com

**MERKLE HALL RESIDENCE**



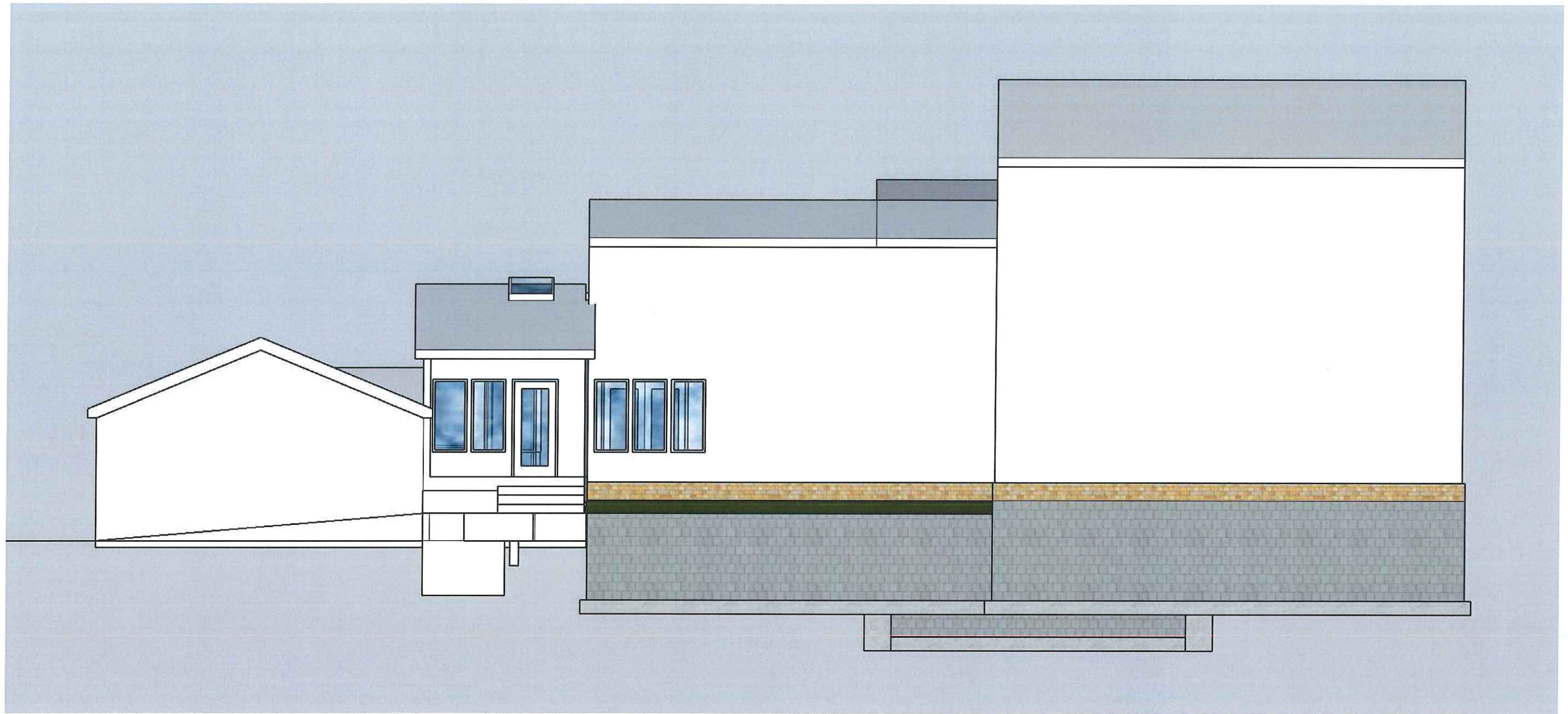


North Elevation - 1/8" = 1'



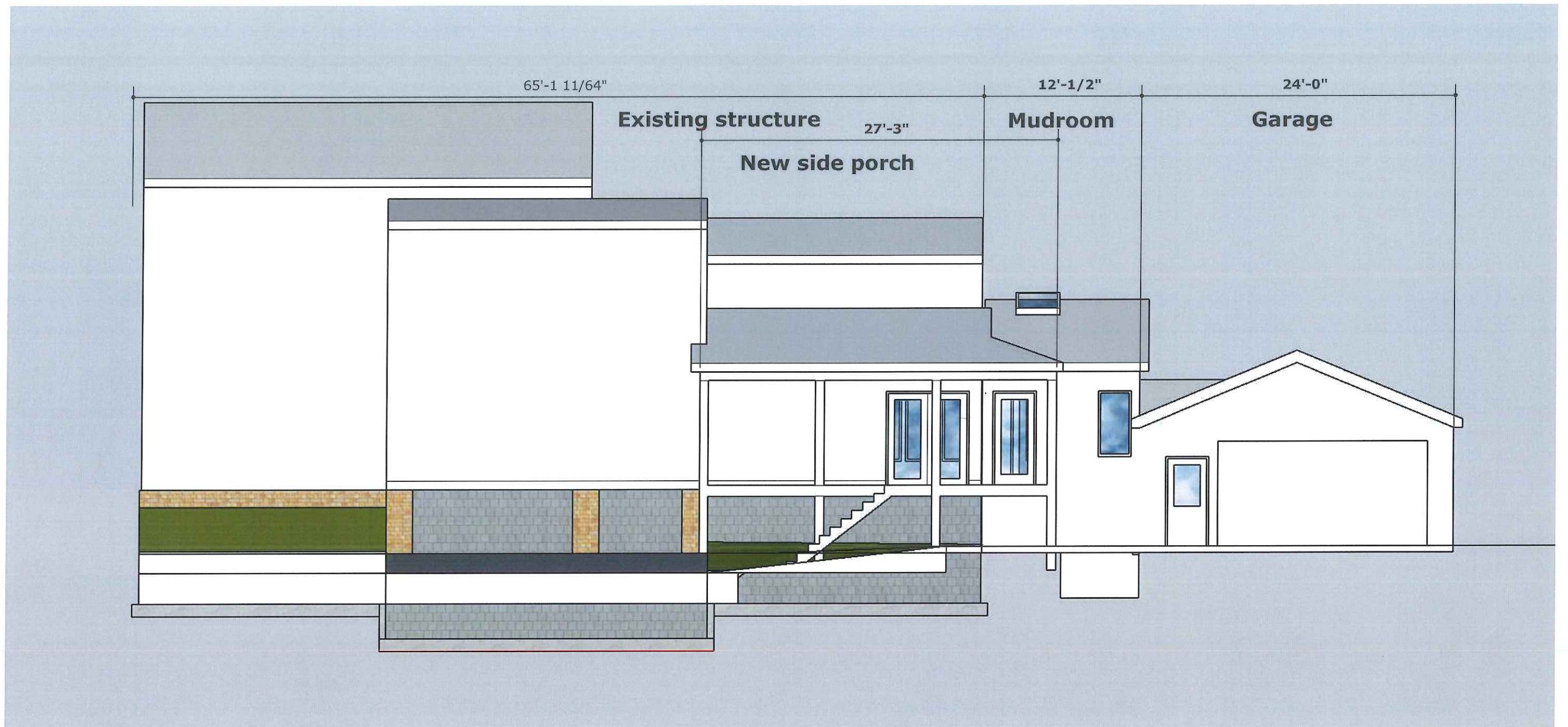
South Elevation - 1/8" = 1'





