

MEETING DATE: 11-12-20

PLANNING COMMISSION

**Case No. P20-17
1061 North Court St.**



CITY of MEDINA

Planning Commission

November 12, 2020 Meeting

Case No: P20-17

Address: 1061 N. Court Street

Applicant: Matt Yanda, GPD Group representing Taco Bell of America, LLC

Subject: Site Plan Review & Conditional Zoning Certificate – site reconstruction for replacement Taco Bell with drive-through

Zoning: C-3 General Commercial

Submitted by: Jonathan Mendel, Community Development Director

Site Location:

The property is located on the west side of North Court Street and is adjacent to C-3 zoning on all sides.

Project Introduction:

The applicant proposes reconstructing the current site for a replacement Taco Bell drive-through restaurant with a 2,330 sqft building and accessory parking areas and circulation areas.

Please find attached to this report:

1. Site improvement and building elevation plans received October 22, 2020
2. Aerial photograph

District Regulations – Section 1137:

A restaurant is a permitted use, but a drive-through facility is a conditionally permitted use. Since this is a full scale change to the capacity and extent of the drive-through facility, the Conditional Zoning Certificate review and approval is required for this project.

Public Hearing: The Zoning Code requires the Planning Commission to conduct a Public Hearing for a proposed Conditional Use. The legal notices have been issued to permit the Public Hearing at the November 12, 2020 meeting. Based on the review of the case and the public hearing the Planning Commission may impose such additional conditions and safeguards deemed necessary for the general welfare, for the protection of

individual property rights and for the insuring that the intent and objectives of this Zoning Ordinance will be observed.

Section 1153.03(b) Conditional Use General Standards:

The Planning Commission shall review the particular facts and circumstances of each proposed use in terms of the following standards:

- (1) Will be harmonious with and in accordance with the general objectives or with any specific objectives of the Land Use and Thoroughfare Plan of current adoption;*
- (2) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;*
- (3) Will not be hazardous or disturbing to existing or future neighboring uses;*
- (4) Will not be detrimental to property in the immediate vicinity or to the community as a whole;*
- (5) Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection drainage structures, refuse disposal and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide such service adequately;*
- (6) Will be in compliance with State, County and City regulations;*
- (7) Will have vehicular approaches to the property which shall be so designed as not to create an interference with traffic or surrounding public streets or roads.*

Staff Comment:

The proposed drive-through facility complies with the applicable drive-through requirements of Section 1155.10 of the Planning and Zoning Code. Although, this the proposed drive-through is larger than the existing drive-through facility, the subject property is over sized and the proposed site plan design adequately accommodates the drive-through's likely higher volume within the subject property.

Site Plan and Improvement Plan Review:

Applicable Design Review Guidelines – Section 1109.04(c)

- 1. The height, width and general proportions of the structure shall complement adjacent buildings so that an overall harmonious appearance is created and maintained.*
- 3. Architectural details and ornamentation shall be meaningful to the overall design and appropriate for the size and scale of proposed structures, and harmonious with other architectural details and ornamentation on adjacent structures.*
- 7. Materials shall be appropriate for the structure and the use therein. Materials shall be weather-resistant. The materials shall be compatible with and not in stark contrast to the materials used on adjacent structures.*
- 8. Colors and textures shall be appropriate for the size and scale of the proposed structure and shall be harmonious with adjacent structures. Building colors shall consist of earth-tones. Bright, chromatic, colors are discouraged.*

Reviewing the proposed building in relation to the above guidelines, the proposed building is consistent with the guidelines and will be harmonious to the surrounding businesses.

Parking and Circulation.

In Section 1145.04 restaurants require 1 parking space for each 2 seats. The proposal requires 27 parking spaces and the applicant has proposed 34 spaces. This exceeds the following maximum parking space code section:

1145.04(e) Maximum Number of Parking Spaces. In order to prevent excessive lot coverage, the artificial increase in air temperature, and surface water run-off, no minimum off-street parking space requirement in Section 1145.04, Schedule of Parking Requirements and Standards, shall be exceeded by more than twenty percent (20%) unless good cause can be shown by the applicant and approved by the Planning Commission. Single Family Dwellings and Two Family Dwellings are exempt from this provision.

The above section would limit the maximum parking supply to 32 spaces, which is a 2 space difference than the proposed supply. The above code does permit the Planning Commission to approve more spaces if good cause is accepted by the Planning Commission. The applicant provides the following reason for increasing the maximum parking supply:

Due to the high volume of customers that this site receives, Taco Bell feels that it is necessary to rebuild the site and building with additional parking/seats to properly serve the volume of customers.

Lighting: Planning and Zoning Code section 1145.09(C) requires exterior lighting for parking areas. The applicant submitted a compliant site lighting plan.

Landscaping: The applicant proposes compliant parking lot and general site landscaping plans.

City Department Comments:

Police Department. No comment at this time

Water/Backflow. The proposed Taco Bell will need an Rp backflow preventer after the meter or where the water comes up in the building. It needs to be sized to match the new water line.

Fire Department. No comment at this time

Engineering Department. No comment at this time

Economic Development. Recommends approval

City Forester. No comment at this time.

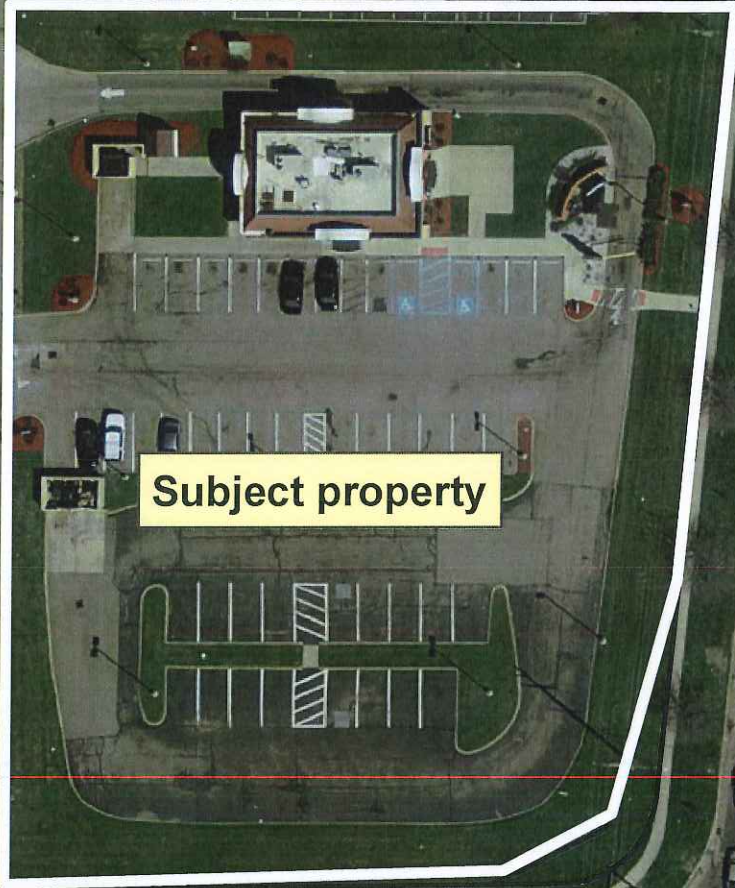
Staff Comments:

Upon completion, the proposed reconstructed and updated restaurant building and site will be a considerable reinvestment and be harmonious with the developed commercial environment on N. Court Street.

Recommendation:

Staff recommends the Planning Commission **approve** the Site Plan and Conditional Zoning Certificate for the proposed 2,330 sq. ft. restaurant with drive-through building and site with the following conditions:

1. Subject to approval of building permits from the Medina Building Department.
2. Subject to site development approval by the Medina Engineering Department.



Subject property

W REAGAN PKWY

N COURT ST

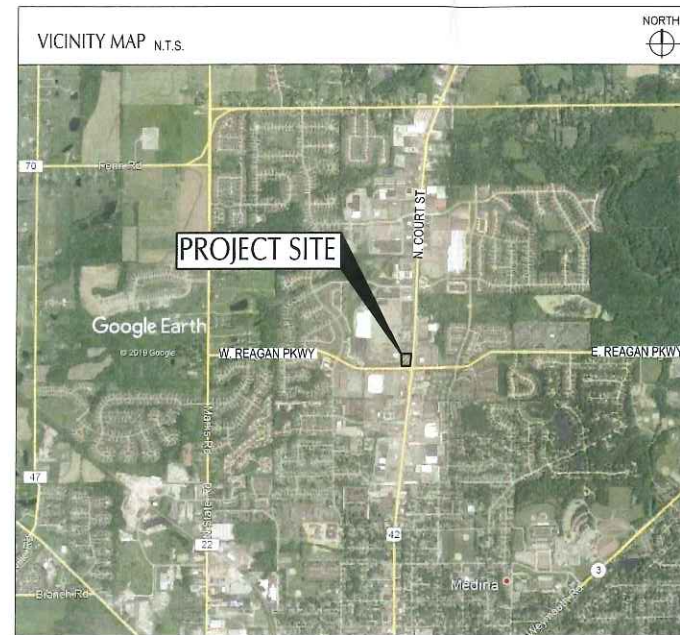
P20-17
1061 N. Court
SPA and CZC - new site design/bldg
November 12, 2020



1 inch = 60 feet

IMPROVEMENT PLANS TACO BELL

1061 N. COURT STREET
MEDINA, OH 44256
OCTOBER 21, 2020



INDEX OF DRAWINGS	
TITLE SHEET	TS-001
ALTANSPS LAND TITLE SURVEY	1 of 2, 2 of 2
SITE PLAN	C-111
GRADING PLAN	C-121
UTILITY PLAN	C-131
LANDSCAPE PLAN	L-101
FLOOR PLAN	A2.0
EQUIPMENT PLAN	A4.0
ELEVATION	A4.1

OWNER AND DEVELOPER
TACO BELL OF AMERICA, LLC
1 GLEN BELL WAY
IRVINE, CA 92618

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF CONSTRUCTING A NEW TACO BELL RESTAURANT WITH A DRIVE-THRU AT AN EXISTING TACO BELL SITE SURROUNDED BY N. COURT STREET, W. REAGAN PKWY, AND AN EXISTING ACCESS DRIVE IN MEDINA, OH. JURISDICTION FOR THIS SITE IS UNDER THE CITY OF MEDINA, MEDINA COUNTY SANITARY ENGINEERS, AND MEDINA COUNTY HEALTH DEPARTMENT.

STATE OF OHIO SPECIFICATION

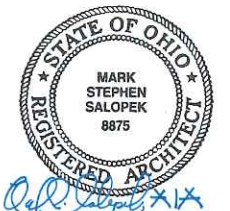
THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION, INCLUDING CHANGES AND SUPPLEMENTAL SPECIFICATIONS LISTED IN THE PROPOSAL SHALL GOVERN THIS IMPROVEMENT.

PLAN REPRODUCTION WARNING
THE PLANS HAVE BEEN PREPARED FOR PRINTING ON ANSI D (34"x22") SHEETS. PRINTING ON OTHER SIZE SHEETS MAY DISTORT SCALES. REFER TO GRAPHIC SCALES.

RECEIVED
OCT 22 2020
BY:



THIS SUBMITTAL IS FOR GENERAL INFORMATION ONLY AND IS PRELIMINARY IN NATURE. AS SUCH, ANY OTHER OR RELIANCE IS STRICTLY PROHIBITED.



Mark S. Salopek License #8875
Expiration Date December 31, 2021

DATE	REMARKS

CONTRACT DATE: 09.30.20
BUILDING TYPE: END, MED40
PLAN VERSION: MARCH 2020
BRAND DESIGNER:
SITE NUMBER: -
STORE NUMBER: -
PA/PM: MY
DRAWN BY:
JOB NO.: 2019088.18

TACO BELL
1061 N. Court St
Medina, OH 44256



ENDEAVOR 1.0
TITLE SHEET

TS-001

PLOT DATE:

ALTA/NSPS LAND TITLE SURVEY

CITY OF MEDINA COUNTY OF MEDINA STATE OF OHIO

DEED DESCRIPTION:

Situated in the City of Medina, County of Medina and State of Ohio:

And known as being part of Medina City Lot 567, as shown by the plat recorded in Plat Volume 23, Page 80 of Medina County Records and is bounded and described as follows:

Beginning at an iron pin monument at the intersection of the centerline of West Reagan Parkway, 80 feet in width, with the Westerly line of North Court Street (U.S. Route 42), width varies;

Thence South 87 deg. 44' 42" West, 198.71 feet along said centerline of West Reagan Parkway;

Thence North 01 deg. 24' 10" West, 275.00 feet to an iron pin set;

Thence North 88 deg. 35' 50" East, 225.95 feet to an iron pin set in the Westerly line of North Court Street, said Westerly line being distant 50 feet Westerly by rectangular measurement from the centerline of North Court Street;

Thence Southwesterly, deflecting to the right, 144.25 feet along the curved Westerly line of North Court Street to a point of tangency, said curve having a radius of 5702.62 feet and a chord which bears South 03 deg. 12' 03" West, 144.26 feet;

Thence South 03 deg. 55' 32" West, 101.82 feet along the Westerly line of North Court Street to an iron pin set;

Thence Southwesterly, deflecting to the right, 43.89 feet along the curved turnout between the Westerly line of North Court Street and the Northerly line of West Reagan Parkway to an iron pin set at the point of tangency, said curve having a radius of 30.00 feet and a chord which bears South 45 deg. 50' 08" West, 40.08 feet;

Thence South 87 deg. 44' 42" West, 175.52 feet along the Northerly line of West Reagan Parkway to the place of beginning and containing 58,573 square feet or 1.345 acres of land according to a survey by Dempsey & Associates, Inc., Professional Surveyors, dated February 6, 1991 to be the same more or less, buy subject to all legal highways.

Now known as City Lot 5908.

