

MEETING DATE: 12-10-20

PLANNING COMMISSION

**Case No. P20-20
1007 N. Court St.**



CITY of MEDINA
Planning Commission
December 10, 2020 Meeting


Case No: P20-20

Address: 1007 N. Court Street

Applicant: Ellen Selle, GPD Group representing Chick-fil-a

Subject: Site Plan Review & Conditional Zoning Certificate – site reconstruction for new restaurant with drive-through

Zoning: C-3 General Commercial

Submitted by: Jonathan Mendel, Community Development Director 

Site Location:

The property is located on the west side of North Court Street at the southwest corner of N. Court Street and W. Reagan Parkway and is adjacent to C-3 zoning on all sides.

Project Introduction:

The applicant proposes the complete redevelopment of the existing site (former Eat-N-Park) with a new 5,000 sqft Chick-fil-a drive-through restaurant building and accessory parking areas and circulation areas.

Please find attached to this report:

1. Aerial photograph
2. November 25, 2020 Engineering Department comment letter and December 3, 2020 response letter from Ms. Selle of GPD Group
3. Site improvement and building elevation plans received November 19, 2020

District Regulations – Section 1137:

A restaurant is a permitted use, but a drive-through facility is a conditionally permitted use. Since this is a full scale change to the capacity and extent of the drive-through facility, the Conditional Zoning Certificate review and approval is required for this project.

Public Hearing: The Zoning Code requires the Planning Commission to conduct a Public Hearing for a proposed Conditional Use. The legal notices have been issued to permit the Public Hearing at the December 10, 2020 meeting. Based on the review of the

case and the public hearing the Planning Commission may impose such additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights and for the insuring that the intent and objectives of this Zoning Ordinance will be observed.

Section 1153.03(b) Conditional Use General Standards:

The Planning Commission shall review the particular facts and circumstances of each proposed use in terms of the following standards:

- (1) Will be harmonious with and in accordance with the general objectives or with any specific objectives of the Land Use and Thoroughfare Plan of current adoption;*
- (2) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;*
- (3) Will not be hazardous or disturbing to existing or future neighboring uses;*
- (4) Will not be detrimental to property in the immediate vicinity or to the community as a whole;*
- (5) Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection drainage structures, refuse disposal and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide such service adequately;*
- (6) Will be in compliance with State, County and City regulations;*
- (7) Will have vehicular approaches to the property which shall be so designed as not to create an interference with traffic or surrounding public streets or roads.*

Staff Comment:

The proposed drive-through facility complies with the applicable drive-through requirements of Section 1155.10 of the Planning and Zoning Code. Although, the proposed double lane drive-through is fully within this property, the site's access drive in the northwest corner of the property is quite close to the main Reagan Pkwy entrance to the north-south private drive for the commercial superblock in which the subject property is located. The City of Medina Engineering Department had initial comments on the submittal (see attached Engineering comments dated November 25, 2020) and then later discussed these comments with the applicant.

The solution is to mitigate excessive queuing toward Reagan Pkwy by introducing a right-in only design (for the drive-through entrance) to the site's entry drive from the superblock's private north-south drive to specifically manage/direct traffic entering the drive-through entrance. This will force excessive off-site drive-through queuing southward onto the private north-south drive (see attached applicant response letter dated December 3, 2020). Additionally, the applicant stated signage will be added to this portion of the site to provide instruction regarding the required traffic management and the business operator will work to provide active on-site vehicle queuing management as well.

Site Plan and Improvement Plan Review:

Applicable Design Review Guidelines – Section 1109.04(c)

- 1. The height, width and general proportions of the structure shall complement adjacent buildings so that an overall harmonious appearance is created and maintained.*

3. *Architectural details and ornamentation shall be meaningful to the overall design and appropriate for the size and scale of proposed structures, and harmonious with other architectural details and ornamentation on adjacent structures.*

7. *Materials shall be appropriate for the structure and the use therein. Materials shall be weather-resistant. The materials shall be compatible with and not in stark contrast to the materials used on adjacent structures.*

8. *Colors and textures shall be appropriate for the size and scale of the proposed structure and shall be harmonious with adjacent structures. Building colors shall consist of earth-tones. Bright, chromatic, colors are discouraged.*

Reviewing the proposed building and site improvements in relation to the above guidelines, the proposed building is consistent with the guidelines and will be harmonious to the surrounding businesses.

Parking and Circulation.

In Section 1145.04 restaurants require 1 parking space for each 2 seats. The proposal requires 100 parking spaces, the applicant has proposed 50 spaces and is compliant as the outdoor dining seating area will be removed from the request at this time.

Lighting: Planning and Zoning Code section 1145.09(C) requires exterior lighting for parking areas. The applicant submitted a compliant site lighting plan.

Landscaping: The applicant proposes compliant parking lot and general site landscaping plans.

City Department Comments:

Police Department No comment at this time

Water/Backflow Requires an ASSE 1013 backflow preventer where the water first enters the building.

Fire Department No comment at this time

Engineering Department. See attached comments dated November 25, 2020 and applicant's response dated December 3, 2020

Economic Development. Recommends approval

City Forester. No comment at this time.

Staff Comments:

Upon completion, the proposed reconstructed and updated restaurant building and site will be a considerable reinvestment in the community and be harmonious with the developed commercial environment on N. Court Street.

Recommendation:

Staff recommends the Planning Commission **approve** the Site Plan and Conditional Zoning Certificate for the proposed 5,000 sqft restaurant with drive-through with the following conditions:

1. Subject to approval of building permits from the Medina Building Department.
2. Subject to site development permit approval by the Medina Engineering Department.

W REAGAN PKWY

E REAGAN PKWY

Subject property

N COURT ST

P20-20
1007 N. Court
SPA and CZC - New Rest.
with drive-through
December 10, 2020



1 inch = 100 feet

MEMO

Date: November 25, 2020
To: Planning Commission
From: Patrick Patton
RE: PC 20-20 Proposed Chick Fil A restaurant at 1007 N. Court St.

Please refer to the [Checklist for Engineering Site Plan Approval – Commercial Development](#), attached.

Upon reviewing the site plan submitted for the above captioned project, I would like to advise the Commission about my concern regarding traffic impacts due to the proposed project.

The site plan indicates that the entrance to the restaurant will be located adjacent to the northern edge of the property. This entrance is located only a short distance from the entrance to the shopping center off of West Reagan Parkway. While the site plan indicates that a total of 40 vehicles can be stacked within the proposed drive thru lanes, our concern is that this may not be enough capacity to prevent vehicles attempting to go to the restaurant from backing up onto West Reagan Parkway.

The City received a project narrative from the applicants engineering consultant (GPD Group) as well as a Traffic Impact Study from a Chick Fil A location in Solon, OH (Prepared by Palmer Engineering). The narrative and the Solon Traffic Impact Study both indicate that sufficient queuing capacity was provided on site at those locations. It is fair to acknowledge that the proposed Medina location would provide more on site queuing capacity (40 vehicles), than the Solon location (27).

While we acknowledge and appreciate the information provided from other locations, we are still concerned about the potential of traffic backing up onto West Reagan Parkway. West Reagan Parkway is a major collector street, and the location of the shopping center entrance on West Reagan Parkway is in close proximity (approximately 270 feet) to a federal route (US 42/North Court Street).

The intersection of West Reagan and North Court is one of the busiest in the City. It, along with the 100 block of West Reagan, has consistently been one of the highest accident rate locations in the City. Access to the shopping center at the West Reagan entrance is permitted from both east bound traffic (turning right) and west bound traffic (turning left). Because of the significant amount of traffic on both streets throughout the day, and the potential that both west bound and east bound traffic could be affected by vehicles backing up onto West Reagan, we are particularly sensitive to this concern.

Because of this concern, I would request the Commission require that the applicant conduct a traffic impact study of this site to investigate this issue. That study should review known traffic generation volumes generated by Chick Fil A's along with traffic volumes and potential impacts (delays) on West Reagan Parkway. I would hope that the study would be able to identify potential modifications to the site plan and/or other improvements that would help mitigate the possibility of traffic impacts on the adjacent streets.

Please be advised that after review of this traffic impact study, the City may require modifications to the submitted site plan to address these issues.

Please feel free to contact me with any question or comment.

Checklist for Engineering Site Plan Approval for Commercial Development

The Engineering Department must review and approve all proposed site plan improvements for every proposed commercial development. Commercial site plans submitted to the Engineering Department for review must include the following:

1. **Existing Conditions Plan** – The plan consists of a topographic survey of the existing parcel. The existing conditions plan must include the following information:
 - 1.1. Existing site contours (2 foot contours, minimum)
 - 1.2. Existing water features including streams, creeks, drainage swales, ponds, delineated wetlands, local and FEMA Floodways, etc.
 - 1.3. Existing structures, other notable geographic features
 - 1.4. Existing utility information, including utilities within and adjacent to the project site
 - 1.5. Lot details including property line and easement data
2. **Site Layout / Proposed Grading Plan** – The site layout and proposed grading plan must include all proposed improvements. It is noted that for some projects, particularly larger project, the site layout and grading plan may be submitted on separate plan sheets. The site layout / proposed grading plan must include the following (proposed location and elevations to be include for all the following):
 - 2.1. Proposed building layout and property parcel information, including proposed building set backs, proposed easements, etc.
 - 2.2. Proposed driveway, parking and sidewalk layout
 - 2.3. Proposed grading and site drainage improvements, including storm sewers, detention basins, new drainage swales, etc.
 - 2.4. Water service details, including tie in location, water lateral location, back flow prevention details, and (if applicable) water meter vault location and details.
 - 2.5. All other applicable utility details (electric, gas, telephone, cable, sanitary sewer, etc.)
 - 2.6. Please note, for some projects the City Engineer may require the applicant to submit cross sections along the site property lines
3. **Storm Water Pollution Prevention and Erosion Control Plan** – A storm water pollution prevention plan is required for all projects. The storm water pollution prevention plan must be completed in accordance with the ‘Medina County Storm Water Management and Sediment Control Manual’.
4. **Storm Water Management and Sediment Control Analysis** - A storm water management and sediment control analysis must be completed on all projects which proposed to disturb more than 0.5 acres of land. For projects of this size, the applicant must complete and submit a storm water management analysis, including pre and post construction runoff calculations, detention calculations, storm water quality analysis, etc. Contact the City Engineer for details regarding required analysis. The storm water management analysis must be completed in accordance with the ‘Medina County Storm Water Management and Sediment Control Manual’.
5. **Landscaping Plan** – A landscaping plan with details (quantity, location and species) of all required trees, shrubs and other vegetation. Please note, the landscaping plan will be reviewed by the City Forester.
6. **Drainage, Pavement and Landscaping Bond** – In accordance with Section 1109.02 (e) of the Codified Ordinance for the City of Medina, all applicants are required to submit a financial guarantee to cover 25% of the estimated costs to complete the drainage, hard surfacing and landscaping improvements for the proposed project. The financial guarantee may be in the form of a performance bond, letter of credit, cash deposit or other form (as approved by the City Law Director and Finance Director). Bond amount to be determined and approved by the City Engineer. The financial guarantee will be released back to the applicant after City Engineer acceptance of all drainage, hard surfacing and landscaping improvements.