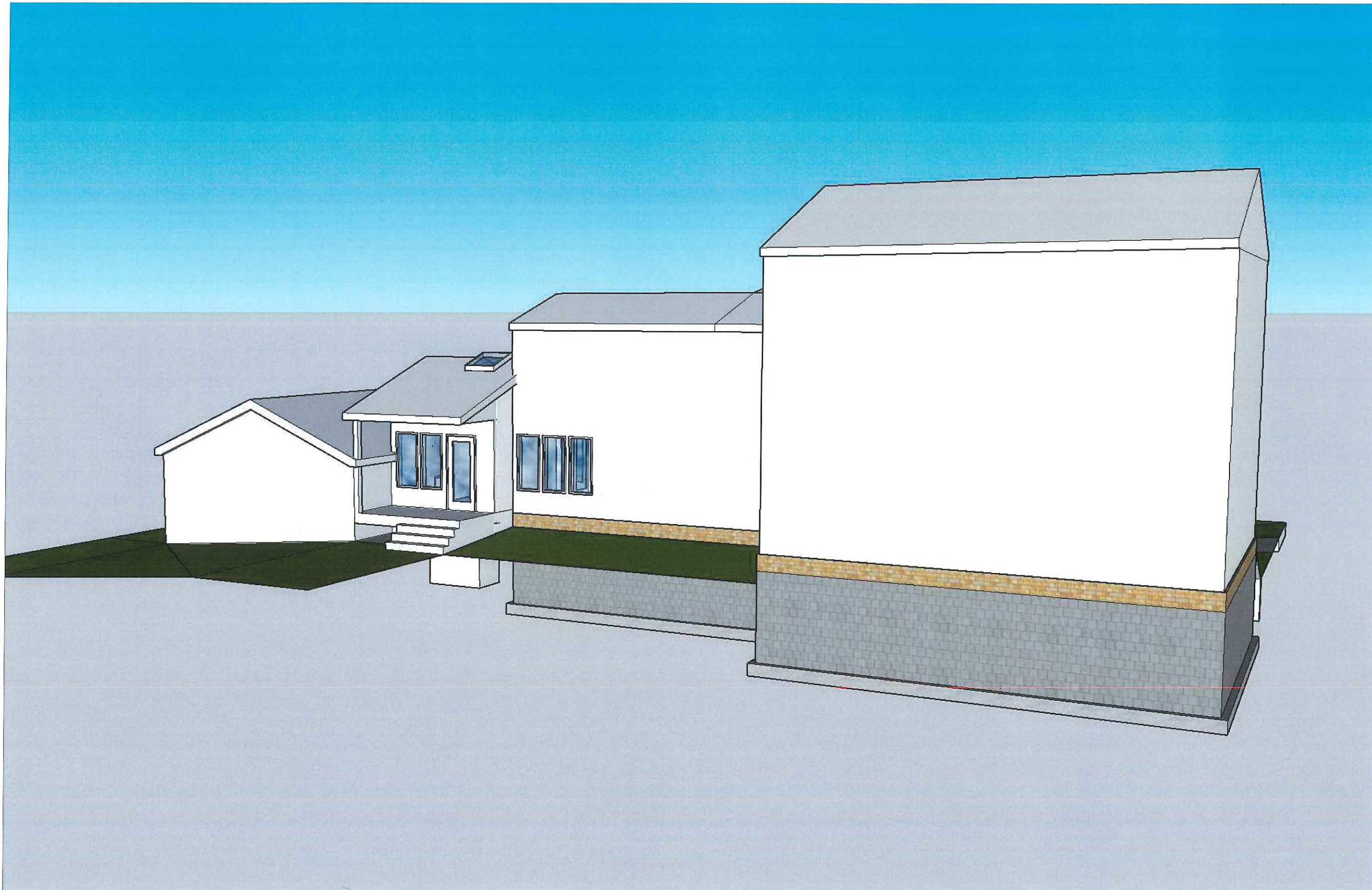
East Elevation - 18" = 1'





West Elevation - 1/8" = 1'





**View from Northeast**