EXCEPTING THEREFROM THE FOLLOWING:

Situated in the City of Medina, County of Medina and the State of Ohio:

And being part of City Lot 5908 as recorded in Plat Volume 24, Page 57 on 8-7-1991 and also being within Township 3 North, Range 14 West of the Connecticut Western Reserve and also being part of a record 1.3450 acre parcel as conveyed to Taco Bell of America, Inc., a Delaware Corporation (herein called the grantor) as recorded on 9-2-1998 in Document Number 199808012802 of the Medina County Recorder's Office and being a parcel of land lying on the left side of the centerline of the right of way of U.S. Route 42 (width varies) further bounded and described as follows:

Commencing at a point at the Grantor's Northeast property corner, said corner witnessed by a 3/8 inch iron pin (bent) found at a distance of 0.40 feet, South 05 deg. 46' 33" East, said point also being the Northeast corner of City Lot 5908, the Southeast corner of City Lot 5903 and being a point on the Westerly right of way line of U.S. Route 42 at Station 967+74.45, 50.00 feet left of the U.S. Route 42 centerline of right of way, said point being the true point of beginning of the parcel herein described:

1. Thence, following the Grantor's Easterly property line, the Easterly line of City Lot 5908 and the Westerly right of way line of U.S. Route 42, along the arc of curve to the right, having a radius of 5679.58 feet, an arc length of 141.36 feet, a chord bearing South 05 deg. 01' 45" West, a chord length of 141.38 feet and a delta of 01 deg. 25' 34" to a point of tangency at Station 966+31.81, 50.00 feet left of U.S. Route 42 centerline of right of way;

2. Thence continuing along the Grantor's Easterly property line, the Easterly line of City Lot 5908 and the Westerly line right of way of U.S. Route 42, South 05 deg. 44' 30" West, a distance of 104.59 feet to a point of curvature at Station 965+27.24, 50.00 feet left of U.S. Route 42 centerline of right of way;

3. Thence, continuing along the Grantor's Easterly property line, the Easterly line of City Lot 5908 and the Westerly right of way line of U.S. Route 42 along the arc of curve to the right, having a radius of 30.00 feet, and arc length of 43.89 feet, a chord bearing South 47 deg. 39' 16" West, a chord length of 40.08 and a delta of 83 deg. 49' 32" to a point of tangency at Station 19+27.11, 40.00 feet left of the Reagan Parkway (80 feet wide) centerline of right of way and at Station 964+97.41, 76.77 feet left of U.S. Route 42 centerline of right of way, said point witnessed by a 3/8 inch iron pin (bent) found at a distance of 1.71 feet, South 67 deg. 45' 52" West, said point also being on Grantor's Southerly property line, the Southerly line of City Lot 5908 and the Northerly right of way line of Reagan Parkway;

4. Thence, following the Grantor's Southerly property line, the Southerly property line of City Lot 5908 and the Northerly right of way line of Reagan Parkway, South 89 deg. 34' 02" West, a distance of 22.11 feet to an iron pin set at Station 19+05.00, 40.00 feet left of Reagan Parkway centerline of right of way;

5. Thence, North 65 deg. 08' 09" East, a distance of 39.21 feet to an iron pin set at Station 965+15.00, 65.00 feet left of U.S. Route 42 centerline of right of way;

6. Thence North 15 deg. 34' 31" East, a distance of 76.12 feet to an iron pin set at Station 965+90.00, 52.00 feet left of U.S. Route 42 centerline of right of way;

7. Thence North 05 deg. 44' 30" East, a distance of 41.83 feet to an iron pin set a point of curvature at Station 966+31.83, 52.00 feet left of U.S. Route 42 centerline of right of way;

8. Thence, along the arc of curve to the left having a radius of 5877.58 feet, an arc length of 141.19 feet, a chord bearing North 05 deg. 01' 45" East, a chord length of 141.19 feet and a delta of 01 deg. 25' 29" to an iron pin set at Station 967+74.32, 52.00 feet left of U.S. Route 42 centerline of right of way, said iron pin set being on the Grantor's Northerly property line, on the Northerly line of City Lot 5908 and on the Southerly property line of a record 1.2820 acre parcel as conveyed to 1065 North Court, LLC, and Ohio limited liability company, as recorded on 11-04-2003 in Document Number 200308058781 of the Medina Recorder's Office, said iron pin set also being on the Southerly line of City Lot 5903;

9. Thence, Following the Grantor's Northerly property line of City Lot 5908, the Southerly property line of said 1.2820 acre parcel and the Southerly line of City Lot 5903, South 89 deg. 36' 26" East, a distance of 2.00 feet to the true point of beginning and enclosing an area of 0.0313 acres, more or less, of which the present road occupies 0.0000 acres, resulting in a net lake area of 0.0313 acres and in from Medina County Auditor's Parcel No. 028-19a-09-071.

The iron pins set are 3/8 inch diameter by 30 inch long rebar with a 2 inch diameter aluminum cap marked "0007 R/W" and "T. Kaminski 57207".

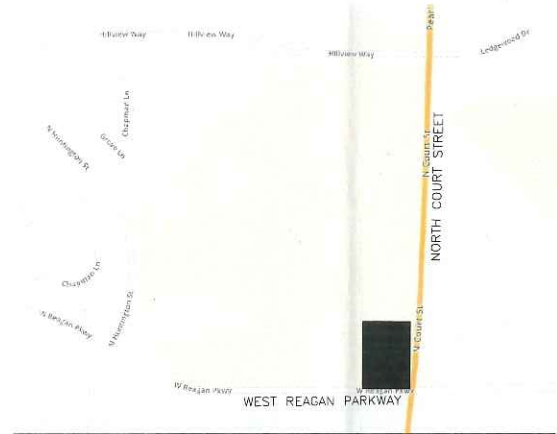
The bearings referred to herein are relative to Grid North of the Ohio State Plane Coordinates System, North Zone NAD83 (2011) DATUM from GPS Observations and are for the purpose of defining directional variations.

The stations referred to herein are from the centerline of right of way of U.S. Route 42, as found on O.D.O.T Right of Way Plat MED-42-17.80.

This description was prepared and reviewed under the supervision of Terin J. Kaminski, P.S., Registered Surveyor No 7207 and is based on survey made by Euthenics, Inc., between May 2013 and July 2013 for the Ohio Department of Transportation.

REFERENCES:

- COUNTY TAX MAP.
- DEEDS AS REFERENCED ON SURVEY.
- TITLE REPORT.
- PLATS
P.B. 23 PG. 80



LOCATION MAP

SCHEDULE B - SECTION II:

Chicago Title Insurance Company
Order Number: 7527617
Reference Number: 19620237
Effective Date: March 28, 2019 at 6:59 AM

15. Pipeline Right-of-Way to The Medina Gas & Fuel Company, filed for record June 15, 1916, in Lease Volume 18, Page 610 of the Medina County, Ohio Records.

Partial Release of Rights of Way filed for record July 31, 1991 in Official Record Volume 630, Page 222 of the Medina County, Ohio Records. (PLOTTED AND SHOWN)

16. Pipeline Right-of-Way to The Medina Gas & Fuel Company, filed for record June 15, 1916, in Lease Volume 20, Page 271 of the Medina County, Ohio Records.

Partial Release of Rights of Way filed for record July 31, 1991 in Official Record Volume 630, Page 222 of the Medina County, Ohio Records. (PLOTTED AND SHOWN)

17. Easement for Highway Purposes to the State of Ohio, filed for record August 8, 1932, in Highway Easement Book 1, Page 243, of the Medina County, Ohio Records. (NOT ON THE SURVEYED PROPERTY.)

18. Easement for Highway Purposes to the State of Ohio, filed for record August 8, 1932, in Highway Easement Book 1, Page 244, of the Medina County, Ohio Records. (NOT ON THE SURVEYED PROPERTY.)

19. Easement for Highway Purposes to the State of Ohio, filed for record August 8, 1932, in Highway Easement Book 1, Page 335, of the Medina County, Ohio Records. (INSUFFICIENT EVIDENCE PROVIDED IN RECORD DOCUMENT. THE LOCATION CAN NOT BE DETERMINED.)

20. Easement to The Reserve Power and Light Company filed for record May 9, 1936, in Misc. Book 6, Page 113, of the Medina County, Ohio Records. (NOT ON THE SURVEYED PROPERTY)

21. Oil and Gas Lease by and between Barbara Simonyi (lessor) and The Ohio Fuel Gas Company (lessee), filed for record September 19, 1933 in Lease Book 47, Page 191 of the Medina County, Ohio Records. Note: for further conditions, see record. This company has made no further examination under the above instrument. (NO PLOTTABLE ITEMS)

22. Clearance Easement to Ohio Edison Company, filed for record August 15, 1956, in Deed Volume 237, Page 365, of the Medina County, Ohio Records. (EASEMENTS ARE BLANKET IN NATURE. NO PLOTTABLE ITEMS)

23. Clearance Easement to Ohio Edison Company, filed for record August 15, 1956, in Deed Volume 238, Page 462, of the Medina County, Ohio Records. (EASEMENTS ARE BLANKET IN NATURE. NO PLOTTABLE ITEMS)

24. Oil and Gas Lease by and between John Turek and Edith Turek (lessors) and The Ohio Fuel Gas Company (lessee), filed for record October 17, 1956 in Lease Volume 72, Page 563 of the Medina County, Ohio Records. (LEASE IS BLANKET IN NATURE. NO PLOTTABLE ITEMS.)

NOTE: FOR FURTHER CONDITIONS, SEE RECORD. THIS COMPANY HAS MADE NO FURTHER EXAMINATION UNDER THE ABOVE INSTRUMENT.

Affidavit for the Purpose of Terminating Lease filed for record June 29, 1994 in Official Record Volume 951, Page 437 of the Medina County, Ohio Records. (DOCUMENTS ARE BLANKET IN NATURE. NO PLOTTABLE ITEMS)

25. Terms and conditions of Easement, Restrictions and Operating Agreement be and between Medina Retail Limited Partnership, a Delaware limited partnership and K Mart Corporation, a Michigan corporation, filed for record August 15, 1990 in Official Record Volume 567, Page 406 of the Medina County, Ohio Records.

Amendment to Easement, Restriction and Operating Agreement filed for record October 7, 1994 in Official Record Volume 644, Page 267 of the Medina County, Ohio Records.

Second Amendment to Easement, Restriction and Operating Agreement filed for record March 4, 2002 in Instrument No. 20020808590 of the Medina County, Ohio Records. (DOCUMENTS ARE BLANKET IN NATURE. PLOTTABLE ITEMS SHOWN.)

26. Terms and Conditions of Detention Basin and Utility Easement Agreement by and between Medina Properties, an Ohio general partnership (grantor) and Medina Retail Limited Partnership, a Delaware limited partnership and K Mart Corporation, a Michigan corporation (collectively grantees), filed for record August 15, 1990 in Official Record Volume 567, Page 441 of the Medina County, Ohio Records. This exception contains obligations for maintenance of common driveway. (NOT ON THE SURVEYED PROPERTY)

27. Terms and Conditions of Driveway and Utility Easement Agreement by and among Medina Properties, an Ohio general partnership (grantor) and Medina Retail Limited Partnership, a Delaware limited partnership and K Mart Corporation, a Michigan corporation (collectively grantees), filed for record August 15, 1990 in Official Record Volume 567, Page 441 of the Medina County, Ohio Records. This exception contains obligations for maintenance of common driveway. (NOT ON THE SURVEYED PROPERTY)

28. Grant of Easement to Board of County Commissioners of Medina County, Ohio, filed for record October 10, 1990, in Official Record Volume 577, Page 498, of the Medina County, Ohio Records. (PLOTTED AND SHOWN)

29. Ohio Lease for Underground Gas Storage in Specific Strata by and between Medina Retail Limited Partnership, (lessor and Columbia Gas Transmission Corporation, filed for record April 4, 1991 in Official Record Volume 605, Page 288 of the Medina County, Ohio Records.

NOTE: For further conditions, see record. This company has made no further examination under the above instrument. (LEASE IS BLANKET IN NATURE. NO PLOTTABLE ITEMS.)

30. Reservations, restrictions, covenants, limitations, easements, and/or conditions, by and between Medina Retail Limited Partnership, a Delaware limited partnership (grantor) and Taco Bell Corp., a California corporation (grantee), as established in instrument, filed for record May 5, 2001, in Official Record Volume 612, Page 502, of the Medina County, Ohio Records. (RESTRICTIONS ARE BLANKET IN NATURE. NO PLOTTABLE ITEMS)

31. Declaration of Restrictive Covenant (Shopping Center) by and between Medina Retail Limited Partnership, a Delaware limited partnership (seller) and Taco Bell Corp., a California corporation (buyer), filed for record May 5, 2001 in Official Record Volume 612, Page 506 of the Medina County, Ohio Records. (RESTRICTIONS ARE BLANKET IN NATURE. NO PLOTTABLE ITEMS)

32. Sanitary Sewer Easement by and between Medina Retail Limited Partnership, a Delaware limited partnership (grantor) and Taco Bell Corp., a California corporation (grantee), filed for record May 22, 2001 in Official Record Volume 615, Page 256 of the Medina County, Ohio Records. (PLOTTED AND SHOWN)

33. Easement to GTE North Incorporated, filed for record August 2 1991, in Official Record Volume 630, Page 602, of the Medina County, Ohio Records. (PLOTTED AND SHOWN)

34. Reservations, restrictions, covenants, limitations, easements, and/or conditions, by and between Taco Bell of America, Inc., a Delaware corporation, nka Taco Bell of America, LLC, a Delaware limited liability company (grantor) and the State of Ohio, Department of Transportation, in the name of and for the use of the City of Medina, Ohio (grantee) as established in instrument, filed for record August 25, 2015, in Instrument No. 201508018595, of the Medina County, Ohio Records. This exception contains the right to repurchase. (PLOTTED AND SHOWN)

CERTIFICATION:

TO: TACO BELL OF AMERICA, LLC, A DELAWARE LIMITED LIABILITY COMPANY AND CHICAGO TITLE INSURANCE COMPANY,

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b), 8, 9, 10(a), 10(b), 11, 13, 18, 19, 20 AND 21 (TACO BELL SURVEY REQUIREMENTS) OF TABLE A THEREOF. FIELD WORK WAS COMPLETED ON JULY 12, 2019.

REV.	DATE	DESCRIPTION

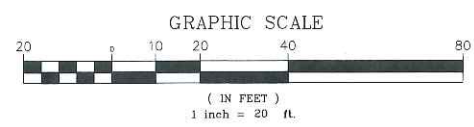
TACO BELL
1061 N. COURT STREET
MEDINA, OHIO 44256

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
RECORD	

PROJECT MANAGER	DESIGNER
SLM	MLC

JOB NO.
2019088.18

Working Name: g:\pds\com\data\2019\2019088.18 - Medina_CitySurvey20191088.dwg
User: jg
Date: 10/22/2019 10:08:16 AM



BASIS OF BEARING:
STATE PLANE GRID NORTH, NAD 83 (2011),
GEOID 128, OHIO NORTH ZONE,
TIED BY GPS TO THE O.D.O.T. VRS.
ELEVATIONS ARE NAVD 88.