December 3, 2020
2020223.20

Mr. Patrick Patton
City Engineer
City of Medina
132 North Elmwood Ave.
Medina, OH 44258-0703
330-722-9034
ppatton@medinaoh.org

RE: Chick-Fil-A #04734
1007 N Court St Medina, OH 44256
Case Number: P20-20 – RESPONSE LETTER

Dear Mr. Patton,

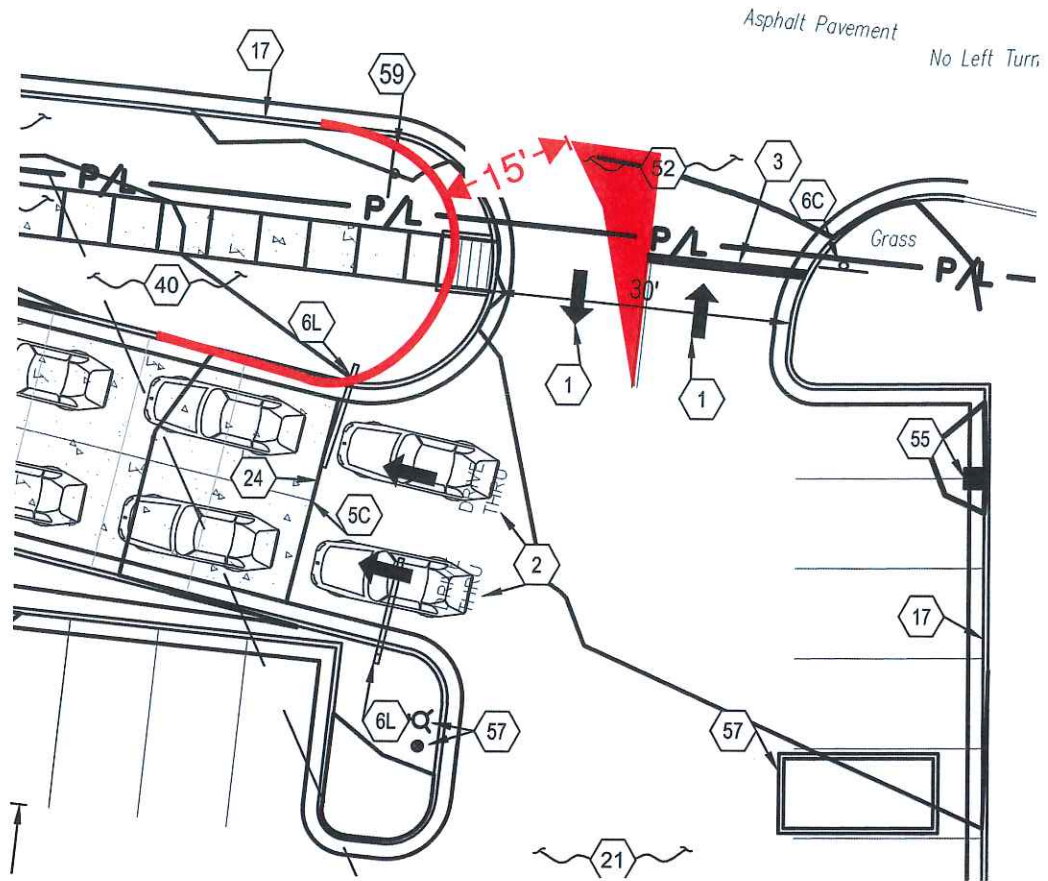
We have received your comments for the above referenced project dated November 25th and discussed with you on December 1st and are therefore providing the response as follows. We would request to keep the scheduled meeting date of December 10th.

The provided data taken from the Solon Traffic Study provides the information requested for this site. The anticipated drive-thru stack during the PM peak hour is 23 vehicles. The proposed site layout over accommodates this number by providing 40 drive-thru parking stall queuing spaces onsite. Additionally, CFA is always looking for ways to reduce the time spent in the drive-thru to help keep the stacking drive-thru cars as low as possible. This is done by staging employees within the drive-thru lanes taking orders and payment. CFA has updated their buildings, and the drive-thru window has been replaced with sliding glass door that allows employees to walk orders to multiple vehicles at the same time. CFA prides itself by setting the bar for the customer's drive-thru experience.

The site layout maximizes the number of cars that can que in the drive-thru lane. This layout reduces the possibility of vehicles within the site backing into the shopping center or backing the traffic traveling from the shopping center to West Reagan Road. Additionally, a proposed sign has been added near CFA's site entry stating "DO NOT BLOCK DRIVEWAY". This is seen as Keynote Number 59 on Sheet C-200, Site Plan. The additional of this sign should keep the access open reducing the impact of a backup from West Reagan into the shipping center cross access drive.

During our discussion we touched on both the site limitations and history of the site and adjacent ODOT improvements. Introducing a limitation of right turn only into the site to further minimize impact on the surrounding public and private roads. This can be seen in the quick sketch below with the use of a raised curb. The formal plan revision has not been completed and may result in minor site adjustments.





CFA understands the opening of a new store will generate excitement and typically draws a larger crowd that later reduces to a more standard number of drive-thru cars during the peak hours. As discussed, CFA can provide a letter or plan for the store opening that addresses a larger than typical volume of traffic during the stores opening days.

We understand the concern with the referenced intersection of West Reagan and North Court and will continue to work the City to mitigate any concerns. If you have any questions regarding this letter or the Medina project, I can be reached at 216-927-8650 or by email at eselle@gpdgroup.com.

Sincerely,

GPD Group

Ellen Selle

Ellen Selle, PE
Project Manager

ALTA/NSPS LAND TITLE SURVEY

CITY OF MEDINA
COUNTY OF MEDINA
STATE OF OHIO

TITLE DESCRIPTION:

PARCEL 1 (FEE):

Situated in the City of Medina, County of Medina and in the State of Ohio and known as being the whole of Medina City Lot 6533.

Excepting therefrom the following described parcel:

Situated in State of Ohio, County of Medina, City of Medina and being a part of City Lot 6533 as recorded in Plat Volume 26, Page 43 on 6-29-1994 and also being within Township 3 North, Range 14 West of the Connecticut Western Reserve and also being part of a record 1.4067 acre parcel as conveyed to Eat'n Park Restaurants Business Trust, a Pennsylvania Business Trust (herein called the Grantor) as recorded on 9-20-1995 in O. R. Volume 1084, Page 85 of the Medina County Recorder's Office and being a parcel of land lying on the left side of the centerline of right of way U.S. Route 42 (80 feet and 100 feet wide) further bounded and described as follows:

Commencing at a point at the Grantor's southerly property corner, said corner witnessed by an iron pin with 1 1/4 inch yellow plastic cap stamped "WOOLPERT" found at a distance of 0.06 feet, North 84 degrees 07 minutes 21 seconds West, said point also being the Southerly corner of City Lot 6533, the northeasterly corner of City Lot 6532 and being a point on the Westerly right of way line of U.S. Route 42 at Station 960+88.72, 50.00 feet left of U.S. Route 42 centerline of right of way, said point being the True Point of Beginning of the parcel herein described:

- Thence, following the Grantor's Southerly property line, the Southerly line of City Lot 6533 and the Northerly line of City Lot 6532 along the arc of a curve to the right having a radius of 25.00 feet, an arc length of 28.50 feet, a chord bearing South 38 degrees 34 minutes 01 seconds West, a chord length of 26.98 feet and a delta of 65 degrees 19 minutes 00 seconds to an iron pin set at Station 960+66.01, 64.56 feet left of U.S. Route 42 centerline of right of way.
- Thence, North 25 degrees 31 minutes 16 seconds West a distance of 4.68 feet to an iron pin set at Station 960+70.00, 67.00 feet left of U.S. Route 42 centerline of right of way.
- Thence, North 05 degrees 11 minutes 11 seconds West a distance of 28.64 feet to an iron pin set at Station 960+98.00, 73.00 feet left of U.S. Route 42 centerline of right of way.
- Thence, North 66 degrees 09 minutes 48 seconds East, a distance of 24.19 feet to an iron pin set at Station 961+10.00, 52.00 feet left of U.S. Route 42 centerline of right of way.
- Thence, North 05 degrees 54 minutes 30 seconds East, a distance of 13.14 feet to an iron pin set at Station 961+ 23.14, 52.00 feet left of U.S. Route 42 centerline of right of way.
- Thence, North 05 degrees 44 minutes 30 seconds East a distance of 251.71 feet to an iron pin set at Station 963+75.00, 52.00 feet left of U.S. Route 42 centerline of right of way.
- Thence, North 16 degrees 03 minutes 35 seconds West a distance of 26.93 feet to an iron pin set at Station 964+00.00, 62.00 feet left of U.S. Route 42 centerline of right of way.
- Thence, North 59 degrees 56 minutes 48 seconds West a distance of 36.34 feet to an iron pin set at Station 19+00.00, 40.00 feet right of Reagan Parkway (80 feet wide) centerline of right of way, said iron pin set being on the Grantor's Northerly property line, on the Northerly line City Lot 6533 and on the Southerly right of way line of Reagan Parkway.
- Thence, following the grantor's Northerly property line, the Northerly line of City Lot 6533 and the Southerly right of way line of Reagan Parkway, North 89 degrees 34 minutes 02 seconds East a distance of 11.96 feet to a point of curvature at Station 19+11.95, 40.00 feet right of Reagan Parkway centerline of right of way.
- Thence, continuing along the Grantor's Northerly property line, the Northerly line of City Lot 6533 and the Southerly right of way line of Reagan Parkway, along the arc of a curve to the right having a radius of 30.00 feet, an arc length of 50.36 feet, a chord bearing South 42 degrees 20 minutes 44 seconds East, a chord length of 44.65 feet and a delta of 96 degrees 10 minutes 28 seconds to a point of tangency of Station 963+88.42, 50.00 feet left of U.S. Route 42 centerline of right of way and at Station 19+41.77, 73.23 feet right of Reagan Parkway centerline of right of way, said point also being on the Grantor's Easterly property, the Easterly line of City Lot 6533 and on the Westerly right of way line of U.S. Route 42.
- Thence, following the Grantor's Easterly property line, the Easterly line of City Lot 6533 and the Westerly right of way line of U.S. Route 42, South 05 degrees 44 minutes 30 seconds West a distance of 263.14 feet to an angle point at Station 961+423.14, 50.00 feet left of U.S. Route 42 centerline of right of way.
- Thence, continuing along the Grantor's Easterly property line, the Easterly line of City Lot 6533 and the Westerly right of way line of U.S. Route 42, South 05 degrees 54 minutes 30 seconds West a distance of 34.42 feet to the True Point of Beginning and enclosing an area of 0.0384 acres, more or less of which the present road occupies 0.0000 acres, resulting in a net take area of 0.0384 acres and is from Medina County Auditor's Parcel No. 028-19A-09-098.

The iron pins set are 3/4-inch diameter by 30-inch long rebar with a 2-inch diameter aluminum cap marked "000T R/W" and "TKaminski 57207."

The bearings referred to herein are relative to grid North of the Ohio State Plane Coordinates Systems, North Zone NAD83 (2011) DATUM from GPS Observations and are for the purpose of defining directional variations.

The Stations referred to herein are from the centerline of right of way U.S. Route 42, as found on O.D.O.T. Right of Way Plan MED-42-17.80.

This description was prepared and reviewed under the supervision of Teri L. Kaminski, P.S., Registered Surveyor No. 7207, and is based on a survey made by Eubank, Inc., between May 2013 and July 2013 for the Ohio Department of Transportation. PPN: 028-19A-09-187

PARCEL 2 (EASEMENT):

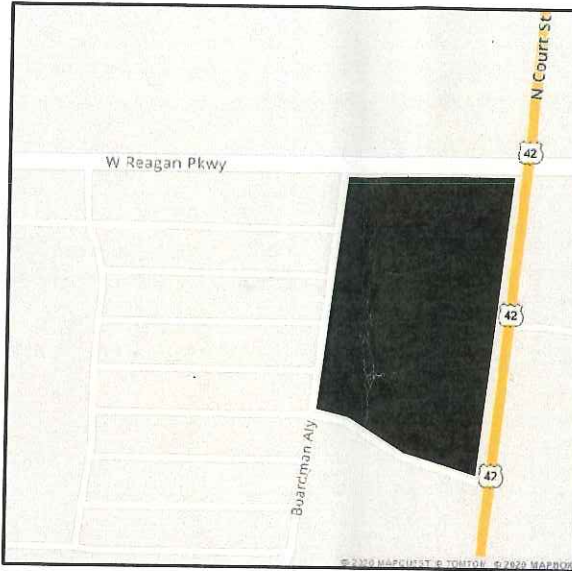
Together with an Operation and Easement Agreement between Dayton Hudson Corporation and Medina Retail Limited Partnership, filed for record June 29, 1994, in Volume 951, Page 448 of Medina County Records, and amended on September 29, 1995 in Volume 1084, Page 67 and Second Amendment filed December 18, 1995 and recorded in Volume 1117, Page 937 of Medina County Records.

SURVEYED LEGAL DESCRIPTION:

Situated in the State of Ohio, County of Medina, City of Medina, being part of City Lot Number 6533 as recorded in Plat Book 26, Page 43, and being part of a parcel conveyed to M.L. ENP LLC, by Document Number 2019OR003462 of said County records and bounded and described as follows:

BEGINNING at a PK Nail found on the south right of way line of West Reagan Parkway (80 feet wide) and the east line of City Lot 6532:

- Thence on the said south line of North Reagan Parkway, North 89 degrees 33 minutes 37 seconds East, a distance of 145.72 feet to a capped iron pin "000T" found;
- Thence continuing on the said south line of North Reagan Parkway, South 59 degrees 56 minutes 16 seconds East, a distance of 36.33 feet to a capped iron pin "000T" found;
- Thence continuing on the said south line of North Reagan Parkway, South 16 degrees 03 minutes 03 seconds East, a distance of 26.93 feet to a capped iron pin "000T" found on the west right of way line of North Court Street (U.S. 42 - width varies);
- Thence on the west right of way line of said North Court Street, South 5 degrees 45 minutes 02 seconds West, a distance of 251.71 feet to a 5/8 inch rebar found;
- Thence continuing on the west right of way line of said North Court Street, South 5 degrees 55 minutes 02 seconds West, a distance of 13.14 feet to a capped iron pin "000T" found;
- Thence continuing on the west right of way line of said North Court Street, South 66 degrees 10 minutes 20 seconds West, a distance of 24.19 feet to a capped iron pin "000T" found;
- Thence continuing on the west right of way line of said North Court Street, South 6 degrees 10 minutes 39 seconds East, a distance of 28.64 feet to a capped iron pin "000T" found;
- Thence continuing on the west right of way line of said North Court Street, South 25 degrees 30 minutes 44 seconds East, a distance of 4.57 feet to a rebar set at the northeast corner of said Lot 6532;
- Thence on the north line of said Lot 6532, Southwesterly, an arc distance of 10.63 feet, on a curve deflecting to the right, having a central angle of 24 degrees 21 minutes 35 seconds, a radius of 25.00 feet, and a chord that bears South 83 degrees 43 minutes 25 seconds West, a distance of 10.55 feet to a 5/8 inch rebar found;
- Thence continuing on the north line of said Lot 6532, North 84 degrees 06 minutes 16 seconds West, a distance of 17.88 feet to a capped 5/8 inch rebar Riverstone 6747 8646 found;
- Thence continuing on the north line of said Lot 6532, Northwesterly, an arc distance of 24.03 feet, on a curve deflecting to the right, having a central angle of 26 degrees 47 minutes 34 seconds, a radius of 51.38 feet, and a chord that bears North 71 degrees 36 minutes 16 seconds West, a distance of 23.81 feet to a capped 5/8 inch rebar "WOOLPERT" found;
- Thence continuing on the north line of said Lot 6532, North 59 degrees 06 minutes 16 seconds West, a distance of 76.10 feet to a 5/8 inch rebar found;
- Thence continuing on the north line of said Lot 6532, Northwesterly, an arc distance of 46.10 feet, on a curve deflecting to the left, having a central angle of 25 degrees 00 minutes 19 seconds, a radius of 105.00 feet, and a chord that bears North 71 degrees 40 minutes 55 seconds West, a distance of 45.73 feet to a 5/8 inch rebar found;
- Thence continuing on the north line of said Lot 6532, North 84 degrees 15 minutes 33 seconds West, a distance of 10.09 feet to a capped 5/8 inch rebar "WOOLPERT" found on the west line of said Lot 6532;
- Thence on the west line of said Lot 6532, North 5 degrees 44 minutes 27 seconds East, a distance of 287.62 feet to the Point of Beginning, containing 1.3680 acres (59,590 sq.ft.), and being Medina County Auditor's Parcel Number 028-19A-09-187.



LOCATION MAP

REFERENCES:

- COUNTY TAX MAP.
- DEEDS AS REFERENCED ON SURVEY.
- TITLE AS PROVIDED

GENERAL NOTES:

- THE DESCRIBED REAL ESTATE IS IN A ZONE X, AS INDICATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S NATIONAL FLOOD INSURANCE PROGRAM PANEL NO. 39090C100SD, EFFECTIVE DATE OF NOVEMBER 18, 2009.
- AS A RESULT OF OHIO 811 COORDINATION AS DESCRIBED IN O.R.C. 153.04, SOME OF THE SUBSURFACE UTILITY LINES SHOWN HEREON WERE MARKED ON THE GROUND BY THIRD PARTIES, OR DEPICTED IN RECORDS/MAPPING PROVIDED BY THIRD PARTIES THAT MAY OR MAY NOT SHOW ACCURATE LOCATION INFORMATION FOR A SURVEY DATED MM/DD/YY. THE THIRD PARTIES INVOLVED IN SAID COORDINATION WERE NOT CONTRACTUALLY OBLIGATED TO GPD GROUP. GPD GROUP ACCEPTS NO LIABILITY OR RESPONSIBILITY ARISING OUT OF ANY MATTERS RELATING TO THE MARKINGS OR INFORMATION PROVIDED BY THE 811 COORDINATION OF SAID SUBSURFACE UTILITIES. NO WARRANTY OR GUARANTEE IS EXPRESSED OR IMPLIED AS TO THE LOCATION OR ACCURACY OF ANY 811 PROVIDED SUBSURFACE UTILITY LABELED IN THE DRAWING AS "R02" (RELIABILITY QUALITY 2) AND SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- GPD GROUP PERFORMED SUBSURFACE UTILITY LOCATING SERVICES ON THIS PROJECT IN ACCORDANCE WITH OUR AGREED UPON SCOPE AND SPECIFICATIONS OF PERFORMANCE. THE SUBSURFACE UTILITY LINES MARKED BY US ARE FROM READINGS/INDICATIONS OF OUR EQUIPMENT ON EFFORTS DATED MM/DD/YY. GPD GROUP'S CONFIDENCE IN THE LOCATION OF THE SUBSURFACE UTILITY IS INDICATED IN THE DRAWING AS "R01" (RELIABILITY QUALITY 1).
- UTILITY, STORM, OR SANITARY LINES SHOWN HEREON THAT ARE NOT DRAWN TO AN APPROPRIATE APPURTENANCE OR BUILDING ARE AN INDICATION OF AN UNKNOWN UTILITY CONNECTION OR A UTILITY OUTSIDE OF THE PROJECT SCOPE THAT HAS NOT BEEN INVESTIGATED FURTHER, AND ARE PROVIDED TO SHOW THEIR APPROXIMATE DIRECTION ONLY.
- THIS SURVEY IS NOT FOR THE PURPOSE OF LOCATING OR IDENTIFYING ANY POLLUTANTS OR HAZARDOUS MATERIALS ON OR UNDER THE PROPERTY SHOWN HEREON.
- NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
- NO WETLAND MARKINGS FOUND.
- GPD GROUP AND/OR THE SURVEYORS COMMENTS REGARDING BOUNDARIES, LOCATION AND/OR LIMITS OF THE RIGHTS OF WAY, EASEMENTS AND/OR SERVITUDES AS SHOWN HEREON ARE SOLELY RELATED TO THE LOCATION OF SAID ITEMS AND IS BASED ON THE INFORMATION GATHERED DURING THE FIELD SURVEY AND A REVIEW OF THE INFORMATION PROVIDED IN THE TITLE COMMITMENT REFERENCED HEREON. COMMENTS REGARDING TITLE ITEMS DO NOT REPRESENT A LEGAL OPINION ON THE EXISTENCE, TERMINATION, AFFECTS OR BENEFITS OF SAID ITEMS, AS THAT IS A QUESTION OF LAW AND OUTSIDE THE RESPONSIBILITIES OF THE SURVEYOR.
- NO KNOWN PROPOSED CHANGES TO CURRENT ROAD RIGHT OF WAY.
- NO OBSERVED EVIDENCE OF SITE BEING USED AS A BURIAL GROUND OR CEMETERY.
- THE SURVEYED LAND, IS CONTIGUOUS WITH THE ADJOINING PARCELS AND ROADS AS SHOWN (THERE ARE NO GAPS, GORES, OVERLAPS OR HIATUSSES BETWEEN THEM).
- ALL MATTERS SHOWN ON RECORDED PLATS ARE SHOWN ON THE SURVEY.