BENCHMARKS:
1. BOX CUT ON LIGHT POLE BASE
N 54340.775
E 2143948.34
ELEV. = 963.38
2. X CUT ON BONNET BOLT
N 543324.168
E 2143765.172
ELEV. = 964.05

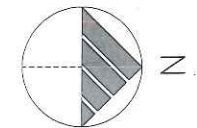
INVERTS:

CB 137 T/C = 962.25	CB 828 T/C = 961.47	OPMH 1676 T/C = 963.70	CB 1737 T/C = 962.32
12" PVC (N) = 959.75	8" PVC (N) = 959.27	6" PVC (W) = 960.20	10" PVC (NE) = 958.22
12" PVC (S) = 959.37			
STMH 666 T/C = 970.71	CB 1078 T/C = 961.04	OPMH 1675 T/C = 963.65	SSMH 2114 T/C = 960.57
12" CPP (E & S) = 964.51	10" PVC (N) = 958.64	4" PVC = 959.65	36" RCP (N & S) = 964.51
	8" PVC (S) = 958.74		
	CB 1155 T/C = 961.17	CB 1732 T/C = 961.58	CB 2189 T/C = 963.15
	36" RCP (E) = 956.27	36" RCP (N) = 955.68	36" RCP (NE) = 957.35
	12" CPP (W) = 957.49	36" RCP (W) = 955.68	36" RCP (W) = 957.45
	SSMH 687 T/C = 962.82	10" PVC (SW) = 956.88	CB 1155 T/C = 961.17
	36" RCP (N & S) = 952.17	10" PVC (S) = 958.17	36" RCP (E) = 956.27
	12" PVC (W) = 954.02		36" RCP (SW) = 956.27
			10" PVC (S) = 958.17

- LEGEND:**
- X MAG NAIL SET
 - o EXISTING IRON PIN FOUND AS NOTED
 - o EXISTING MAG NAIL FOUND AS NOTED
 - o EXISTING MONUMENT BOX FOUND AS NOTED
 - o EXISTING LIGHT POLE
 - o EXISTING POWER & TELEPHONE POLE
 - o EXISTING POWER, TELEPHONE & LIGHT POLE
 - o EXISTING ELECTRIC METER
 - o EXISTING ELECTRIC BOX
 - o EXISTING TRANSFORMER
 - o EXISTING SIGNAL POLE
 - o EXISTING SIGNAL PULL BOX
 - o EXISTING CATCH BASIN
 - o EXISTING CURB INLET
 - o EXISTING STORM MANHOLE
 - o EXISTING SANITARY MANHOLE
 - o EXISTING FIRE HYDRANT
 - o EXISTING WATER METER
 - o EXISTING WATER VALVE
 - o EXISTING WATER MANHOLE
 - o EXISTING IRRIGATION VALVE
 - o EXISTING GAS VALVE
 - o EXISTING GAS METER
 - o EXISTING TELEPHONE PEDESTAL
 - o EXISTING POST OR BOLLARD
 - o EXISTING SIGN
 - o EXISTING CLEANOUT
 - o EXISTING GUY WIRE
 - o EXISTING GREASE PIT
 - o EXISTING CURB
 - P/L - EXISTING PROPERTY LINE
 - R/W - EXISTING RIGHT OF WAY LINE
 - C/L - EXISTING CENTER LINE
 - OH - EXISTING OVERHEAD UTILITY LINES
 - G - EXISTING UNDERGROUND GAS LINES
 - ST - EXISTING UNDERGROUND STORM LINES
 - SAN - EXISTING UNDERGROUND SANITARY LINES
 - W - EXISTING UNDERGROUND WATER LINES
 - E - EXISTING UNDERGROUND ELECTRIC LINES
 - T - EXISTING UNDERGROUND TELEPHONE LINES
 - o BUSH/SHRUB
 - o DECIDUOUS TREE

WEST REAGAN PARKWAY (80' R/W)

1029 - 1205 NORTH COURT HOLDINGS LLC
P.N. 028-19A-09-076

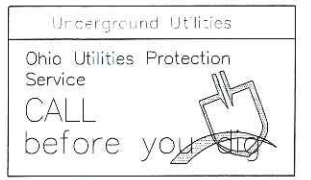


PARKING:
42 PARKING SPACES
4 HANDICAPPED SPACES

1065 NORTH COURT LLC
I.N. 20030058781
P.N. 028-19A-09-191

TACO BELL OF AMERICA, INC.
INSTR. No. 19980R012802
P.N. 028-19A-09-071

AREA
1.3134 Ac
57,213 S.F.



1-800-362-2764
or 811

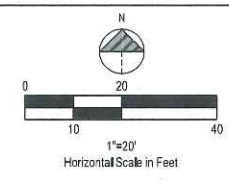
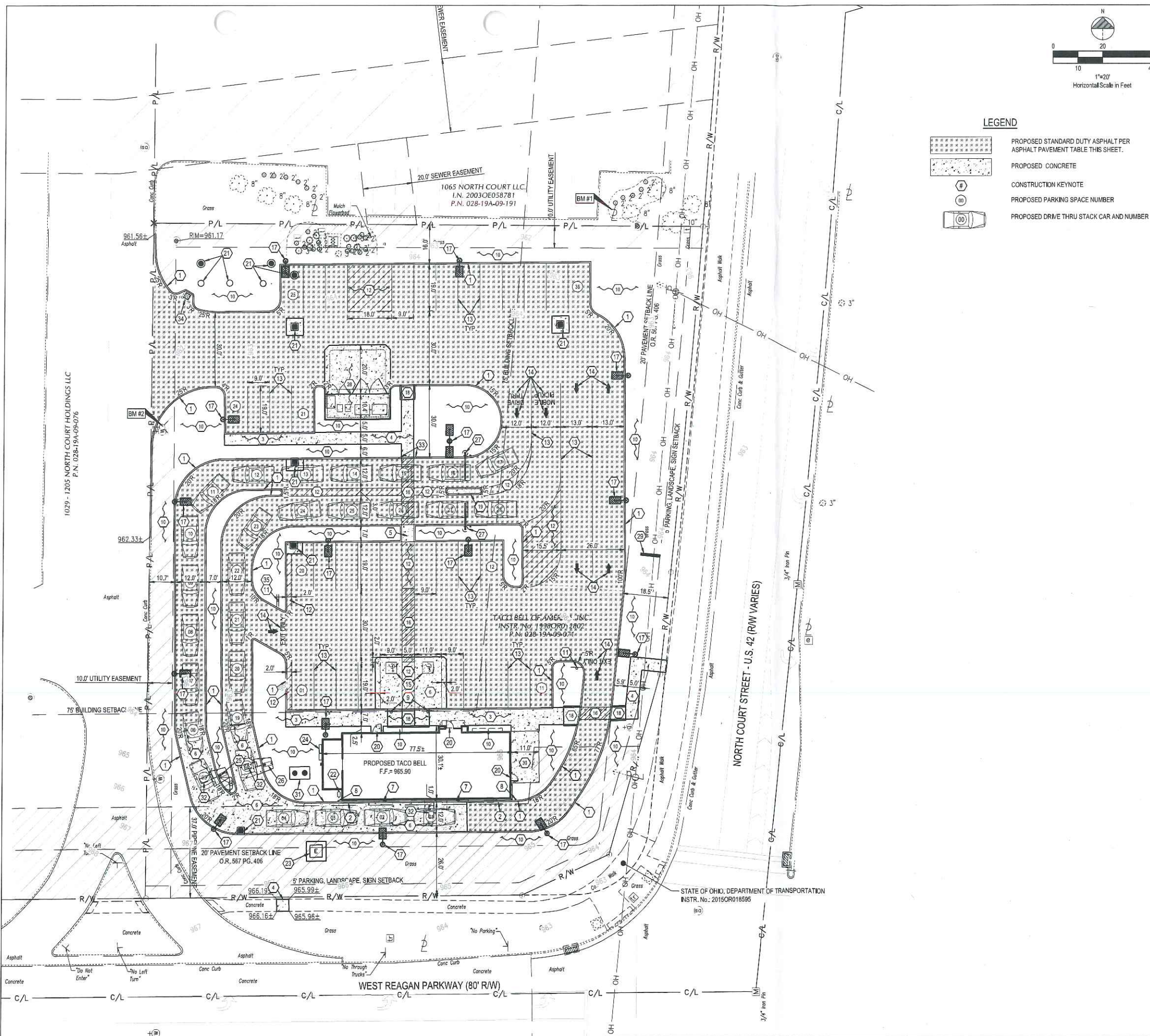
UTILITIES SHOWN ON SURVEY WERE LOCATED BASED ON FIELD MARKING PROVIDED BY REQUEST #A917102107-00A AND #A917201437-00A.

REV.	DATE	DESCRIPTION

TACO BELL
1061 N. COURT STREET
MEDINA, OHIO 44256

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
RECORD	
PROJECT MANAGER	DESIGNER
SLM	MLC

JOB NO.
2019088.18



LEGEND

- PROPOSED STANDARD DUTY ASPHALT PER ASPHALT PAVEMENT TABLE THIS SHEET.
- PROPOSED CONCRETE
- CONSTRUCTION KEYNOTE
- PROPOSED PARKING SPACE NUMBER
- PROPOSED DRIVE THRU STACK CAR AND NUMBER

GENERAL SHEET NOTES

1. SEE SHEET C-121 FOR GRADING INFORMATION.
 2. SEE SHEET C-131 FOR UTILITY INFORMATION.
 3. SEE SHEET L-101 FOR LANDSCAPING PLAN.
- PLAN KEYNOTES (#)**
1. PROPOSED P.C.C. CURB.
 2. PROPOSED CURB AT DRIVE THRU.
 3. PROPOSED P.C.C. CURBED WALK.
 4. PROPOSED P.C.C. WALK.
 5. PROPOSED FLUSH CURBED WALK.
 6. PROPOSED 7" P.C.C. PAVEMENT W/ W.W.F. 6" x 6" W2.9 x W2.9 (CONTROL JTS. 17.0" O.C.) OVER 8" CRUSHED AGGREGATE OR GRAVEL BASE. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
 7. PROPOSED BOLLARD IN CURB.
 8. PROPOSED BOLLARD.
 9. PROPOSED ADA PARKING SIGN IN BOLLARD.
 10. PROPOSED LANDSCAPING AREA. SOD ALL DISTURBED AREAS EXCEPT WHERE PLANTING BEDS ARE INDICATED. SEE SHEET L-101.
 11. PROPOSED DO NOT ENTER SIGN PER ODOT STANDARDS.
 12. PROPOSED PAINTED TRANSVERSE STRIPING.
 13. PROPOSED PAINTED 4" WIDE SOLID STRIPE - WHITE ON ASPHALT, YELLOW ON CONCRETE.
 14. PROPOSED DIRECTIONAL PAVEMENT MARKINGS - WHITE ON ASPHALT, YELLOW ON CONCRETE. BLUE FOR ADA.
 15. PROPOSED PAINTED INTERNATIONAL ADA SYMBOL PER ADA SPECIFICATIONS AND SHEET C-501.
 16. PROPOSED 5" WIDE CROSSWALK STRIPING. SEE SHEET C-501.
 17. PROPOSED LIGHT POLE AND FOUNDATION. SEE ELECTRICAL DRAWINGS AND SHEET C-502 FOR SPECIFICATIONS.
 18. PROPOSED ADA ACCESSIBLE RAMP PER ADA SPECIFICATIONS.
 19. PROPOSED P.C.C. CONCRETE ISLAND.
 20. PROPOSED FROST SLAB AT DOOR. SEE ARCHITECTURAL PLANS.
 21. PROPOSED STORM STRUCTURES. SEE SHEET C-141 FOR DESIGN INFORMATION.
 22. PROPOSED GAS METER PER GAS COMPANY SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION.
 23. PROPOSED ELECTRICAL TRANSFORMER PER ELECTRICAL COMPANY SPECIFICATIONS. G.C. TO VERIFY EXACT LOCATION AND SIZE WITH UTILITY ENGINEER.
 24. PROPOSED ELECTRIC METER PER ELECTRIC COMPANY SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION.
 25. PROPOSED MENU BOARD AND ORDER CONFIRMATION BOARD PER SIGN SUPPLIER SPECIFICATIONS. SIGN SUPPLIER TO PROVIDE A TEMPLATE FOR G.C. G.C. TO COORDINATE A MEETING WITH THE CONSTRUCTION/PROJECT MANAGER AND OPERATIONS TO VERIFY LOCATION AND PLACEMENT OF MENU BOARD AND ORDER CONFIRMATION BOARD PRIOR TO ANY CONSTRUCTION. SIGN SUPPLIER SHALL PROVIDE G.C. WITH FOUNDATION DETAILS. G.C. RESPONSIBLE FOR SIGN FOUNDATIONS/ELECTRICAL.
 26. PROPOSED ORDER CONFIRMATION BOARD PER SIGN SUPPLIER SPECIFICATIONS. SIGN SUPPLIER TO PROVIDE A TEMPLATE FOR G.C. G.C. TO COORDINATE A MEETING WITH THE CONSTRUCTION/PROJECT MANAGER AND OPERATIONS TO VERIFY LOCATION AND PLACEMENT OF MENU BOARD AND ORDER CONFIRMATION BOARD PRIOR TO ANY CONSTRUCTION. SIGN SUPPLIER SHALL PROVIDE G.C. WITH FOUNDATION DETAILS. G.C. RESPONSIBLE FOR SIGN FOUNDATIONS/ELECTRICAL.
 27. PROPOSED EVOLUTION PORTAL CLEARANCE BAR.
 28. PROPOSED WOODEN DUMPSTER ENCLOSURE ON P.C.C. PAD OVER CRUSHED AGGREGATE OR GRAVEL BASE. SEE ARCHITECTURAL PLANS. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
 29. PROPOSED 6'-0" O.A.H. 40 S.F. MONUMENT SIGN PER SIGN SUPPLIER SPECIFICATIONS. SIGN SUPPLIER SHALL DESIGN AND INSTALL FOUNDATION.
 30. PROPOSED PATIO SEE ARCHITECTURAL PLANS.
 31. PROPOSED 1,000 GALLON EXTERIOR GREASE INTERCEPTOR.
 32. PROPOSED SENSOR LOOP. SEE ELECTRICAL DRAWINGS FOR DETAILS.
 33. PROPOSED 1" CURB TAPER.
 34. EXISTING CATCH BASIN.
 35. PROPOSED KEEP RIGHT SIGN.