SCHEDULE B - SECTION II:

Fidelity National Title Insurance Company
Commitment Number: 20610060
Effective Date: February 20, 2020 at 6:59 AM

16. Easement and/or Right-of-Way to The Medina Gas and Fuel Company, filed June 15, 1916, and recorded in Lease Volume 18, Page 610, of the Medina County Records.

Partial Release of Rights of Way filed for record July 31, 1991, in OR Volume 630, Page 222, of the Medina County Records. (Not on, or, does not touch, the surveyed property)

17. Easement and/or Right-of-Way to The Medina Gas and Fuel Company, filed June 15, 1916, and recorded in Lease Volume 20, Page 271, of the Medina County Records.

Partial Release of Rights of Way filed for record July 31, 1991, in OR Volume 630, Page 222, of the Medina County Records. (Not on, or, does not touch, the surveyed property)

18. Easement for Highway Purposes, filed for record August 8, 1932, in HE Volume 1, Page 243, of the Medina County, Ohio Records. (Not on, or, does not touch, the surveyed property)

19. Easement for Highway Purposes, filed for record August 8, 1932, in HE Volume 1, Page 244, of the Medina County, Ohio Records. (Not on, or, does not touch, the surveyed property)

20. Easement from The Cleveland Southwestern Railroad and Freight Company to Cherry Valley Farms, Inc., filed for record February 21, 1934 in Deed Volume 119, Page 662 of the Medina County Records. (As to Parcel 2 only) (Insufficient information provided in record document. The location cannot be determined.)

21. Easement for Highway Purposes, filed for record November 16, 1934, in HE Volume 1, Page 335, of the Medina County, Ohio Records. (Insufficient information provided in record document. The location cannot be determined.)

22. Easement and/or Right-of-Way to The Reserve Power and Light Company, filed May 9, 1936, and recorded in Misc. Volume 6, Page 113, of the Medina County Records. (Reservation/Restrictions/Easements are blanket in nature. No plottable items)

23. Oil and Gas Lease to The Ohio Fuel Gas Company, filed for record October 17, 1956 in Lease Volume 72, Page 563 of the Medina County, Ohio Records. NOTE: FOR FURTHER CONDITIONS, SEE RECORD. THIS COMPANY HAS MADE NO FURTHER EXAMINATION UNDER THE ABOVE INSTRUMENT.

Affidavit for the Purpose of Terminating Lease filed for record June 29, 1994, in OR Volume 951, Page 437, of the Medina County Records. (Reservation/Restrictions/Easements are blanket in nature. No plottable items)

24. Easement and/or Right-of-Way to Ohio Edison Company, filed August 15, 1956, and recorded in Deed Volume 237, Page 365, of the Medina County Records. (Reservation/Restrictions/Easements are blanket in nature. No plottable items)

25. Easement and/or Right-of-Way to Ohio Edison Company, filed September 17, 1956, and recorded in Deed Volume 238, Page 462, of the Medina County Records. (Reservation/Restrictions/Easements are blanket in nature. No plottable items)

26. Right-of-Way to Columbia Gas Transmission Corporation, filed for record September 15, 1983, in OR Volume 173, Page 440 of the Medina County, Ohio Records. (As to Parcel 2 only) (Not on, or, does not touch, the surveyed property)

27. Easement and/or Right-of-Way to Columbia Gas Transmission Corporation, filed October 1, 1984, and recorded in OF Volume 221, Page 283, of the Medina County Records. (Not on, or, does not touch, the surveyed property)

28. Easement and/or Right-of-Way to Ohio Edison Company, filed January 28, 1985, and recorded in OR Volume 234, Page 494, of the Medina County Records. (Not on, or, does not touch, the surveyed property)

29. Easement and/or Right-of-Way to GTE North Incorporated, filed February 27, 1991, and recorded in OF Volume 589, Page 403, of the Medina County Records. (As to Parcel 2 only) (Not on, or, does not touch, the surveyed property)

30. Easement and/or Right-of-Way to GTE North Incorporated, filed February 27, 1991, and recorded in OR Volume 589, Page 406, of the Medina County Records. (Plotted and Shown)

31. Lease for Underground Gas Storage to Columbia Gas Transmission Corporation, filed for record April 4, 1991 in OR Volume 605, Page 299 of the Medina County, Ohio Records. NOTE: FOR FURTHER CONDITIONS, SEE RECORD. THIS COMPANY HAS MADE NO FURTHER EXAMINATION UNDER THE ABOVE INSTRUMENT. (As to Parcel 2 only) (Not on, or, does not touch, the surveyed property)

32. Lease for Underground Gas Storage to Columbia Gas Transmission Corporation, filed for record April 4, 1991 in OR Volume 605, Page 305 of the Medina County, Ohio Records. NOTE: FOR FURTHER CONDITIONS, SEE RECORD. THIS COMPANY HAS MADE NO FURTHER EXAMINATION UNDER THE ABOVE INSTRUMENT. (Reservation/Restrictions/Easements are blanket in nature. No plottable items)

33. Terms and Conditions of that certain Operation and Easement Agreement between Dayton Hudson Corporation and Medina Retail Limited Partnership, filed for record June 29, 1994, in OR Volume 951, Page 448, of the Medina County Records.

Amendment to Operation and Easement Agreement filed for record September 20, 1995, in OR Volume 1084, Page 67, of the Medina County Records.

Second Amendment to Operation and Easement Agreement filed for record December 18, 1995, in OR Volume 1117, Page 937, of the Medina County Records. (Reservation/Restrictions/Easements are blanket in nature. Plottable Items Shown)

34. Easement for Storm Sewer and Appurtenances, filed for record November 15, 1995, in OF Volume 1105, Page 815, of the Medina County, Ohio Records. (Plotted and Shown)

35. Reservations, restrictions, covenants, limitations, easements, and/or conditions, as established in instrument, filed for record July 30, 2015, in Instrument No. 2015OR016344, of the Medina County, Ohio Records. This exception contains the Right to Repurchase. (Plotted and Shown)

CERTIFICATION:

TO CHICK-FIL-A, INC., A GEORGIA CORPORATION AND FIDELITY NATIONAL TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(b), 7(a), 7(b), 8, 9, 11, 13, 16, 17, 18, 19, 20 AND 21 OF TABLE A THEREOF. FIELD WORK WAS COMPLETED ON JULY 21, 2020.

DRAFT

STEVEN L. MULLANEY, OHIO PROFESSIONAL SURVEYOR NO. 7900 DATE

REV.	DATE	DESCRIPTION

CHICK-FIL-A
1007 N. COURT ST.
MEDINA, OHIO 44266

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
RECORD	
PROJECT MANAGER	DESIGNER
SLM	MLC

JOB NO.
2020223.20

1 of 2

Drawing Name: D:\2020\2020223.20 Medina, OH (Shelby)_Field Services\03_Land Survey\2020223.20 B.A.S.E. dwg
Separator: 11_2020_franchisefile

ZONING:

C-3 GENERAL COMMISSION
Information From Site Investigation report dated 3/9/2020 from information from City of Medina Codified Ordinance, Part Eleven - Planning and Zoning.

Setbacks:

Building
North: within 5' of ROW lines, but overlaid by established by existing lot lines. (show existing building limits) (NOT PLOTTED - REQUIRES INTERPRETATION)
South: 0' (Private Drive)
East: within 5' of ROW lines, but overlaid by established by existing lot lines. (40' maximum) (NOT PLOTTED - REQUIRES INTERPRETATION)
West: 30' (PLOTTED)

Parking/Landscape:

North: 10' with landscape strip* (PLOTTED AT 10')
South: 0' (Private Drive)
East: 10' landscape strip* (PLOTTED AT 10')
West: 0' (Private Drive)
*Plan Commission can reduce to 5' with site limitations.