ASPHALT PAVEMENT

MATERIAL	DEPTH HWY. DUTY	DEPTH STD. DUTY	ODOT SPECIFICATIONS ITEM
A.C. SURFACE COURSE	1.5"	1.5"	COMPACTED ODOT #448 (SURFACE, TYPE 1)
A.C. INTERMEDIATE COURSE	3.0"	2.0"	COMPACTED ODOT #448 (INTERMEDIATE, TYPE 2)
AGG. BASE COURSE	8"	6"	COMPACTED ODOT #304 (AGGREGATE COURSE)
SUBGRADE COMPACTION	18"	18"	COMPACTED SUBGRADE (MINIMUM)

SOILS REPORT GOVERNS IF ANY DISCREPANCIES OCCUR. SEE TYPICAL PAVEMENT SECTION SHEET C-501.

BUILDING SETBACKS

	REQUIRED	PROVIDED
FRONT: N. COURT ST.	0'	44.1'
REAR: ACCESS DRIVE	0'	71.6'
SIDE: W. REAGAN PKWY	0'	37.7'
SIDE: CITIZENS BANK	0'	203.7'

PARKING SETBACKS

	REQUIRED	PROVIDED
FRONT: N. COURT ST.	5'	14.2'
REAR: ACCESS DRIVE	0'	9.7'
SIDE: W. REAGAN PKWY	5'	25.5'
SIDE: CITIZENS BANK	0'	14.7'

LANDSCAPE SETBACKS

	REQUIRED	PROVIDED
FRONT: N. COURT ST.	5'	14.2'
REAR: ACCESS DRIVE	0'	9.7'
SIDE: W. REAGAN PKWY	5'	25.5'
SIDE: CITIZENS BANK	0'	14.7'

PARKING SPACES

	REQUIRED	PROVIDED
NUMBER OF SPACES	26	36
PARKING REQUIREMENTS		
1 SPACE PER EVERY 2 SEATS		
THEREFORE: 40 INTERIOR + 12 EXTERIOR / 2 = 26 SPACES REQUIRED.		

LAND USE DATA

	% OF SITE AREA	AREA PROVIDED
BUILDING	3.8%	0.05 AC.
PAVEMENT/IMPERVIOUS	58.8%	0.77 AC.
LANDSCAPING	37.4%	0.49 AC.
TOTAL	100%	1.31 AC.

CURRENT ZONING: C-3 GENERAL COMMERCIAL
 EXISTING PERVIOUS = 0.476 AC
 PROPOSED PERVIOUS = 0.490 AC
 NET PERVIOUS GAINED = 0.014 AC

BENCHMARKS:

STATE PLANE GRID NORTH, NAD 83 (2011), GEOID 12B, OHIO NORTH ZONE, TIED BY GPS TO THE O.D.O.T. VRS.
 ELEVATIONS ARE NAVD 88.
 BENCHMARK #1 - BOX CUT ON LIGHT POLE BASE N 543410.776, E 2143948.34 ELEVATION = 963.38
 BENCHMARK #2 - X CUT ON BONNET BOLT N 543324.108, E 2143765.172 ELEVATION = 964.05



THIS SUBMITTAL IS FOR GENERAL INFORMATION ONLY AND IS PRELIMINARY IN NATURE. AS SUCH, ANY OTHER OR RELIANCE IS STRICTLY PROHIBITED.



DATE	REMARKS

CONTRACT DATE: 09.30.20
 BUILDING TYPE: END. MED.40
 PLAN VERSION: MARCH 2020
 BRAND DESIGNER:
 SITE NUMBER:
 STORE NUMBER:
 PA/PM: MY
 DRAWN BY:
 JOB NO.: 2019088.18

TACO BELL
 1061 N. Court St
 Medina, OH 44256



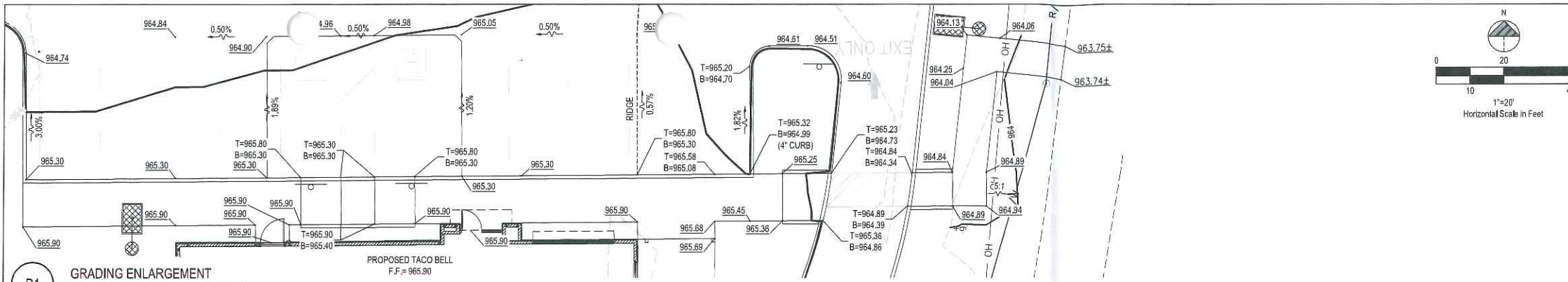
ENDEAVOR 1.0
 SITE PLAN

C-111

PLOT DATE:



UTILITIES SHOWN ON SURVEY WERE LOCATED BASED ON FIELD MARKING PROVIDED BY REQUEST #A917102107-00A AND #A917201437-00A.

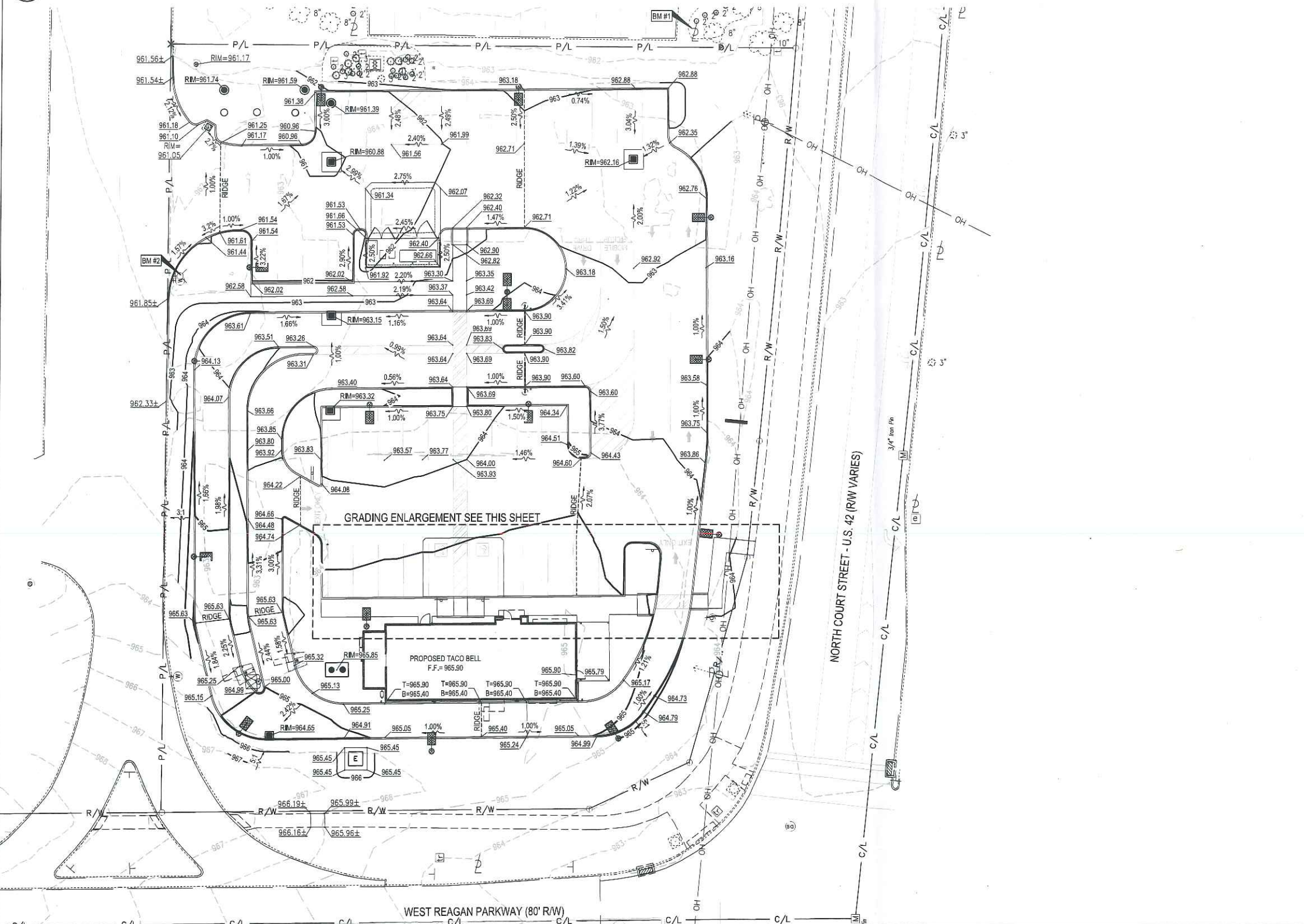


D1 GRADING ENLARGEMENT
SCALE = 1"=10'

GENERAL SHEET NOTES
 1. SEE SHEET C-111 FOR SITE PLAN.
 2. SEE SHEET C-131 FOR UTILITY PLAN.
 3. SEE SHEET L-101 FOR LANDSCAPE PLAN.

LEGEND

- 000 PROPOSED CONTOUR
- XXX.XX± EXISTING SPOT ELEVATION/ MATCH EXISTING GRADE
- XXX.XX PROPOSED ELEVATION @ FINISHED GROUND ELEVATION/ BOTTOM OF 6" CURB
- T=XXX.XX TOP OF CURB ELEVATION
- B=XXX.XX BOTTOM OF CURB/ FINISHED PAVEMENT ELEVATION
- 0.0% PROPOSED DRAINAGE SLOPE & DIRECTION



GRADING ENLARGEMENT SEE THIS SHEET

PROPOSED TACO BELL
F.F. = 965.90

NORTH COURT STREET - U.S. 42 (R/W VARIES)

WEST REAGAN PARKWAY (80' R/W)

BENCHMARKS:
 STATE PLANE GRID NORTH, NAD 83 (2011),
 GEOD 128, OHIO NORTH ZONE,
 TIED BY GPS TO THE O.D.O.T. VRS.
 ELEVATIONS ARE NAVD 88.
 BENCHMARK #1 - BOX CUT ON LIGHT POLE BASE
 N 543410.776, E 2143948.34
 ELEVATION = 963.38
 BENCHMARK #2 - X CUT ON BONNET BOLT
 N 543324.168, E 2143765.172
 ELEVATION = 964.05



UTILITIES SHOWN ON SURVEY WERE LOCATED
 BASED ON FIELD MARKING PROVIDED BY
 REQUEST #A917102107-00A AND #A917201437-00A.



THIS SUBMITTAL IS FOR GENERAL INFORMATION ONLY AND IS PRELIMINARY IN NATURE. AS SUCH, ANY OTHER OR RELIANCE IS STRICTLY PROHIBITED.



DATE	REMARKS

CONTRACT DATE: 09.30.20
 BUILDING TYPE: END, MED40
 PLAN VERSION: MARCH 2020
 BRAND DESIGNER:
 SITE NUMBER: -
 STORE NUMBER: -
 PA/PM: MY
 DRAWN BY:
 JOB NO.: 2019088.18

TACO BELL

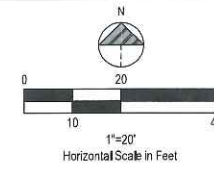
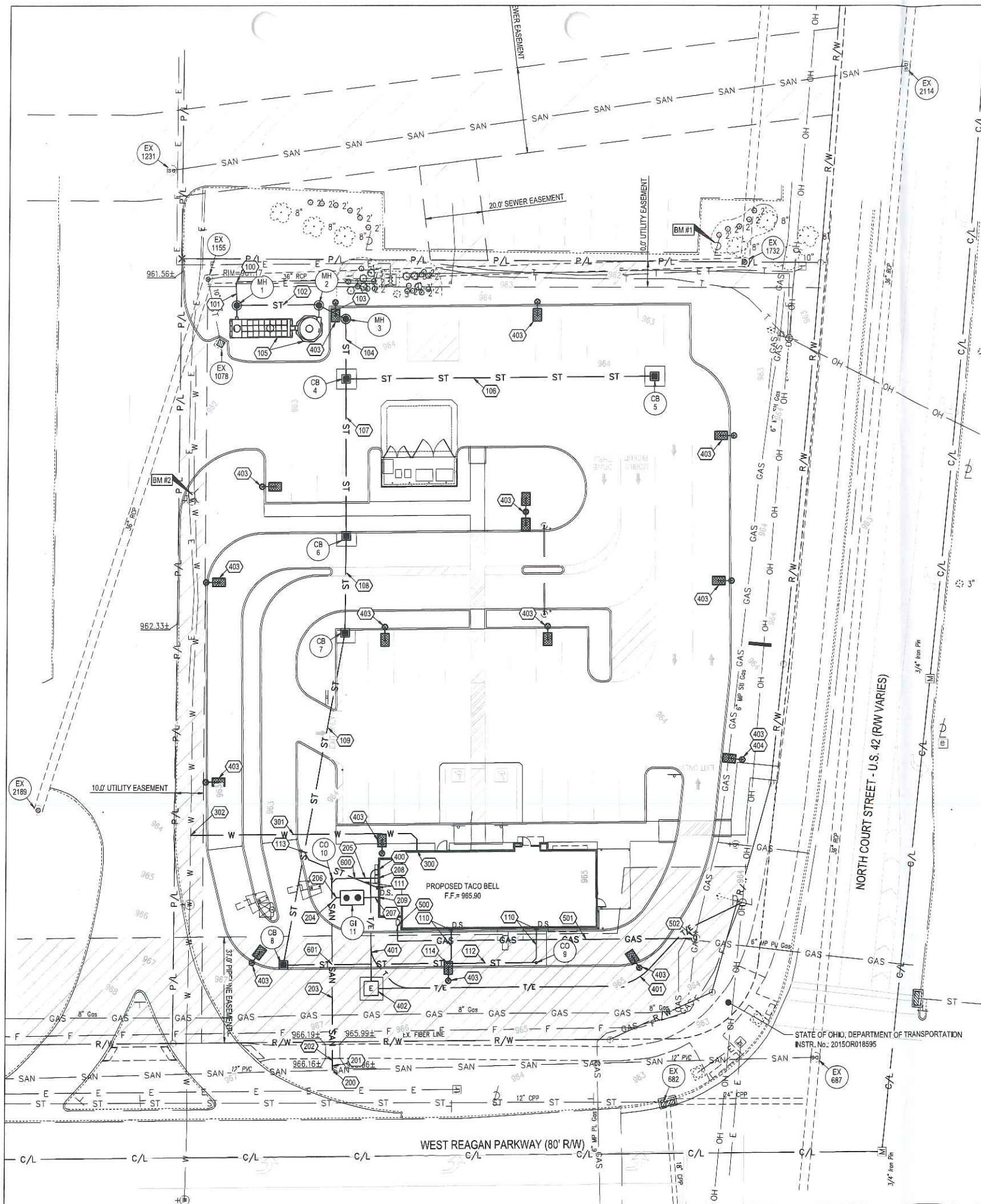
1061 N. Court St
 Medina, OH 44256