LEGEND:

- 5/8" x 30" REBAR WITH CAP "GPD" SET
- EXISTING IRON PIN FOUND AS NOTED
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING POWER & TELEPHONE POLE
- EXISTING ELECTRIC METER
- EXISTING TRANSFORMER
- EXISTING TRAFFIC CONTROLLER BASE
- EXISTING CATCH BASIN
- EXISTING CURB INLET
- EXISTING DOWN SPOUT
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER SERVICE VALVE
- EXISTING GAS METER
- EXISTING TELEPHONE MANHOLE
- EXISTING STOP OR BOLLARD
- EXISTING SIGN
- EXISTING HANDICAP SIGN
- EXISTING CLEANOUT
- EXISTING YARD LIGHT
- EXISTING ROCK/BOULDER
- EXISTING CONCRETE PAD/AREA/SIDEWALK
- P.O.B. POINT OF BEGINNING
- EXISTING CURB
- EXISTING PROPERTY LINE
- EXISTING RIGHT OF WAY LINE
- EXISTING CENTER LINE
- EXISTING OVERHEAD UTILITY LINES
- EXISTING UNDERGROUND GAS LINES
- EXISTING UNDERGROUND STORM LINES
- EXISTING UNDERGROUND SANITARY LINES
- EXISTING UNDERGROUND WATER LINES
- EXISTING UNDERGROUND ELECTRIC LINES
- EXISTING UNDERGROUND TELEPHONE LINES
- BUSH/SHRUB
- DECIDUOUS TREE
- EVERGREEN TREE

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	10.63'	25.00'	24° 21' 35"	5.40'	S 83° 43' 25" W	10.55'
C2	24.03'	51.38'	26° 47' 34"	12.24'	N 71° 36' 16" W	23.81'
C3	46.10'	105.00'	25° 09' 19"	23.43'	N 71° 40' 55" W	45.73'

LINE		
LINE	LENGTH	DIRECTION
L1	36.33'	S 59° 56' 16" E
L2	26.93'	S 16° 03' 03" E
L3	13.14'	S 5° 55' 02" W
L4	24.19'	S 66° 10' 20" W
L5	28.64'	S 6° 10' 39" E
L6	4.57'	S 25° 30' 44" E
L7	17.98'	N 84° 06' 16" W
L8	76.10'	N 59° 06' 16" W
L9	10.09'	N 84° 15' 33" W

INVERTS:

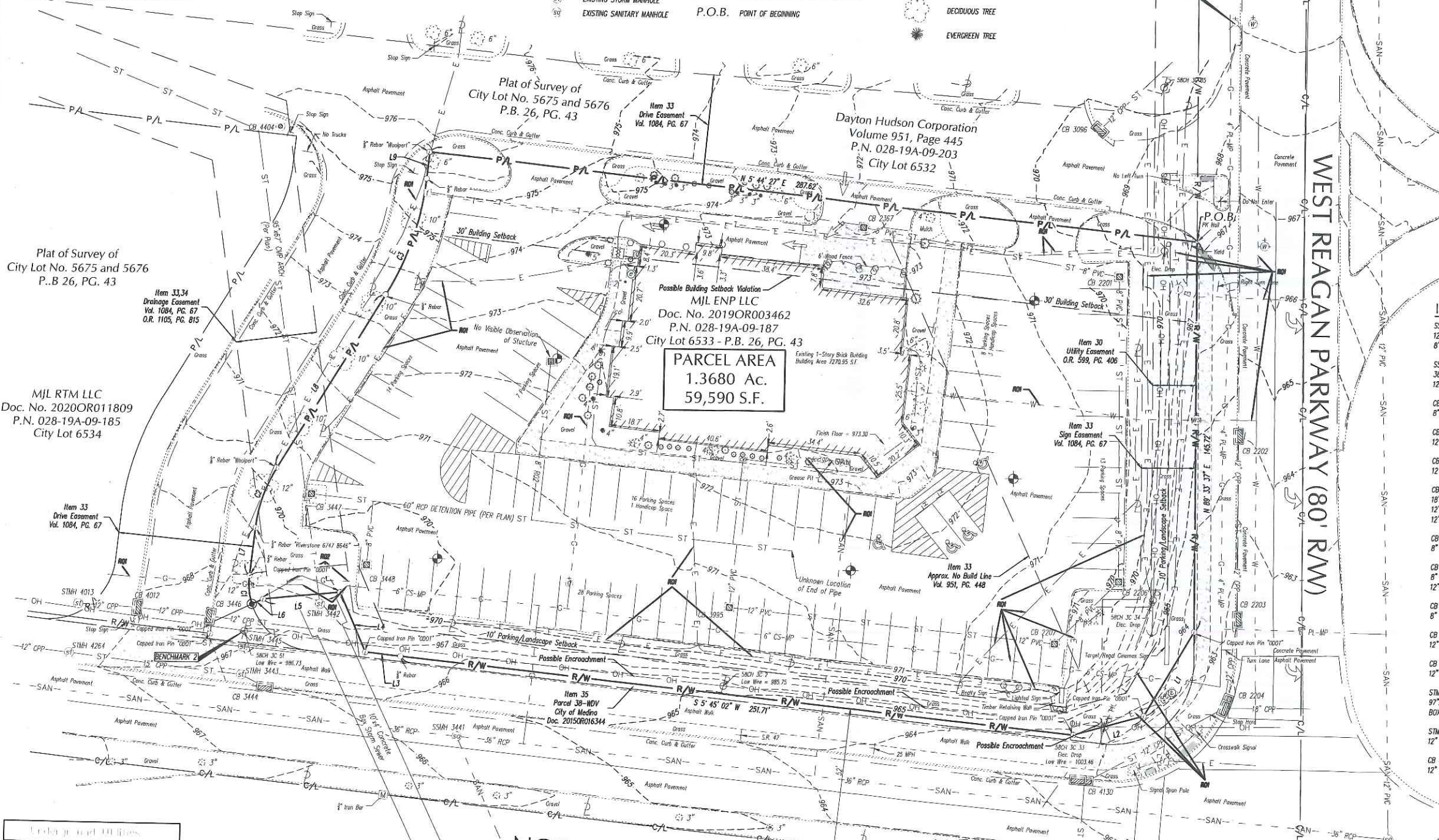
- SSMH 600 T/C = 971.85
- 12" PVC (EW) = 957.35
- 8" PVC (S) = 962.45
- SSMH 687 T/C = 962.82
- 36" RCP (N & S) = 952.17
- 12" PVC (W) = 954.02
- CB 2201 T/C = 969.50
- 8" PVC (E&S) = 966.40
- CB 2202 T/C = 963.87
- 12" CPP (E) = 959.12
- CB 2203 T/C = 962.22
- 12" CPP (E&W) = 957.82
- CB 2204 T/C = 961.77
- 18" CPP (N) = 957.07
- 12" CPP (SE) = 957.47
- 12" CPP (W) = 957.72
- CB 2206 T/C = 969.87
- 8" PVC (SE&W) = 965.97
- CB 2207 T/C = 970.31
- 8" PVC (NW) = 965.76
- 12" PVC (S) = 965.61
- CB 2367 T/C = 971.81
- 8" PVC (N) = 968.31
- CB 2743 T/C = 969.75
- 12" CPP (N) = 965.25
- CB 3096 T/C = 969.34
- 12" CPP (NW) = 964.84
- SSMH 3442 T/C = 967.91
- 97'x67' CMP (SW) = 959.21
- BOX CULVERT (NE) = 958.91
- SSMH 3443 T/C = 966.74
- 12" CPP (NE) = 960.89
- CB 3444 T/C = 965.87
- 12" CPP (SW) = 961.77
- SSMH 3445 T/C = 967.02
- 12" CPP (W) = 960.72
- WINDOW (E) = 960.92
- BOTTOM = 957.92
- CB 3446 T/C = 967.30
- 12" CPP (N&S) = 961.10
- CB 3447 T/C = 970.25
- 60" RCP (N) = 962.75
- 4" OUTLET (S) PER PLAN
- CB 3448 T/C = 969.19
- 8" PVC (W) = 964.99
- CB 3995 T/C = 970.31
- 12" PVC (N) = 965.01
- 12" PVC (W) = 964.81
- CB 4012 T/C = 967.58
- 12" CPP (N&S) = 961.28
- SSMH 4013 T/C = 968.26
- 12" CPP (N) = 961.66
- CB 4130 T/C = 962.46
- 12" CPP (NW) = 958.06
- SSMH 4265 T/C = 967.62
- 15" CPP (N) = 962.62
- 12" CPP (S) = 962.72
- CB 4404 T/C = 975.99
- BOTTOM = 960.99
- SSMH 687 T/C = 962.82
- 36" RCP (N & S) = 952.17
- 12" PVC (W) = 954.02
- SSMH 2204 T/C = 971.85
- 12" PVC (EW) = 957.35
- 8" PVC (S) = 962.45
- SSMH 3441 T/C = 965.57
- 36" RCP (N) = 953.47
- 36" RCP (S) = 953.57
- SSMH 4265 T/C = 973.11
- 36" RCP (N&S) = 962.11

REV.	DATE	DESCRIPTION

CHICK-FIL-A
1007 N. COURT ST.
MEDINA, OHIO 44256

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
RECORD	
PROJECT MANAGER	DESIGNER
SLM	MLC

JOB NO.
2020223.20



Ohio Utilities Protection Service
Call 811
before you dig

1-800-362-2764 or 811
UTILITIES SHOWN ON SURVEY WERE LOCATED BASED ON FIELD MARKING PROVIDED BY OURS REQUEST #8019001745 AND #8019001747.

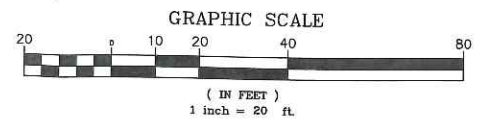
NORTH COURT STREET - U.S. 42 (R/W VARIES)

BASIS OF BEARING:

STATE PLANE GRID NORTH, NAD 83 (2011),
COORD 12B, OHIO NORTH ZONE,
TIED BY GPS TO THE O.D.O.T. VRS.
ELEVATIONS ARE NAVD 88.

BENCHMARKS:

- 1. X-CUT ON HYDRANT BONNET BOLT
N 543065
E 2143681
ELEV. = 972.37
- 2. MAG SPIKE IN POLE
N 542701
E 2143913
ELEV. = 968.32



Drawing Name: O:\2020\20223\2020223\01 Medina, OH (Sheila)_Field Services\03_Land Survey\2020223\01 BASE.dwg
Appended To: 2020 - Philadelphia

PROJECT NOTES:

- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES. IN ADDITION TO NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED. (INCLUDING STORM WATER POLLUTION PREVENTION PLAN PER THE DEVELOPMENT CRITERIA) SEE SHEET C-302 FOR EROSION CONTROL MEASURES.
- ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
- ALL STRUCTURES & DEBRIS SHALL BE REMOVED PRIOR TO CONSTRUCTION & DISPOSED OF OFFSITE.
- ANY EXISTING FIELD DRAIN TILES ENCOUNTERED SHALL BE RECONNECTED OR CONNECTED TO THE NEAREST STORM SEWER.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL BITUMINOUS PAVEMENT REMOVAL AREAS SHALL BE SAWCUT.
- CONTRACTOR SHALL INSTALL CONSTRUCTION FENCING AND SIGNAGE AROUND CONSTRUCTION BOUNDARIES TO PROTECT PEDESTRIANS.

TRAFFIC CONTROL NOTES:

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.

STAGING NOTES:

(STAGING SUBJECT TO CHANGES PER SITE CONTRACTORS SCHEDULE AND METHODS OF OPERATION)

- EROSION CONTROL MEASURES AND STOCKPILE STAGING
- CONSTRUCTION ENTRANCES
- PLAN REMOVALS
- PROPOSED UNDERGROUND
- GRADING
- PAVING

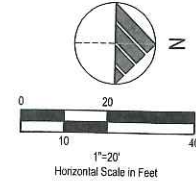
DEMOLITION NOTE:

ALL EXISTING SITE AND SURROUNDING FEATURES SUCH AS PAVEMENT, CURB, LANDSCAPING, ETC. SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION UNLESS NOTED OTHERWISE. OR ARE REQUIRED TO BE MODIFIED OR REMOVED FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. ALL DISTURBED FEATURES SHALL BE RESTORED OR RELOCATED AS REQUIRED TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL REPAIR/REPLACE ANY SURROUNDING FEATURES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.

CONTRACTOR SHALL TAKE CAUTION WHEN REMOVING ANY UTILITIES OR PAVEMENT OVER EXISTING SANITARY SEWER WITHIN EASEMENT. ANY DAMAGE TO EXISTING SEWER SHALL BE AT THE EXPENSE OF THE CONTRACTOR.

LEGEND

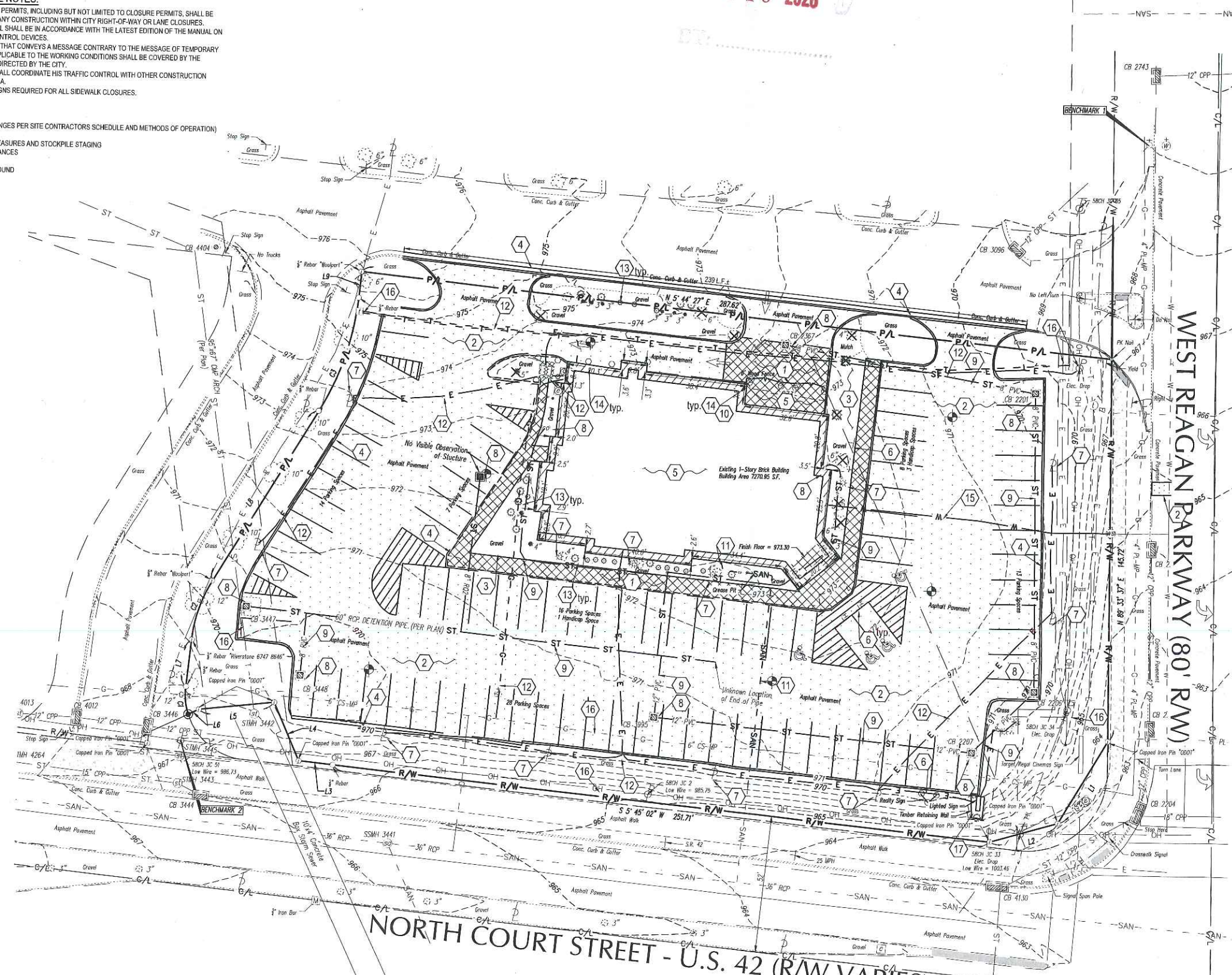
- INDICATES ASPHALT / AGGREGATE REMOVAL
- INDICATES CONCRETE/CONCRETE SIDEWALK REMOVAL (FULL DEPTH)
- INDICATES BUILDING TO BE REMOVED
- INDICATES LIMITS OF SAWCUT
- INDICATES TREE AND BRUSH REMOVAL
- INDICATES TREE AND BRUSH PROTECTION



PLAN KEYNOTES

- EXISTING CONCRETE PAVEMENTWALK TO BE REMOVED.
- EXISTING ASPHALT PAVEMENT TO BE REMOVED.
- EXISTING GRAVEL TO BE REMOVED.
- EXISTING CURB/CURB AND GUTTER TO BE REMOVED. SAWCUT AGAINST PAVEMENT AND CURBING TO REMAIN PRIOR TO REMOVAL.
- EXISTING BUILDING TO BE REMOVED, INCLUDING ALL FOUNDATIONS AND UTILITY REMOVAL PER SUPPLIERS STANDARDS TO THE RIGHT OF WAY OR MAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR FILLING ANY BASEMENT AREAS WITH SUITABLE MATERIALS PER GEOTECH REPORT.
- EXISTING SIGNAGE WITH ALL ASSOCIATED FOUNDATION, LIGHTING, AND OTHER UNDERGROUND APPURTENANCES TO BE REMOVED.
- EXISTING LIGHT POLE, BASE, FOUNDATION, AND ALL ASSOCIATED WIRING TO BE REMOVED.
- EXISTING STORM STRUCTURE TO BE REMOVED.
- EXISTING STORM PIPE TO BE REMOVED.
- EXISTING DUMPSTER ENCLOSURE TO BE REMOVED.
- EXISTING SANITARY TO BE REMOVED AND REPLACED. SEE UTILITY PLAN.
- EXISTING UTILITY TO BE REMOVED AND CAPPED/SHUT OFF PER UTILITY PROVIDER STANDARDS. TELEPHONE MAIN TO BE RELOCATED. SEE UTILITY PLAN.
- EXISTING LANDSCAPING, TREE, BUSH, AND BRUSH TO BE REMOVED INCLUDE STUMPS.
- EXISTING POST/BOLLARD TO BE REMOVED.
- EXISTING WATER LINE TO BE REMOVED AND REPLACED. SEE UTILITY PLAN.
- EXISTING UTILITIES TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- EXISTING MONUMENT SIGN TO BE REMOVED AND REPLACED SEE SITE PLAN. RETAINING WALL TO REMAIN.

NOV 19 2020



EXISTING STRUCTURES

STRICT. ID	STRUCTURE DETAILS
CB 826	RIM = 961.47 8" PVC (N) = 959.27 12" PVC (S) = 959.37
CB 2201	RIM = 969.50 (TO BE REMOVED) 8" PVC (E&S) = 966.40
CB 2202	RIM = 963.87 12" CPP (E) = 959.12
CB 2203	RIM = 962.22 12" CPP (E&W) = 957.92
CB 2204	RIM = 961.77 18" CPP (N) = 957.07 12" CPP (SE) = 957.47 12" CPP (W) = 957.72
CB 2206	RIM = 969.87 (TO BE REMOVED) 8" UNIDENTIFIED (SE&W) = 965.97
CB 2207	RIM = 970.31 (TO BE REMOVED) 8" PVC (NW) = 965.76 12" PVC (S) = 965.61
CB 2367	RIM = 971.81 (TO BE REMOVED) 8" PVC (N) = 968.31
CB 2743	RIM = 969.75 12" CPP (N) = 965.25
CB 3096	RIM = 969.34 12" CPP (NW) = 964.84
STMH 3442	RIM = 967.91 60" RCP (SW) = 958.21 BOX CULVERT (NE) = 958.91
STMH 3443	RIM = 966.74 12" CPP (NE) = 960.89
CB 3444	RIM = 965.87 12" CPP (SW) = 961.77
CB 3446	RIM = 967.30 12" CPP (N&S) = 961.10
CB 3447	RIM = 970.25 (TO BE REMOVED) 60" RCP (N) = 962.75
CB 3448	RIM = 968.19 (TO BE REMOVED) 8" PVC (W) = 964.99
CB 3995	RIM = 970.31 (TO BE REMOVED) 12" PVC (N) = 965.01 12" PVC (W) = 964.81
CB 4012	RIM = 967.58 12" CPP (N&S) = 961.28
STMH 4013	RIM = 968.26 12" CPP (N) = 961.66
CB 4130	RIM = 962.46 12" CPP (NW) = 958.06
STMH 4265	RIM = 967.62 15" CPP (N) = 962.62 12" CPP (S) = 962.72
CB 4404	RIM = 975.99 BOTTOM = 960.99

BASIS OF BEARING:

STATE PLANE GRID NORTH, NAD 83 (2011), GEOID 128, OHIO NORTH ZONE, TIED BY GPS TO THE O.D.O.T. VRS. ELEVATIONS ARE NAVD 88.