ENDEAVOR 1.0
 GRADING PLAN

C-121

PLOT DATE:



LEGEND

- ST — PROPOSED STORM SEWER
- SAN — PROPOSED SANITARY SEWER
- W — PROPOSED WATER SERVICE
- GAS — PROPOSED GAS SERVICE
- E — PROPOSED UNDERGROUND ELECTRIC SERVICE
- T/E — PROPOSED UNDERGROUND TELEPHONE & CABLE SERVICE
- D.S. — PROPOSED DOWNSPOUT
- (A) — APPURTENANCES
- (#) — UTILITY CONSTRUCTION KEYNOTE

GENERAL SHEET NOTES

1. SEE SHEET C-111 FOR SITE PLAN.
2. SEE SHEET C-121 FOR GRADING PLAN.
3. SEE SHEET L-101 FOR LANDSCAPE PLAN.

PLAN KEYNOTES (#)

STORM

100. PROPOSED STORMWATER CONNECTION, EXISTING 36" INV. 956.24, PROPOSED 15" INV. 957.74. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY EXISTING INVERTS AND NOTIFY ENGINEER IF THERE IS A DISCREPANCY. CONTRACTOR SHALL NEATLY CORE DRILL AND ENSURE WATER TIGHT CONNECTION.
101. PROPOSED 8 L.F. OF 15" HDPE STORM SEWER @ 1.00%
102. PROPOSED 29 L.F. OF 15" HDPE STORM SEWER @ 1.00%
103. PROPOSED 10 L.F. OF 15" HDPE STORM SEWER @ 1.00%
104. PROPOSED 21 L.F. OF 15" HDPE STORM SEWER @ 1.00%
105. PROPOSED WATER QUALITY STRUCTURES.
106. PROPOSED 108 L.F. OF 12" HDPE STORM SEWER @ 1.00%
107. PROPOSED 55 L.F. OF 12" HDPE STORM SEWER @ 1.00%
108. PROPOSED 34 L.F. OF 12" HDPE STORM SEWER @ 1.00%
109. PROPOSED 118 L.F. OF 12" HDPE STORM SEWER @ 1.00%
110. PROPOSED DOWNSPOUT COLLECTOR LINE @ 2.00% MINIMUM. 11 L.F. TOTAL. 6" INV. = 963.31 AT BUILDING.
111. PROPOSED DOWNSPOUT COLLECTOR LINE @ 8.40% MINIMUM. 28 L.F. TOTAL. 6" INV. = 963.31 AT BUILDING.
112. PROPOSED 88 L.F. OF 6" PVC STORM SEWER @ 2.00%
113. PROPOSED WYE CONNECTION, 12" INV = 960.44, 6" INV = 960.59
114. PROPOSED WYE CONNECTION, 6" INV = 962.50

SANITARY

200. PROPOSED SANITARY CONNECTION, EXISTING 12" INV = 955.61, PROPOSED 6" INV = 955.86. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY EXISTING INVERTS AND NOTIFY ENGINEER IF THERE IS A DISCREPANCY.
201. PROPOSED SANITARY RISER.
202. 6" SANITARY INV. = 959.32
203. PROPOSED 63 L.F. OF 6" PVC SANITARY SEWER @ 2.00%.
204. PROPOSED SANITARY WYE CONNECTION, SEE SHEET C-503. INV=960.44.
205. PROPOSED 16 L.F. OF 6" PVC SANITARY SEWER @ 2.00%.
206. PROPOSED 3 L.F. OF 6" PVC SANITARY SEWER @ 2.00%.
207. PROPOSED 5 L.F. OF 6" PVC SANITARY SEWER @ 2.00%.
208. PROPOSED SANITARY INV. = 960.90 AT BUILDING.
209. PROPOSED SANITARY INV. = 960.85 AT BUILDING.

WATER

300. PROPOSED WATER SERVICE CONNECTION, COORDINATE WITH PLUMBING PLANS. PROPOSED WATER METER AND BACKFLOW PREVENTOR INSIDE BUILDING PER CITY OF MEDINA STANDARDS AND SPECIFICATIONS. BACKFLOW PREVENTOR SHALL BE LOCATED AFTER THE METER.
301. PROPOSED 84 L.F. 2" COPPER TYPE "K" WATER SERVICE LINE.
302. PROPOSED WATER SERVICE TAP PER CITY OF MEDINA STANDARDS AND SPECIFICATIONS.

ELECTRIC AND COMMUNICATIONS

400. PROPOSED ELECTRIC METER PER ELECTRIC COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. ELECTRIC SERVICE LINE TO BE COORDINATED WITH THE ELECTRIC COMPANY.
401. PROPOSED ELECTRIC AND TELECOMMUNICATIONS SERVICE CONNECTION TO BE COORDINATED WITH THE UTILITY COMPANIES.
402. PROPOSED ELECTRICAL TRANSFORMER PER ELECTRICAL COMPANY SPECIFICATIONS. G.C. TO VERIFY EXACT LOCATION AND SIZE WITH UTILITY ENGINEER.
403. PROPOSED LIGHT POLE, SEE SHEET C-502. SEE ELECTRICAL DRAWINGS FOR SPECIFICATIONS.
404. CONTRACTOR TO CAREFULLY EXCAVATE FOR FOUNDATION OF LIGHT POLE. CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF ANY CONFLICTS WITH EXISTING GAS MAN.

GAS

500. PROPOSED GAS METER PER GAS COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. GAS SERVICE LINE TO BE COORDINATED WITH THE GAS COMPANY.
501. PROPOSED 110 L.F. GAS SERVICE CONNECTION TO BE COORDINATED WITH THE GAS COMPANY.
502. PROPOSED GAS VALVE TO BE COORDINATED WITH GAS COMPANY.

UTILITY CROSSINGS

- GENERAL CROSSING NOTES: CONTRACTOR SHALL COORDINATE ALL CROSSINGS WITH THE UTILITY COMPANY. PRESSURIZED AND SECONDARY UTILITIES SHALL DEFLECT TO MAINTAIN 18" CLEAR AT SANITARY OR STORM SEWER CROSSINGS.
600. PROPOSED UTILITY CROSSING: 6" SANITARY INV=960.74; 6" STORM INV=962.55.
 601. PROPOSED UTILITY CROSSING: 6" SANITARY INV=959.99; 6" STORM INV=961.66.

EXISTING STRUCTURES	
STRUCT. ID	STRUCTURE DETAILS
EX 682	EXISTING CATCH BASIN RIM = 961.89 4" CPP (N) = 960.29 24" CPP (E) = 956.89 18" CPP (S) = 956.89 12" CPP (W) = 957.49
EX 687	EXISTING SANITARY MANHOLE RIM = 962.82 36" RCP (N & S) = 952.17 12" PVC (W) = 954.02
EX 1231	EXISTING SANITARY MANHOLE RIM = 961.45
EX 1078	EXISTING CATCH BASIN RIM = 961.04 10" PVC (N) = 958.64 8" PVC (S) = 958.74
EX 1155	EXISTING CATCH BASIN RIM = 961.17 36" RCP (E) = 956.27 36" RCP (SW) = 956.27 10" PVC (S) = 958.17 GPMH 1676 RIM = 963.70 6" PVC (W) = 960.20
EX 1732	EXISTING CATCH BASIN RIM = 961.58 36" RCP (N) = 955.68 36" RCP (W) = 955.68 10" PVC (SW) = 956.88
EX 2114	EXISTING SANITARY MANHOLE RIM = 960.57 36" RCP (N & S) = 964.51
EX 2189	EXISTING CATCH BASIN RIM = 963.15 36" RCP (NE) = 957.35 36" RCP (W) = 957.45

PROPOSED STRUCTURES	
STRUCT. ID	STRUCTURE DETAILS
MH 1	PROPOSED STORM MANHOLE 48" DIA. RIM=961.74 INV. 15" (N,E)=957.82
MH 2	PROPOSED STORM MANHOLE 48" DIA. RIM=961.59 INV. 15" (W,E)=958.11
MH 3	PROPOSED STORM MANHOLE 48" DIA. RIM=961.29 INV. 15" (W,S)=958.21
CB 4	PROPOSED CATCH BASIN (SEE SHEET C-503) RIM=960.88 INV. 15" (N)=958.42 INV. 12" (S,E)=958.75
CB 5	PROPOSED CATCH BASIN (SEE SHEET C-503) RIM=962.16 INV. 12" (W)=959.83
CB 6	PROPOSED CATCH BASIN (SEE SHEET C-503) RIM=963.15 INV. 12" (N,S)=959.30
CB 7	PROPOSED CATCH BASIN (SEE SHEET C-503) RIM=963.32 INV. 12" (N,S)=959.64
CB 8	PROPOSED CATCH BASIN (SEE SHEET C-503) RIM=964.65 INV. 6" (E)=961.32 INV. 12" (N)=960.82
CO 9	PROPOSED STORM CLEANOUT (SEE SHEET C-503) RIM=965.28 INV. 6" (W)=963.08
CO 10	PROPOSED SANITARY CLEANOUT (SEE SHEET C-503) RIM=965.89 INV. 6" (W)=690.58
GI 11	PROPOSED 1,000 GALLON EXTERIOR GREASE INTERCEPTOR (SEE SHEET C-503) RIM=965.25 INV. 6" PVC (E)=960.75 INV. 6" PVC (W)=960.50

BENCHMARKS:
STATE PLANE GRID NORTH, NAD 83 (2011),
GEOID 128, OHIO NORTH ZONE,
TIED BY GPS TO THE O.D.O.T. VRS.
ELEVATIONS ARE NAVD 88.
BENCHMARK #1 - BOX CUT ON LIGHT POLE BASE
N 543410.776, E 2143948.34
ELEVATION = 963.38
BENCHMARK #2 - X CUT ON BONNET BOLT
N 543324.168, E 2143765.172
ELEVATION = 964.05



UTILITIES SHOWN ON SURVEY WERE LOCATED
BASED ON FIELD MARKING PROVIDED BY
REQUEST #A917102107-00A AND #A917201437-00A.



THIS SUBMITTAL IS FOR GENERAL INFORMATION ONLY AND IS PRELIMINARY IN NATURE. AS SUCH, ANY OTHER OR RELIANCE IS STRICTLY PROHIBITED.



DATE	REMARKS

CONTRACT DATE: 09.30.20
BUILDING TYPE: END. MED40
PLAN VERSION: MARCH 2020
BRAND DESIGNER:
SITE NUMBER: -
STORE NUMBER: -
PA/PM: MY
DRAWN BY:
JOB NO.: 2019088.18

TACO BELL
1061 N. Court St
Medina, OH 44256

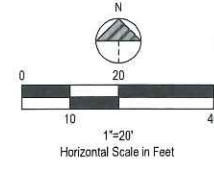
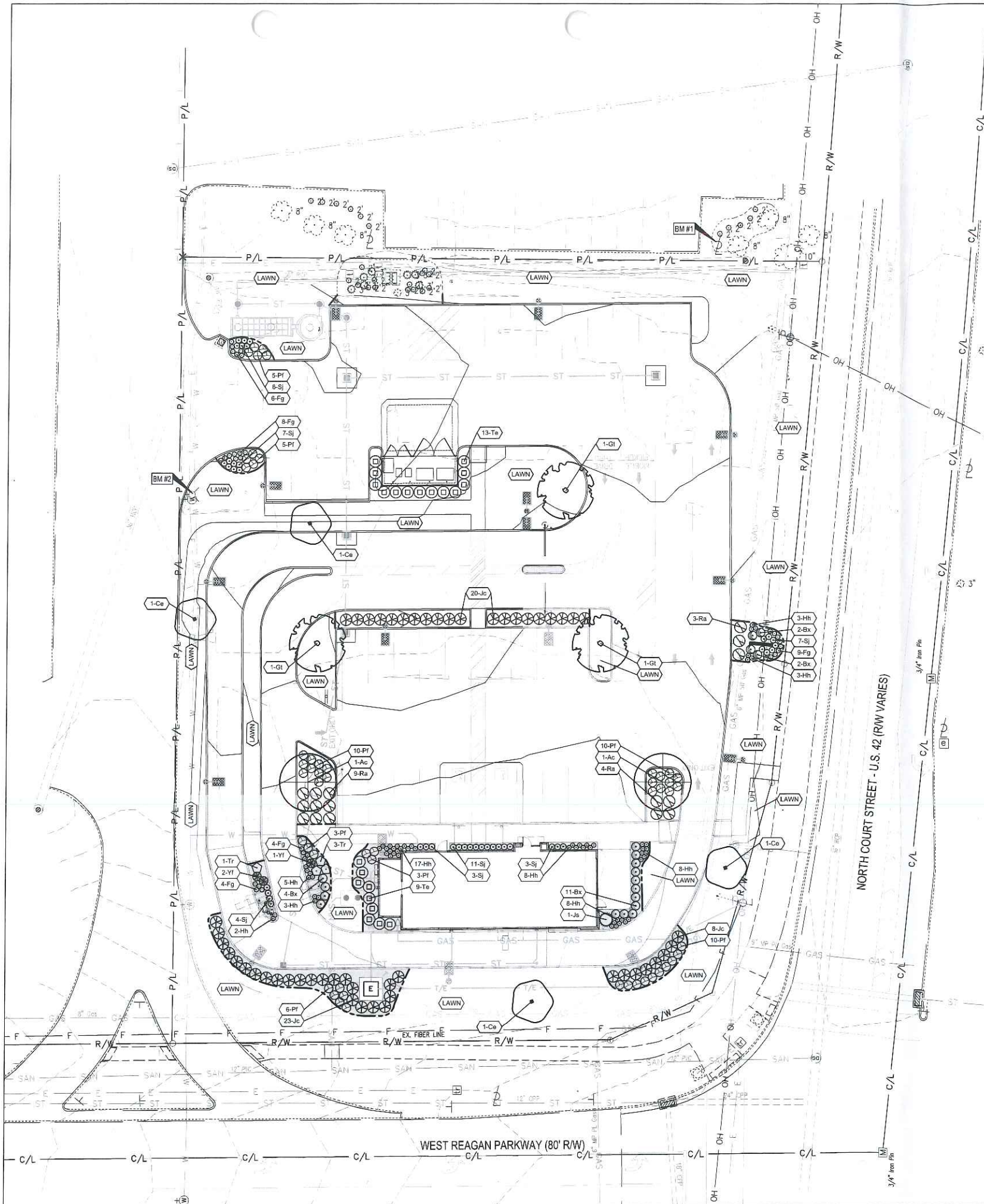


ENDEAVOR 1.0

UTILITY PLAN

C-131

PLOT DATE:



BENCHMARKS:
 STATE PLANE GRID NORTH, NAD 83 (2011),
 GEOID 12B, OHIO NORTH ZONE,
 TIED BY GPS TO THE O.D.O.T. VRS.
 ELEVATIONS ARE NAVD 88.