BENCHMARKS:

BENCHMARK #1 - X-CUT ON HYDRANT BONNET BOLT
N 543065
E 2143661
ELEVATION = 972.37

BENCHMARK #2 - MAG SPIKE IN POLE
N 542701
E 2143913
ELEVATION = 968.32



520 South Main Street
Akron, OH 44311
330.572.2100 Fax 330.572.2101
Copyright: Glax, Pyle, Schomer, Burns & DeHaven, Inc. 2020



5200 Burlington Rd.
Atlanta Georgia,
30349-2998

REV.	DATE	DESCRIPTION



CHICK-FIL-A
1007 N. COURT ST.
MEDINA, OHIO 44256

DEMOLITION PLAN

ISSUED FOR:	PERMIT
	BID
	CONSTRUCTION
	RECORD
PROJECT MANAGER:	DESIGNER:
ES	DS

JOB NO.
2020223.20

C-101



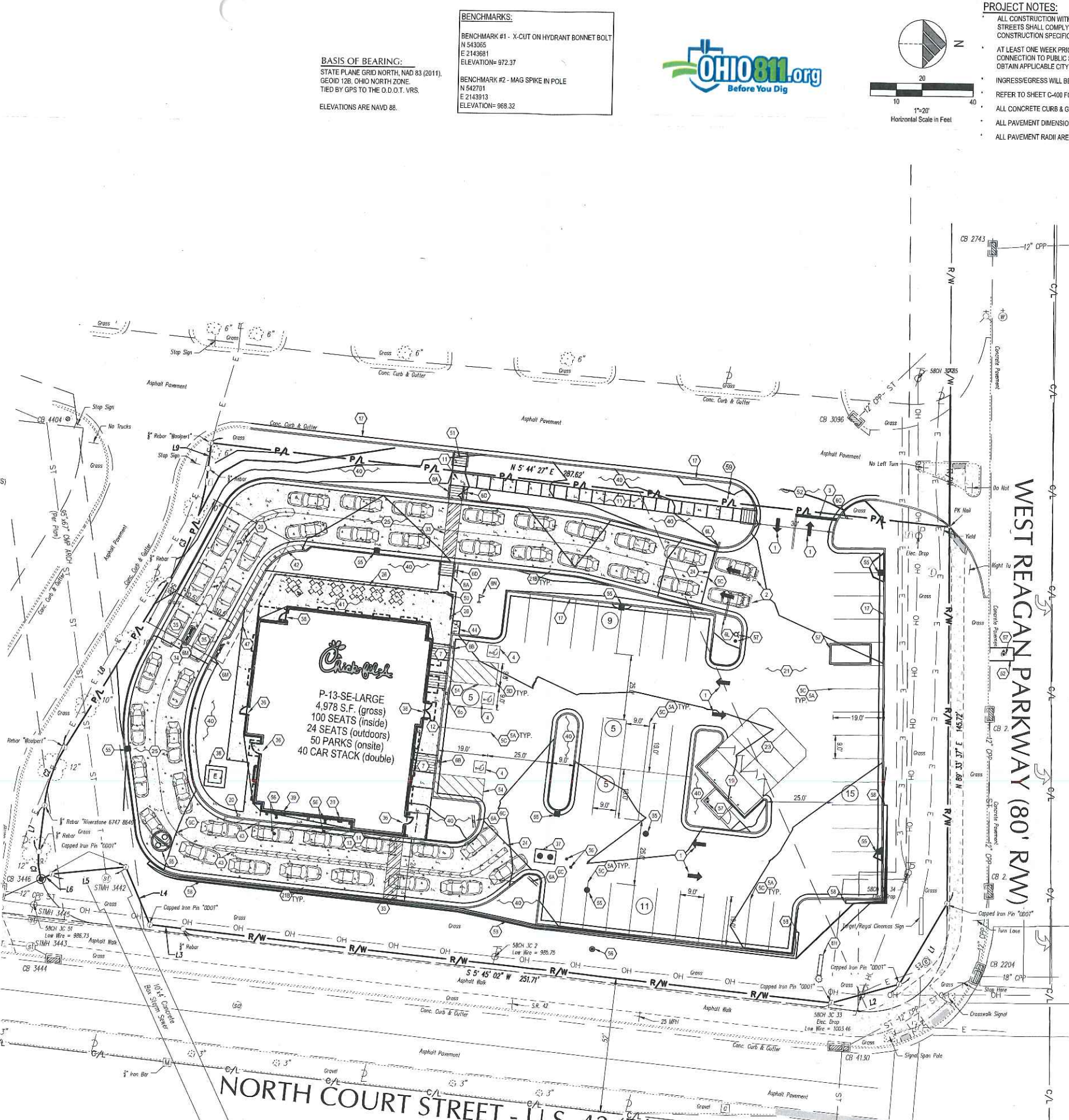
NORTH COURT STREET - U.S. 42 (RW VARIES)

"This submittal is for general informational purposes only and is preliminary in nature. As such, any other use or reliance is strictly prohibited."

Drawing Name: C:\2020\2020223.20\Media\OH\Site\42_Working\Filer01_CAD\00_Dwg\CIPR020223.20_PCR_2.dwg
Revised: 11/19/2020
11/19/2020

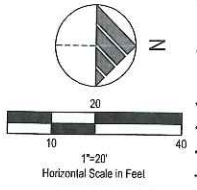
SITE PLAN DESIGN NOTES AND KEY PLAN

- 1 PROPOSED DIRECTIONAL ARROW
- 2 PROPOSED DRIVE-THRU GRAPHICS
- 3 PROPOSED STOP LINE GRAPHIC
- 4 PROPOSED PAINTED HANDICAP PARKING SYMBOL
- 5A PROPOSED STANDARD 90 DEGREE PARKING STALL (9'x19') PER CODE
- 5B PROPOSED STANDARD 60 DEGREE PARKING STALL (10'x 22.3')
- 6 PROPOSED 4" SOLID WHITE STRIPING
- 6A PROPOSED 4" SOLID YELLOW STRIPING, 4" SOLID BLUE STRIPING IN ADA PARKING AREAS.
- 6B PROPOSED 4" GIMP DASH YELLOW STRIPING
- 7 PROPOSED DIRECTIONAL SIGNAGE
- ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION. (SEE SIGN LEGEND)
- 8A THRU 8H (SEE SIGNAGE LEGEND, THIS SHEET)
- 8H PROPOSED CHICK-FIL-A MONUMENT SIGN, SEE SIGNAGE PACKAGE
- 9 PROPOSED CHICK-FIL-A "ENTER" SIGN, SEE SIGNAGE PACKAGE
- 10 PROPOSED CHICK-FIL-A "EXIT" SIGN, SEE SIGNAGE PACKAGE
- 11 PROPOSED CHICK-FIL-A "DRIVE-THRU" SIGN, SEE SIGNAGE PACKAGE
- 12 PROPOSED CLEARANCE BAR, SEE SIGNAGE PACKAGE
- 13 PROPOSED MENU ORDER BOARD, SEE SIGNAGE PACKAGE
- 14 PROPOSED FLAGPOLE, 30', SEE SIGNAGE PACKAGE
- 15 PROPOSED SIDEWALK (ADA COMPLIANT) RAMP
- 16 PROPOSED HANDICAP RAMP w/ FLARED SIDES (IN SIDEWALK)
- 16A PROPOSED HANDICAP RAMP w/ FLARED SIDES (GRASSED AREAS)
- 17 PROPOSED RETURNED CURB HANDICAP RAMP
- 18 PROPOSED TRUNCATED DOMES
- 19 PROPOSED TYPICAL CONCRETE SIDEWALK, 5" MIN.
- 20 PROPOSED SIDEWALK w/ CURB & GUTTER
- 21 PROPOSED INTEGRAL CURB & 7" WIDE SIDEWALK
- 22 PROPOSED DRIVE THRU PLAN
- 23 PROPOSED DRIVE-THRU ISOMETRIC
- 24 PROPOSED SOLID PLASTIC WHEEL STOP
- 25 PROPOSED LANDSCAPE & IRRIGATION PROTECTOR
- 26 PROPOSED 24" CONCRETE CURB & GUTTER
- 27A PROPOSED SPILLING SECTION
- 27B PROPOSED CATCHING SECTION
- 27C PROPOSED DEPRESSED SPILLING
- 27D PROPOSED DEPRESSED CATCHING
- 28 PROPOSED FOLLOWER MOUNTABLE CURB
- 29 PROPOSED REFUSE ENCLOSURE
- 30 PROPOSED CONCRETE BOLLARD
- 31 PROPOSED TYPICAL PAVEMENT SECTION
- 32 PROPOSED HEAVY-DUTY PAVEMENT SECTION
- 33 PROPOSED TRANSVERSE & LONGITUDINAL CONTRACTION JOINT
- 34 PROPOSED TRANSVERSE & LONGITUDINAL DOWELED CONTRACTION JOINT
- 35 PROPOSED CONCRETE APRON @ TRASH ENCLOSURE
- 36 PROPOSED PAVEMENT EDGE DETAIL
- 37 PROPOSED CONCRETE PAVING @ DRIVE THRU LANE
- 38 PROPOSED ALUMINUM HANDRAIL
- 39 PROPOSED TYPICAL STAIR HANDRAIL
- 40 PROPOSED CONTRACTION JOINT
- 41 PROPOSED KEVED CONSTRUCTION JOINT
- 42 PROPOSED LONGITUDINAL BUFF JOINT
- 43 PROPOSED EXPANSION JOINT
- 44 PROPOSED DRIVE-THRU DIRECTIONAL GRAPHICS
- 45 PROPOSED CROSSWALK DETAIL
- 46 PROPOSED DRIVE THRU ORDER POINT ISLAND CURB
- 47 PROPOSED MENU BOARD LOOP DETECTION SYSTEM
- 48 PROPOSED ENTRY DOOR FROST SLAB DETAIL
- 49 PROPOSED GREASE TRAP
- 50 PROPOSED POLE MOUNTED TRANSFORMER EXISTING TO REMAIN AS ALTERNATE
- 51 PROPOSED ROOF DOWNSPOUT (TO CONNECT TO SITE DRAINAGE SYSTEM)
- 52 PROPOSED LANDSCAPED AREA
- 53 PROPOSED TYPICAL LOCATION FOR OUTDOOR TABLES. (SEE EQUIPMENT SCHEDULE ARCHITECTURAL PLANS)
- 54 PROPOSED CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB CONCRETE PAD FOR OPTIONAL CASH STATION KIOSK AND UMBRELLA
- 55 PROPOSED DRIVE-THRU LANE WALKWAY STRIPING (SEE CHICK-FIL-A DESIGN NOTE #: C321723.01 SHEET CR-502).
- 56 PROPOSED BIKE RACK
- 57 PROPOSED 5" WIDE DEPRESSED CURB
- 58 PROPOSED DRIVE-THRU STRIPING (SEE CFA DESIGN NOTES #2017-038 AND 2018-016).
- 59 PROPOSED FACED TO FACE DRIVE-THRU CANOPY SYSTEMS, SEE ARCH. PLANS.
- 60 PROPOSED LOCATION OF "NO LEFT TURN" SIGN
- 61 PROPOSED LOCATION OF "NO PARKING ANYTIME" SIGN
- 62 PROPOSED ALUMINUM GATE
- 63 PROPOSED SERVICE CURB RAMP
- 64 PROPOSED PAVEMENT RESTORATION AS NECESSARY FOR CURB AND APRON PER CITY SPECIFICATIONS.
- 65 PROPOSED BUFF JOINT
- 66 PROPOSED TRANSVERSE STRIPING
- 67 PROPOSED STORM UTILITY, SEE SHEET C-300.
- 68 PROPOSED SANITARY UTILITY, SEE SHEET PS-100
- 69 PROPOSED WATER UTILITY, SEE SHEET PS-100
- 70 PROPOSED 18" TO 2' RETAINING WALL, SEE SHEET C-300
- 71 PROPOSED SIGN TO STATE "DO NOT BLOCK DRIVEWAY"