BENCHMARK #1 - BOX CUT ON LIGHT POLE BASE
 N 543410.776, E 2143948.34
 ELEVATION = 963.38

BENCHMARK #2 - X CUT ON BONNET BOLT
 N 543324.168, E 2143765.172
 ELEVATION = 964.05



UTILITIES SHOWN ON SURVEY WERE LOCATED
 BASED ON FIELD MARKING PROVIDED BY
 REQUEST #A917102107-00A AND #A917201437-00A.

- LANDSCAPE NOTES**
- MULCH SHALL BE NON-DRYED, DOUBLE SHREDDED HARDWOOD AND SHALL BE INSTALLED IN ALL OTHER LANDSCAPE BEDS OUTSIDE OF THE RIVER ROCK MULCH AREA AT A DEPTH OF 3 INCHES.
 - RIVER ROCK MULCH AREA SHALL BE AGGREGATE MULCH, 3/4"-2" IN SIZE, WASHED AND ROUNDED, SHALL BE INSTALLED WITHIN THE RIVER ROCK MULCH AREA PER THE PLAN. RIVER ROCK MULCH SHALL BE INSTALLED AT 3" INCHES DEPTH.
 - ALL DISTURBED AREAS NOT TO BE PAVED OR MULCHED SHALL BE LAWN AREAS AND SODDED.
 - ALL DISTURBED AREAS WITHIN THE R.O.W. NOT TO BE PAVED, SHALL BE SEEDED TO MATCH EXISTING.

- LANDSCAPE LEGEND**
- PROPOSED LANDSCAPE BED EDGE
 - PROPOSED TREE
 - PROPOSED SHRUB / PERENNIAL
 - PROPOSED LIMESTONE BOULDER, DESERT SAND, 12"-36"
 - PROPOSED PLANT QUANTITY AND SYMBOL
 - PROPOSED LAWN AREA
 - PROPOSED RIVER ROCK MULCH AREA

GPD GROUP
 Glau, Pyle, Schomer, Burns & DeHaven, Inc.
 520 South Main Street, Suite 2531
 Akron, OH 44311
 330.572.2100 Fax 330.572.2101
 Copyright: Glau, Pyle, Schomer, Burns & DeHaven, Inc. 2020

THIS SUBMITTAL IS FOR GENERAL INFORMATION ONLY AND IS PRELIMINARY IN NATURE. AS SUCH, ANY OTHER OR RELIANCE IS STRICTLY PROHIBITED.

STATE OF OHIO
 IVAN VALENTIC
 1106
 REGISTERED
 LANDSCAPE ARCHITECT

 10/20/20

DATE	REMARKS

CONTRACT DATE: 09.30.20
 BUILDING TYPE: END, MED40
 PLAN VERSION: MARCH 2020
 BRAND DESIGNER:
 SITE NUMBER: -
 STORE NUMBER: -
 PA/PM: MY
 DRAWN BY:
 JOB NO.: 2019088.18

TACO BELL
 1061 N. Court St
 Medina, OH 44256

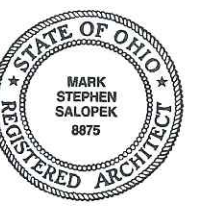


ENDEAVOR 1.0
LANDSCAPE PLAN

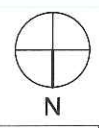
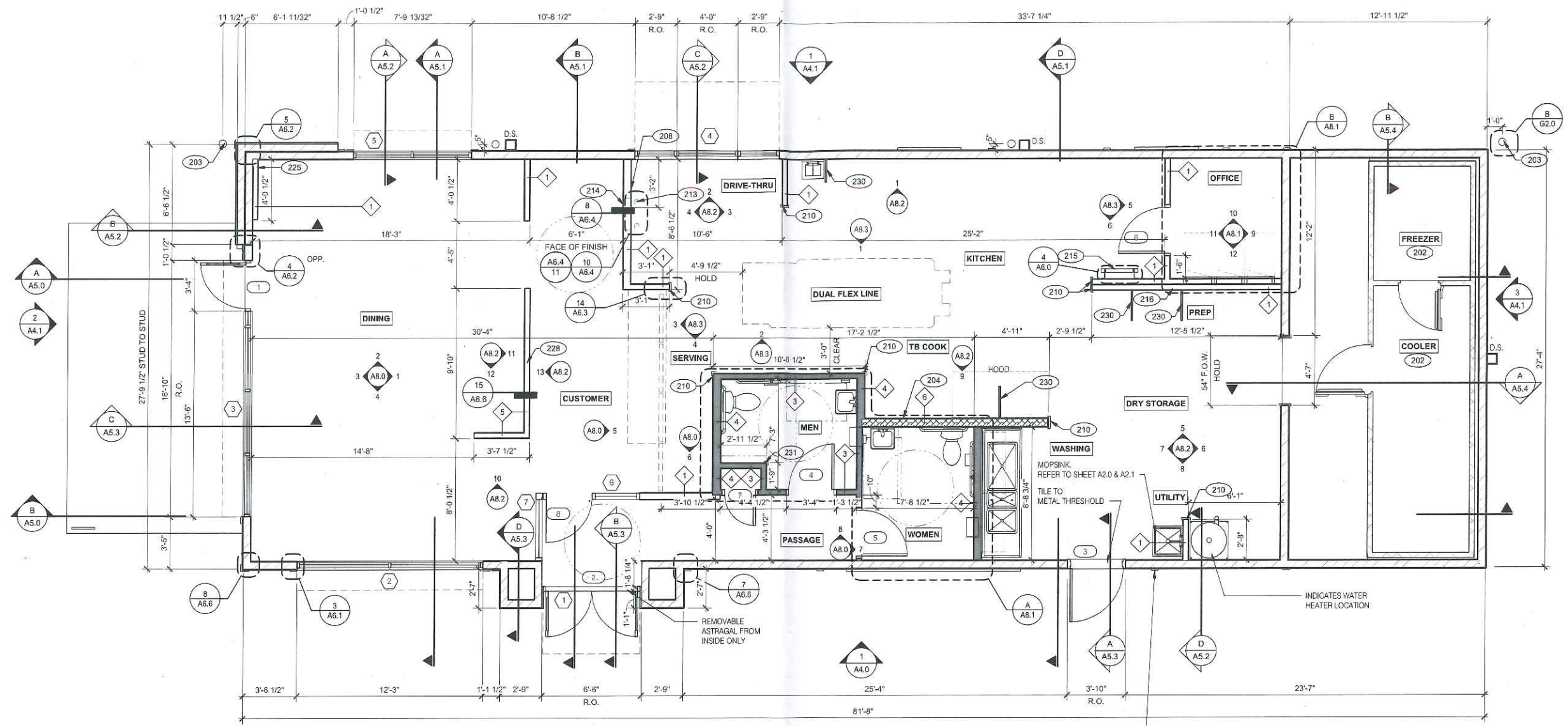
L-101
 PLOT DATE:

PLANT LIST

Symbol	Botanical Name	Common Name	Qty.	Min. Size	Condition	Remarks
Ac	Acer x freemanii 'Sienna'	Sienna Glen Maple	2	2.5" Cal.	B&B	Specimen
Bx	Buxus x 'Green Gem'	Green Gem Boxwood	19	24" H	B&B	3' o/c
Ce	Cercis canadensis	Eastern Redbud	4	1.5" Cal.	B&B	Specimen
Hh	Hemerocallis 'Happy Returns'	Happy Returns Daylily	57	No. 1	Cont.	1.5' o/c
Fg	Festuca glauca	Blue Fescue	31	No. 2	Cont.	Per Plan
Gt	Gleditsia triacanthos f. inermis 'Skyline'	Skyline Honeylocust	3	2.5" Cal.	B&B	Specimen
Jc	Juniperus chinensis 'Sea Green'	Sea Green Juniper	51	24" H	B&B	3.5' o/c
Js	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	1	5' H	B&B	5' o/c
Pf	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	52	No. 5	Cont.	3' o/c
Ra	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	16	No. 5	Cont.	4.5' o/c
Sj	Spiraea japonica 'Double Play, Candy Corn'	Double Play Candy Corn Spiraea	41	No. 3	Cont.	2' o/c
Te	Thuja occidentalis 'Smaragd'	Emerald Arborvitae	22	5' H	B&B	4' o/c
Tr	Thuja occidentalis 'Rheingold'	Rheingold Arborvitae	4	No. 5	Cont.	3' o/c
Yf	Yucca filamentosa 'Color Guard'	Color Guard Yucca	3	No. 5	Cont.	Per Plan



Mark S. Salopek License #8875
 Expiration Date December 31, 2021



FLOOR PLAN 1/4" = 1'-0" 1

DATE	REMARKS

CONTRACT DATE: 09.30.20
 BUILDING TYPE: END, MED40
 PLAN VERSION: MARCH 2020
 BRAND DESIGNER: -
 SITE NUMBER: 314124
 STORE NUMBER: 452487
 P&P/M: MY
 DRAWN BY: RS
 JOB NO.: 2019088.18

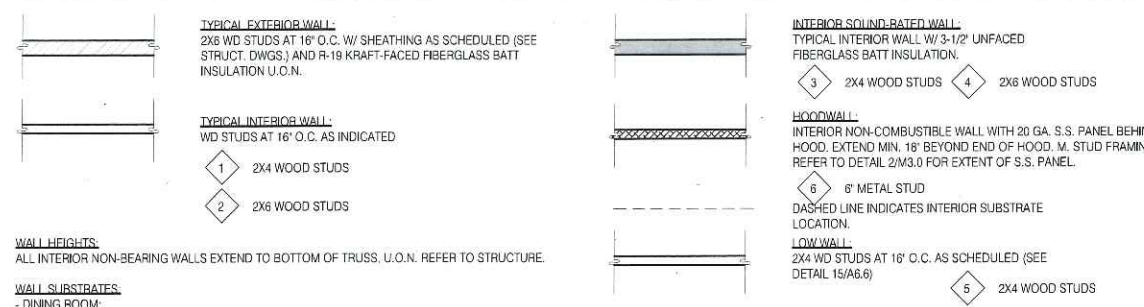
TACO BELL
 1061 N Court St.
 Medina, OH 44256



ENDEAVOR 1.0 FLOOR PLAN

A1.0

PLOT DATE: 10/20/2020 12:21:18 PM



WALL HEIGHTS:
 ALL INTERIOR NON-BEARING WALLS EXTEND TO BOTTOM OF TRUSS. U.O.N. REFER TO STRUCTURE.

WALL SUBSTRATES:
 - DINING ROOM:
 1/2" GYPSUM WALLBOARD FROM FLOOR SLAB TO 6" ABOVE CEILING HEIGHT U.O.N.
 - KITCHEN WALLS AND DINING ROOM CLOSET:
 1/2" CEMENT WALLBOARD FROM T.O. SLAB T.O. 12" A.F.F. AT 12" A.F.F., USE 1/2" CDX PLYWOOD W/FRP SURFACE FINISH TO 6" ABOVE CEILING HEIGHT U.O.N. IF DOUBLE SIDE SHEAR WALL PLYWD IS SPECIFIED THE PLYWOOD SHALL BE CONTINUOUS FROM SILL PLATE TO TOP PLATE.
 - RESTROOM WALLS:
 5/8" CEMENT WALLBOARD FROM T.O. SLAB OR T.O. CONCRETE CURB TO 48" A.F.F., WITH 5/8" HI-IMPACT BRAND XP WALLBOARD, TYPE X CORE FROM T.O. CEMENT BOARD TO CEILING HEIGHT U.O.N. NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED.
 - ALL OTHER FRAME WALL CONDITIONS:
 1/2" CEMENT WALLBOARD FROM T.O. SLAB OR T.O. CONCRETE CURB TO 48" A.F.F., WITH 1/2" GYPSUM WALLBOARD FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N. FINISH AS SCHEDULE.

WALL LEGEND E

DIMENSIONS:
 A. ALL DIMENSIONS ARE TO FACE OF STUD U.O.N. REFER TO FOUNDATION PLAN FOR FACE OF CONC. DIMENSIONS.
 B. DIMENSIONS NOTED AS 'CLEAR' OR 'HOLD' ARE MIN. REQUIRED. NET CLEARANCE FROM FACE OF WALL / WAINSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.

WINDOWS / DOORS:
 A. SEE SHT. A1.1 FOR WINDOW TYPES AND DOOR SCHEDULE.
 B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.

FINISH SUBSTRATES:
 A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 12" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES. U.O.N.
 B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH 'NSF INTERNATIONAL' APPROVED SEALANTS.
 C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE. U.O.N.

DECOR:
 A. SEE A2.0 FOR SEATING PLAN AND DETAILS.
 B. SEE A7.0 FOR FLOOR FINISHES.
 C. SEE A8.0 - A8.3 FOR WALL FINISHES.
 D. SEE A7.1 FOR CEILING FINISHES.

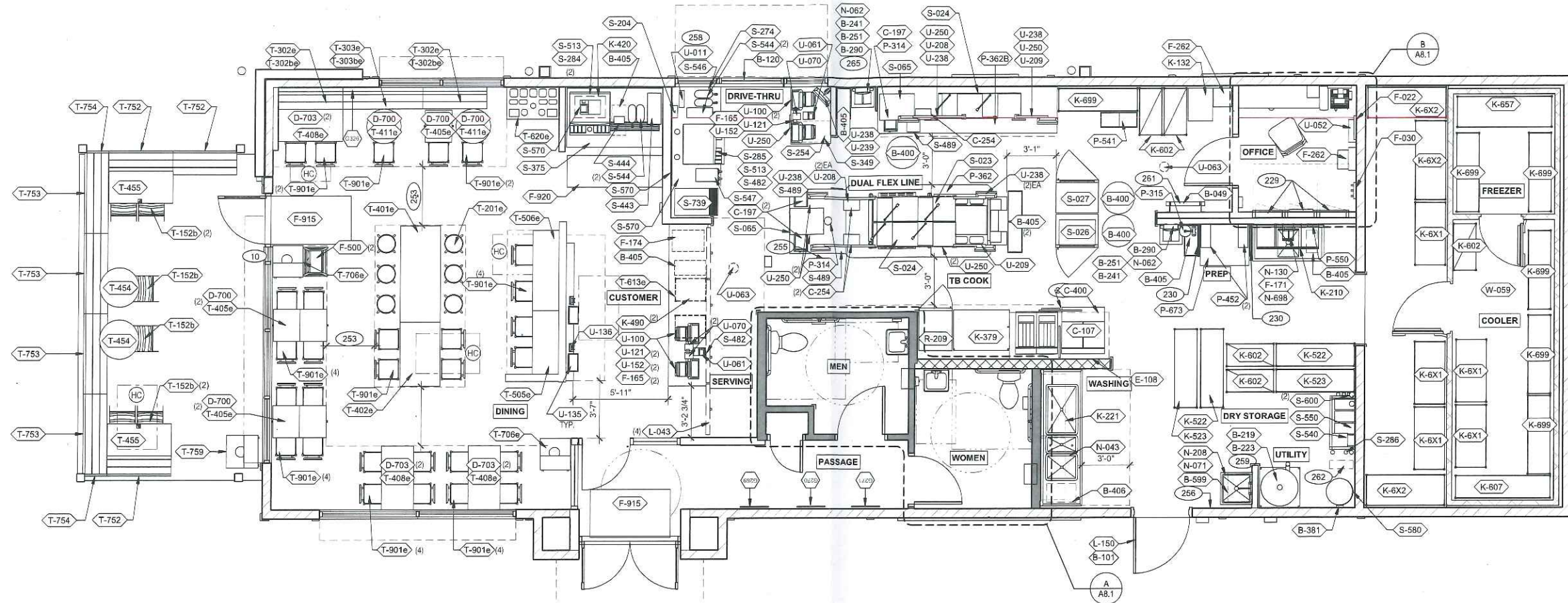
GENERAL:
 A. PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 lb. BC AND (1) 10 lb. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHAL OR LOCAL AUTHORIZING AGENT. FOR ADDITIONAL INFORMATION SEE SHEET A2.0
 B. DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.

FLOOR PLAN NOTES D

- 202 NO FRP BEHIND W-059 WALK-IN COOLER/FREEZER.
- 203 PIPE BOLLARD. SEE CIVIL DRAWINGS.
- 204 HOOD WALL, SEE WALL LEGEND.
- 208 KEEP CLEAR FOR UTILITIES & SYRUP LINES.
- 210 S.S. CORNER GUARD/WALL CAP (TM-2), TYP. ALL CORNERS IN BACK OF HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER.
- 213 SYRUP LINE CHASE (ABOVE).
- 214 14"x14" HORIZONTAL OPENING FOR SYRUP TUBES. COORDINATE WALL PENETRATION WITH COUNTER INSTALLER. SEAL CHASE TO COUNTER.
- 215 ROOF LADDER.
- 216 ADD SECOND 2X4 WALL ON KITCHEN SIDE.
- 225 FUR OUT WALL AS INDICATED WITH 2X4 WOOD STUDS AT 16" O.C.
- 228 LOW WALL. BY G.C. COORDINATE WITH STRUCTURAL DRAWINGS.
- 230 STAINLESS STEEL SPLASH GUARD. SEE DETAIL 9/A6.3.
- 231 CORNER GUARD TILE SCHLUTER. SEE DETAIL 15/A6.3.

KEY NOTES B

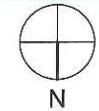
C:\Users\pflueger\Documents\ENMOML_Medina_OH_Arch_10/20/2020



Mark S. Salopek License #8875
 Expiration Date December 31, 2021

DATE	REMARKS

CONTRACT DATE: 09.30.20
 BUILDING TYPE: END. MED40
 PLAN VERSION: MARCH 2020
 BRAND DESIGNER:
 SITE NUMBER: 314124
 STORE NUMBER: 452487
 PA/PM: MY
 DRAWN BY: RS
 JOB NO.: 2019088.18



EQUIPMENT AND SEATING PLAN 1/4" = 1'-0" **A**

TAG	QTY	ITEM DESCRIPTION	TAG	QTY	ITEM DESCRIPTION
T-152b	6	VEKINAS SIDE CHAIR BY KIAN	T-506e	1	COUNTER TOP - 60" X 20" X 30"
T-201e	6	BARREL BARSTOOL - 29 PURPLE WOOD SEAT	T-613e	1	POS COUNTER 121 - 3 POS
T-302be	2	BENCH BACK REST - 48"	T-620e	1	CONDIMENT COUNTER - RECTANGLE
T-302e	2	BENCH SEAT - 48"	T-706e	2	WASTE ENCLOSURE - SINGLE
T-303be	1	BENCH BACK REST - 60"	T-752	3	48" FENCH
T-303e	1	BENCH SEAT - 60"	T-753	4	60" FENCH
T-401e	1	HUB TABLE - 72" - HIGH TOP	T-754	2	16" RAILING
T-402e	1	HUB TABLE - 48" - HIGH TOP	T-759	1	SINGLE TRASH RECEPTACLE
T-405e	5	LAMINATE TABLE - 24 X 20 X 30 - 2 TOP	T-901e	29	CHAIR - LAMINATE SEAT
T-408e	3	LAMINATE TABLE ADA - 24 X 48 X 30 - 4 TOP			
T-411e	2	SS TABLE - 24 DIA X 30 - 2 TOP			
T-454	2	INTERLACE DINING TABLE BY KIAN			
T-455	2	48x24 TABLE TOP AND BASE WITH ADA CENTER - EXTERIOR			
T-505e	1	COUNTER TOP - 48" X 20" X 30"			

FURNITURE PACKAGE - BY FURNITURE VENDOR U.O.N. **E**

QTY.	NAME	FAMILY	FRAME OR MURAL	SIZE	LOCATION
1	HIPNOTIZE ME BELL	D	M01	CUSTOM	SEE A8.0
1	CAMO PATTERN	D	F01	28x40	SEE A8.0
1	CAMO PATTERN	D	F02	28x40	SEE A8.0
1	CAMO PATTERN	D	F01	28x40	SEE A8.0

ARTWORK SCHEDULE **D**

DECOR
 1. REFER TO SC SHEETS FOR SCOPE OF WORK RESPONSIBILITIES
 2. (HC) SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

STORAGE TYPE	LINEAR FT.
DRY STORAGE	76
COLD STORAGE	32
FROZEN STORAGE	16

SHELVING QUANTITIES **C2**

- GENERAL NOTES** **C1**
- ELECTRICAL PANELS.
 - STAINLESS STEEL SPLASH GUARD. SEE DETAIL 9/A6.3.
 - HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL).
 - MAINTAIN 36" MIN. CLEAR ACCESSIBLE AISLE EGRESS PATHS TO EXIT DOORS, 32" AT DOORWAYS AND CASED OPENINGS. (42" AISLE REQUIRED WHEN AISLE SERVES MORE THAN 50 SEATS).
 - ALERT LIGHT BOX FOR 3-COMP POWER SOAK.
 - PULL STATION @ 3'-8" A.F.F.
 - COORDINATE LOCATION OF HORIZONTAL PVC SYRUP CHASE THRU WALL TO COUNTER.
 - 6" HIGH WATER HEATER PLATFORM.
 - ROOF LADDER WITH BILCO LADDER UP SAFETY POST.
 - 8" LADDER.
 - AUTOMATIC HAND SOAP AND SANITIZER DISPENSERS PROVIDED BY ECOLAB.

KEY NOTES **B**

TACO BELL

1061 N Court St.
 Medina, OH 44256



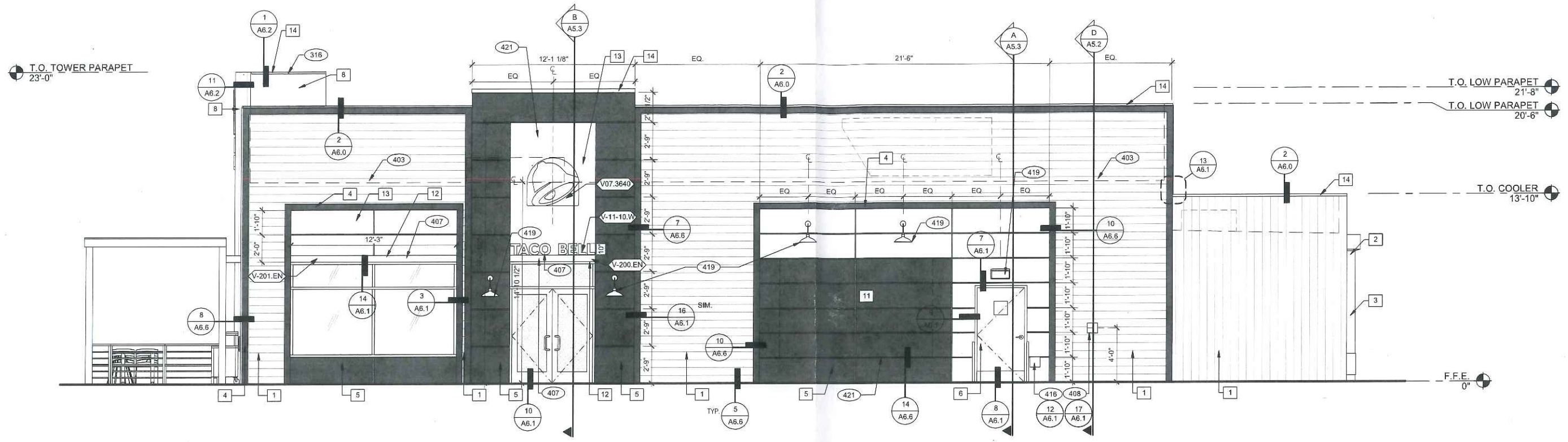
**ENDEAVOR 1.0
 EQUIPMENT
 AND SEATING
 PLAN**

A2.0

PLOT DATE: 10/20/2020 12:21:25 PM



Mark S. Salopek License #8875
 Expiration Date December 31, 2021



FRONT ELEVATION 1/4" = 1'-0" **1**

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
TOWER			
V-04.3640	2	LARGE SWINGING BELL PURPLE LOGO 3' 6" X 4' 0"	A4.1
V-09.16W	2	LARGE TB 16" CHANNEL LETTERS WHITE (2) STACKED (1) LINEAR	A4.1
SIDE ENTRY			
V-07.3640	1	LARGE SWINGING BELL FLAT CUT OUT WALL MOUNTED 3' 6" X 4' 0" WHITE	A4.0
V-11.1.10W	1	TB 10" LETTER - FLAT OUT OUT - LINEAR - AWNING MOUNTED - UP LIT - WHITE	A4.0
V-200.EN	1	SIDE ENTRY AWNING 6' 4" X 6' 3" BLACK	A4.0
DRIVE THRU			
V-101.DT	1	DT AWNING (OVER DT) 9' 0" X 4' 0" BLACK	A4.1
EYEBROW AWNINGS			
V-202.EN	1	FRONT EYEBROW (WINDOW) 16' 7" X 6' H X 1' 4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7' 8" L X 6' H X 1' 4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12' L X 6' H X 1' 4" D BLACK	A4.0

MISCELLANEOUS
 A. SEE SHEET A1.1 'WINDOW TYPES' FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS)
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
 C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

CRITICAL DIMENSIONS
 A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

PAINTING
 APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
 PRIMER: 1 COAT SW A24W6300
 FINISH: 2 COATS SW A62-100 SERIES. MATCH COLORS FROM MATERIAL SCHEDULE.
 A-100 EXTERIOR LATEX SATIN.

NOT USED **I**

SIGNAGE **G**

GENERAL NOTES **F**

PAINT NOTES **E**

NOT USED **C**

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE RUSTIC 144"L X 8.25"W, 7' EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A.7.2
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A.7.2
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A.7.2
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1"x5.5"	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A.7.2
5	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A.7.2
6	HOLLOW METAL DOOR & FRAME	-	-	PURPLE (TB2603C), SEMI-GLOSS	-	-	SEE D / A.7.2
7	AWNINGS	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A.7.2
8	CORNER TOWER	-	-	WEATHERED RUSTIC- WESTERN STATES	-	-	SEE D / A.7.2
9	RECESS OF SIDE ENTRY PORTAL	-	-	PURPLE (TB2603C)	-	-	SEE D / A.7.2
10	EXTERIOR ARTWORK PANELS (OPTIONAL)	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE (TB2603C) RUSTIC	-	-	SEE D / A.7.2
11	EXTERIOR MURAL	-	-	-	-	-	SEE D / A.7.2
12	METAL CANOPIES	SIGNAGE VENDOR	-	-	-	-	SEE D / A.7.2
13	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE (TB2603C)	-	-	SEE D / A.7.2
14	METAL PARAPET CAP	-	-	CYBERSPACE (SW7076)	-	-	SEE D / A.7.2

EXTERIOR FINISH SCHEDULE **H**

- 316 METAL PARAPET CAP. SEE DETAIL 2/A6.0 OR 1/A6.2.
- 403 DASHED LINE INDICATES ROOF BEYOND.
- 407 METAL CANOPIES BY SIGNAGE VENDOR. SEE SCHEDULE FOR FINISH.
- 408 CO2 FILLER VALVE & COVER.
- 416 HOSE BIBB BOX AT 18" A.F.F. COORDINATE WITH PLUMBING DRAWINGS.
- 419 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DRAWINGS.
- 421 MURAL.

KEY NOTES **D**

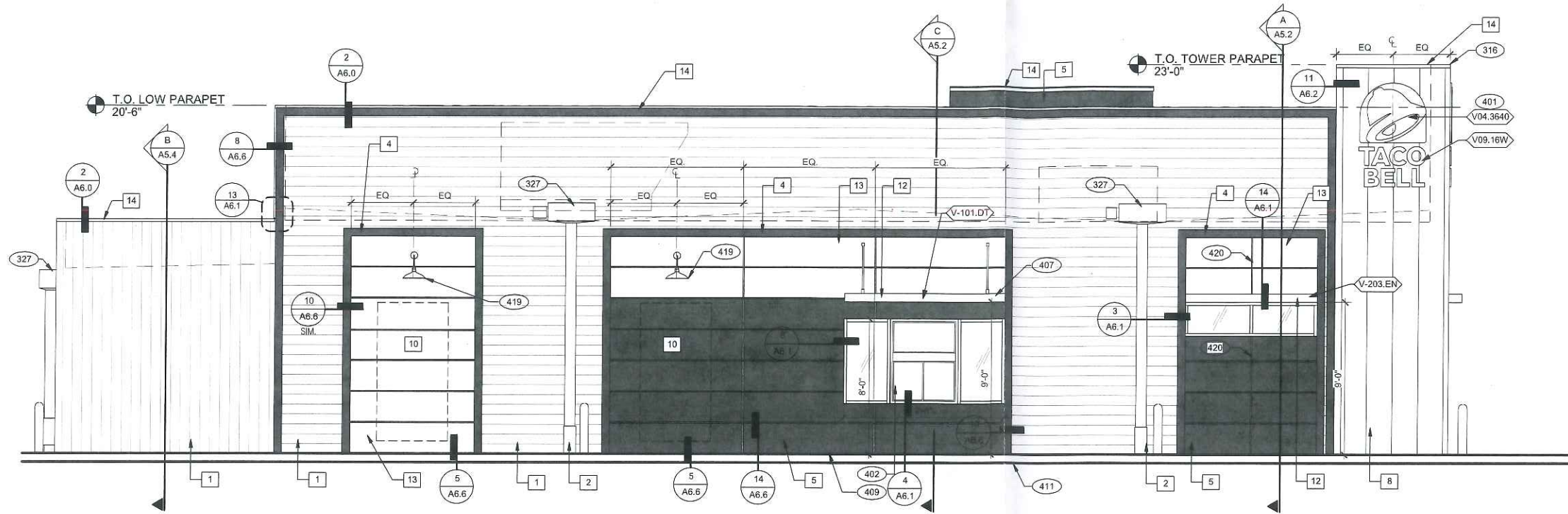
DATE	REMARKS

CONTRACT DATE: 09.30.20
BUILDING TYPE: END. MED40
PLAN VERSION: MARCH 2020
BRAND DESIGNER:
SITE NUMBER: 314124
STORE NUMBER: 452487
PA/PM: MY
DRAWN BY:.
JOB NO.: 2019088.18

TACO BELL
 1061 N Court St.
 Medina, OH 44256

TACO BELL
ENDEAVOR 1.0
EXTERIOR
ELEVATIONS

A4.0
 PLOT DATE: 10/20/2020 12:21:32 PM

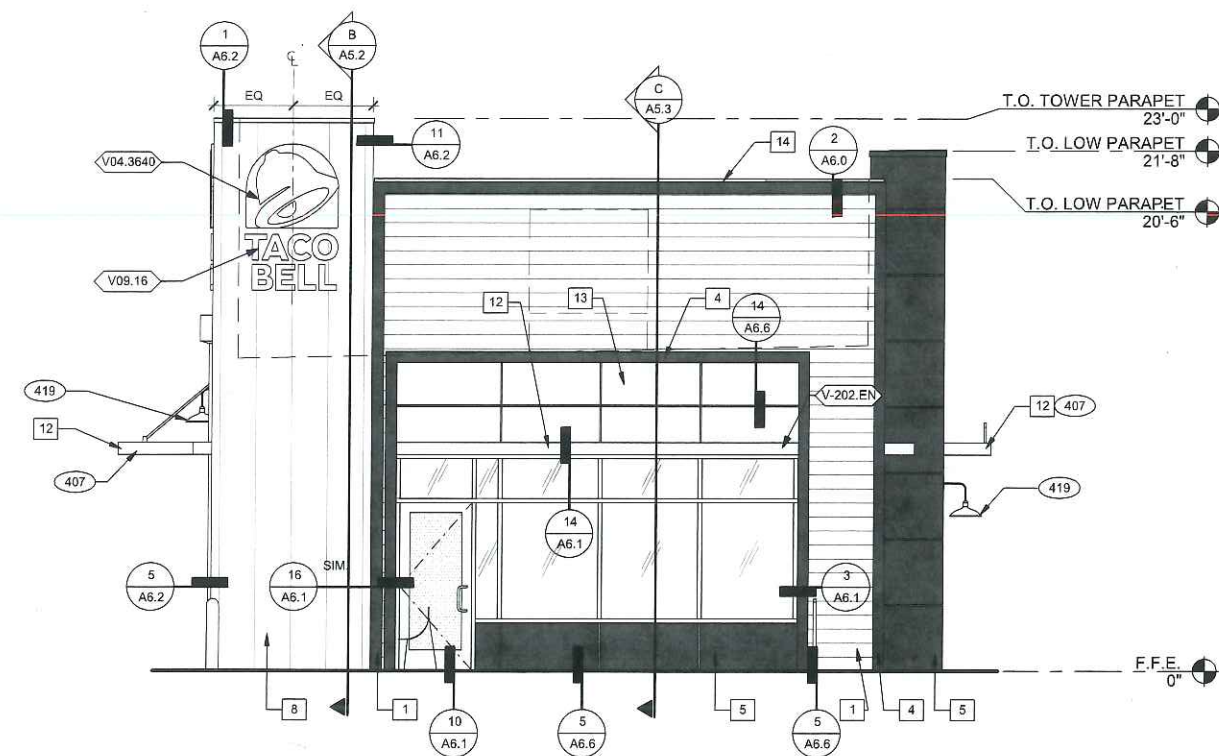


REAR ELEVATION 1/4" = 1'-0" 1

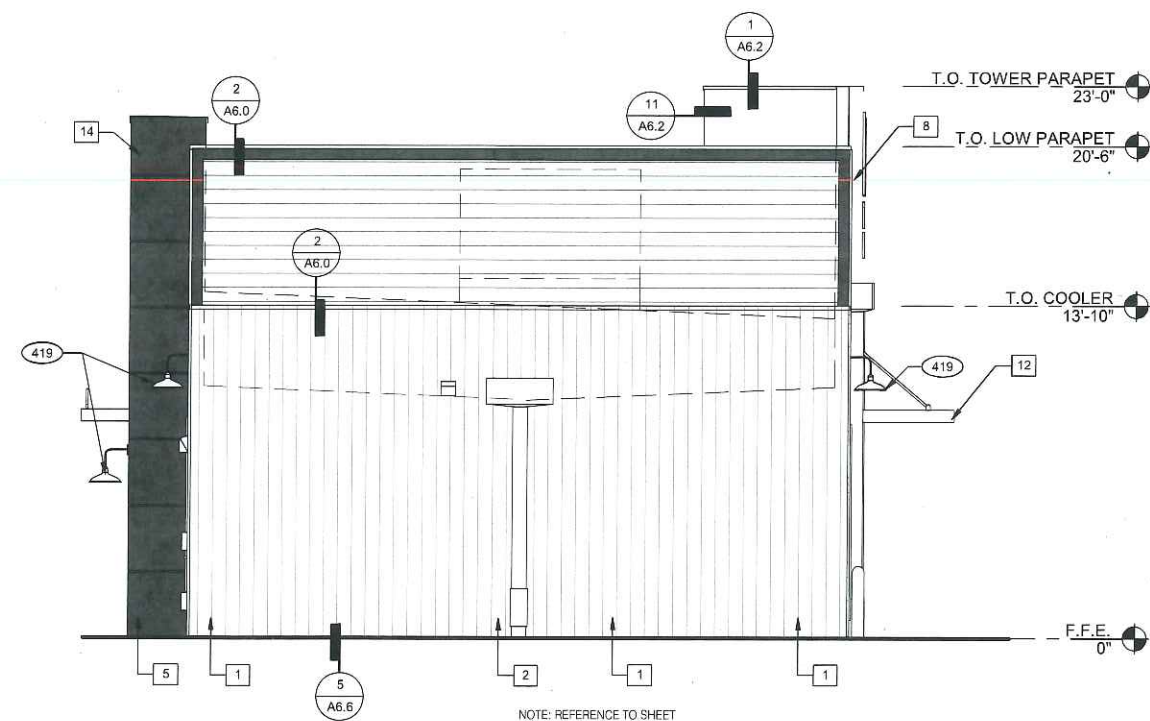
- KEY NOTES**
- 316 METAL PARAPET CAP. SEE DETAIL 2/A6.0 OR 1/A6.2.
 - 327 SCUPPER AND DOWNSPOUT. SEE DETAIL F/A3.0.
 - 401 BUILDING SIGN BY SIGN VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
 - 402 DRIVE THRU WINDOW. SEE SHEETS A1.0 AND A1.1.
 - 407 METAL CANOPIES BY SIGNAGE VENDOR. SEE SCHEDULE FOR FINISH.
 - 409 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
 - 411 CONCRETE CURB.
 - 419 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DRAWINGS.
 - 420 CENTER REVEAL ON VERTICAL WINDOW MULLION.



Mark S. Salopek License #8875
Expiration Date December 31, 2021



FRONT ELEVATION 1/4" = 1'-0" 2



NOTE: REFERENCE TO SHEET A4.0 FOR COLOR LEGEND

REAR ELEVATION 1/4" = 1'-0" 3

DATE	REMARKS

CONTRACT DATE: 09.30.20
BUILDING TYPE: END. MED40
PLAN VERSION: MARCH 2020
BRAND DESIGNER:
SITE NUMBER: 314124
STORE NUMBER: 452487
PA/PM: MY
DRAWN BY:
JOB NO.: 2019088.18

TACO BELL

1061 N Court St.
Medina, OH 44256



ENDEAVOR 1.0
EXTERIOR
ELEVATIONS

A4.1

PLOT DATE: 10/20/2020 12:21:41 PM



PHOTOMETRICS COMPLETED BY CAPITOL LIGHT

LOCATION MEDINA, OH



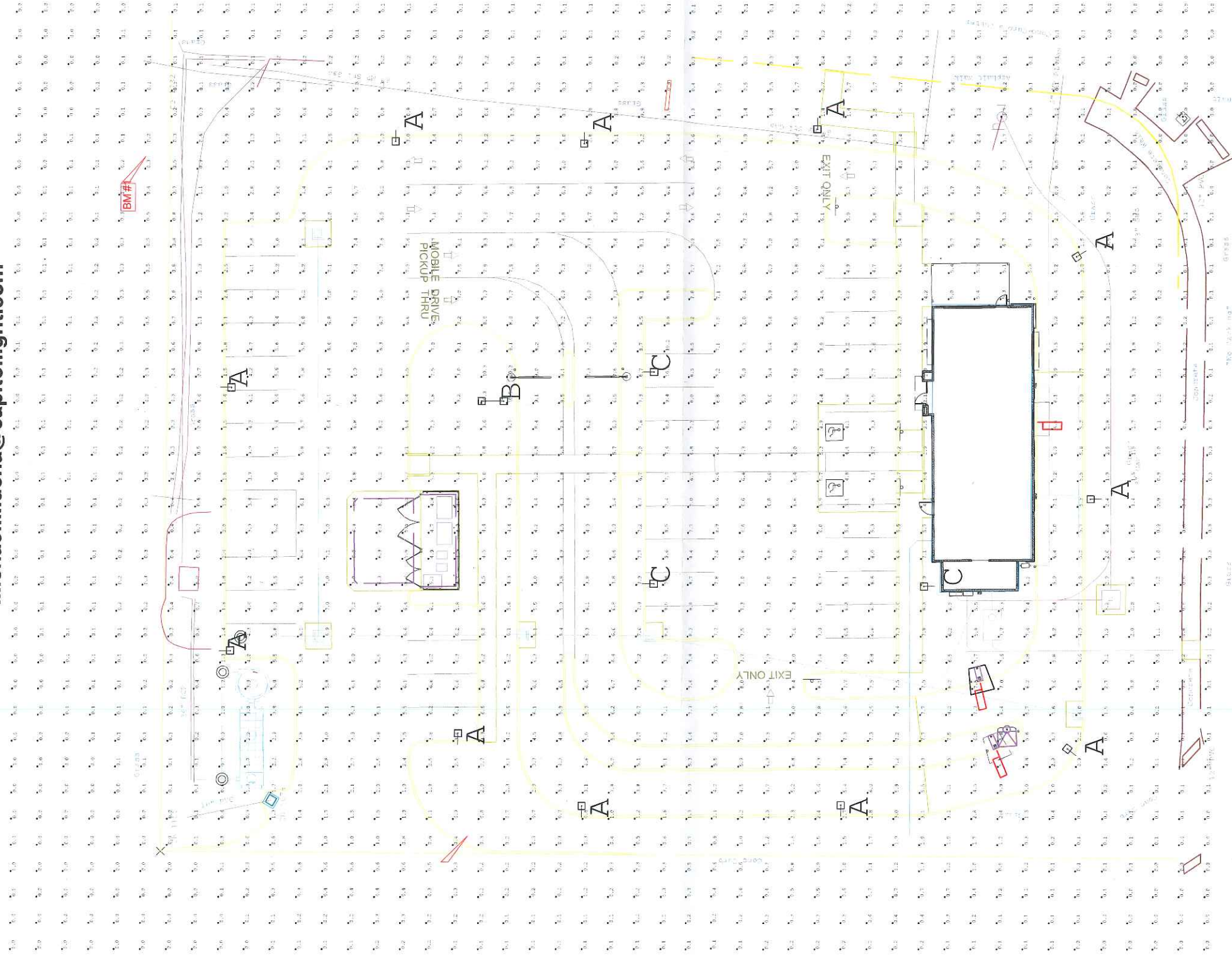
Please contact **Thomas Balacki** or **Michael Mucha** if you would like a quote or to place an order

Thomas - 860-520-2373

Thomas.Balacki@capitolight.com

Michael - 860-520-2366

Michael.Mucha@capitolight.com



Luminaire Schedule

Symbol	Qty	Label	Description
□	11	A	MRM-LED-24L-SIL-FT-40-70CRI-IL MOUNTED AT 25' (22' POLE - 3' BASE)
□	1	B	MRM-LED-24L-SIL-FT-40-70CRI MOUNTED AT 25' (22' POLE - 3' BASE)
□	3	C	MRM-LED-24L-SIL-FT-40-70CRI MOUNTED AT 25' (22' POLE - 3' BASE)

Calculation Summary

Label	Avg	Max	Min	Avg/Min	Max/Min
-	N.A.	N.A.	N.A.	N.A.	N.A.
DRIVE THRU SURFACE	6.12	9.1	2.5	2.45	3.64
PARKING LOT SURFACE	6.31	10.2	2.6	2.43	3.92

Based on the information provided, all dimensions and luminaire locations show represent recommended positions or positions provided by third party. The engineer and/or architect have the sole responsibility to determine applicability of the layout to existing or future field conditions.
This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with IES approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.