BENCHMARKS:
BENCHMARK #1 - X-CUT ON HYDRANT BONNET BOLT
N 543065
E 2143681
ELEVATION= 972.37
BENCHMARK #2 - MAG SPIKE IN POLE
N 542701
E 2143913
ELEVATION= 968.32

BASIS OF BEARING:
STATE PLANE GRID NORTH, NAD 83 (2011),
GEOID 12B, OHIO NORTH ZONE,
TIED BY GPS TO THE D.O.T. VRS.
ELEVATIONS ARE NAVD 88.



- PROJECT NOTES:**
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND OR CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE SEWER DISTRICT AND COUNTY STORM SEWER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
 - AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE COUNTY TO OBTAIN APPLICABLE CITY PERMITS.
 - INGRESS/EGRESS WILL BE PROVIDED INTERNAL AND EXTERNAL TO THIS SITE.
 - REFER TO SHEET C-400 FOR SIDEWALK CONSTRUCTION DETAILS.
 - ALL CONCRETE CURB & GUTTER SHALL BE 24" UNLESS OTHERWISE NOTED ON THE PLANS.
 - ALL PAVEMENT DIMENSIONS ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL PAVEMENT RADI ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

- SITE DATA:**
- PID: 028-19A-09-187
 - ZONING: C-3 General Commercial
 - LOT SIZE: 59,590 ± SQ. FT. (1.3680 ACRES)
- BUILDING AREA:**
- BUILDING FOOT PRINT: 4,978± SQ. FT.
 - NUMBER OF EMPLOYEES DURING LARGEST SHIFT = 15 EMPLOYEES
 - TOTAL NUMBER OF SEATS = 128
 - INDOOR SEATS = 100
 - OUTDOOR SEATS = 24
- PARKING DATA:**
- NUMBER OF REGULAR PARKING SPACES: 45
 - NUMBER OF ADA SPACES: 3
 - TOTAL NUMBER OF SPACES PROVIDED: 51
 - TOTAL NUMBER OF SPACES REQUIRED: 51
 - TYPICAL PARKING WIDTH: 9.0' (PER CITY'S CODE)
 - TYPICAL PARKING LENGTH: 18.0' (PER CITY'S CODE)
 - MINIMUM ISLE WIDTH: PER REVIEW (PER CITY'S CODE)
- PARKING FORMULA:**
- 1 SPACE FOR EACH 2 SEATS OF SEATING CAPACITY.
100 SEATS / 2 = 50 STALLS REQUIRED.

- SIGN LEGEND**
- 6A DENOTES "DO NOT ENTER" R5-1, 30" X 30" (TYP.)
 - 6B DENOTES BOLLARD MOUNTED "HANDICAPPED PARKING" SIGN R7-5, 12" X 18" (TYP.) DENOTES "5250 FINE" R7-1016" X 12" (TYP.)
 - 6C DENOTES "STOP" R1-1, 30" X 30" (TYP.)
 - 6D DENOTES "PEDESTRIAN CROSSWALK" 12" X 18" TYP.
 - 6E DENOTES "MOBILE ORDERS" 12" X 18" (TYP.)
 - 6F DENOTES "LEFT TURN ONLY" R3-5L, 18" X 24" (TYP.)
 - 6G DENOTES "RIGHT TURN ONLY" R3-5R, 18" X 24" (TYP.)
 - 6H DENOTES "VAN ACCESSIBLE" D9-6P (BOLLARD MOUNTED WITH 6B)
- HATCH LEGEND**
- DENOTES CONCRETE SECTION
 - DENOTES CROSSWALK STRIPING
 - DENOTES PARKING/TRAVEL STRIPING
- LEGEND**
- CONSTRUCTION KEYNOTE
 - PROPOSED PARKING SPACE NUMBER
 - PROPOSED DRIVE THRU STACK CAR
 - PROPOSED UTILITY STRUCTURES REFER TO UTILITY PLAN FOR MORE INFORMATION
 - PROPOSED LIGHT POLE REFER TO E-603 FOR ADDITIONAL INFORMATION

GPD GROUP
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5200 Buffington Rd.
Atlanta Georgia,
30349-2998

REV.	DATE	DESCRIPTION

STATE OF OHIO
LEONARDO A. SFERRA
E-71842
REGISTERED PROFESSIONAL ENGINEER
11/19/20

CHICK-FIL-A
1007 N. COURT ST.
MEDINA, OHIO 44256

SITE PLAN

ISSUED FOR:	PERMIT
BID	CONSTRUCTION
RECORD	
PROJECT MANAGER:	DESIGNER:
ES	DS

JOB NO.
2020223.20

C-200

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GRADING & DRAINAGE NOTES

- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE JURISDICTION UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-IN CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DETERMINED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE ALONG ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% OUTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING OUT SHEETS PRIOR TO INSTALLATION.
- IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- SEE EROSION CONTROL PLAN FOR EROSION CONTROL MEASURES AND NOTES.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, & ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. NO ON SITE BURNING WILL BE ALLOWED.
- ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
- NO PART OF THE PROPOSED PROJECT IS LOCATED WITHIN A FLOOD HAZARD AREA.
- SPOT ELEVATIONS SHOWN ARE @ EDGE OF PAVEMENT UNLESS OTHERWISE NOTED ON PLAN.
- ALL CONCRETE CURB & GUTTER SHALL BE AS SPECIFIED UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL STORM SEWER JOINTS SHALL HAVE O-RING GASKETS.
- MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
- BACKFILL TO THE TOP OF CURBS.
- SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
- ALL SIDEWALK CROSS SLOPES SHALL BE A MAXIMUM OF 1.8%.
- DESIGNATED HANDICAP PARKING AREAS SHALL BE GRADED TO A MAXIMUM OF 1.8%.
- SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING OF PAVEMENT.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- ALL FIELD TILES ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON THE RECORD PLANS BY THE CONTRACTOR.

GENERAL NOTES:

- ACCESSIBLE PARKING, RAMPS, AND SIGNAGE SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- 1 WEEK PRIOR TO CONSTRUCTION WITHIN CITY ROW OR ANY CONNECTION TO PUBLIC SEWERS, CONTRACTOR SHALL NOTIFY THE APPROPRIATE COUNTY ENGINEERING DIVISIONS.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT. CUT/ITRIM EXPANSION JOINTS TO BE FLUSH WITH SURFACE.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR SHALL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OR MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE COUNTY.
- ALL CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE COUNTY CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND LATEST EDITION OF ODOT DESIGN STANDARDS.
- EXCAVATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
- CONTRACTOR TO GRADE 4" BELOW THE BACK OF CURB TO ALLOW FOR PLACEMENT OF TOPSOIL. A MINIMUM OF 4" TOPSOIL SHALL BE PLACED IN ALL PLANTING BEDS AND ALL GRASSSED AREAS. GRADE AREAS TO BE HED DOWN FOR APPROPRIATE ELEVATION TO ACCOUNT FOR TOPSOIL. SEE SHEET L-101 FOR DETAILS.

TRAFFIC CONTROL NOTES:

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY ROW OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.

BASIS OF BEARING:

STATE PLANE GRID NORTH, NAD 83 (2011), GEOID 12B, OHIO NORTH ZONE, TIED BY GPS TO THE O.D.O.T. VRS.

ELEVATIONS ARE NAVD 88.

BENCHMARKS:

BENCHMARK #1 - X-CUT ON HYDRANT BONNET BOLT
N 543085
E 2143681
ELEVATION= 972.37

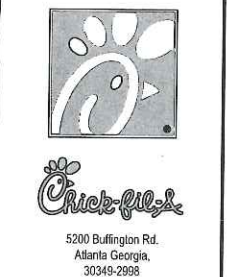
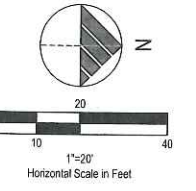
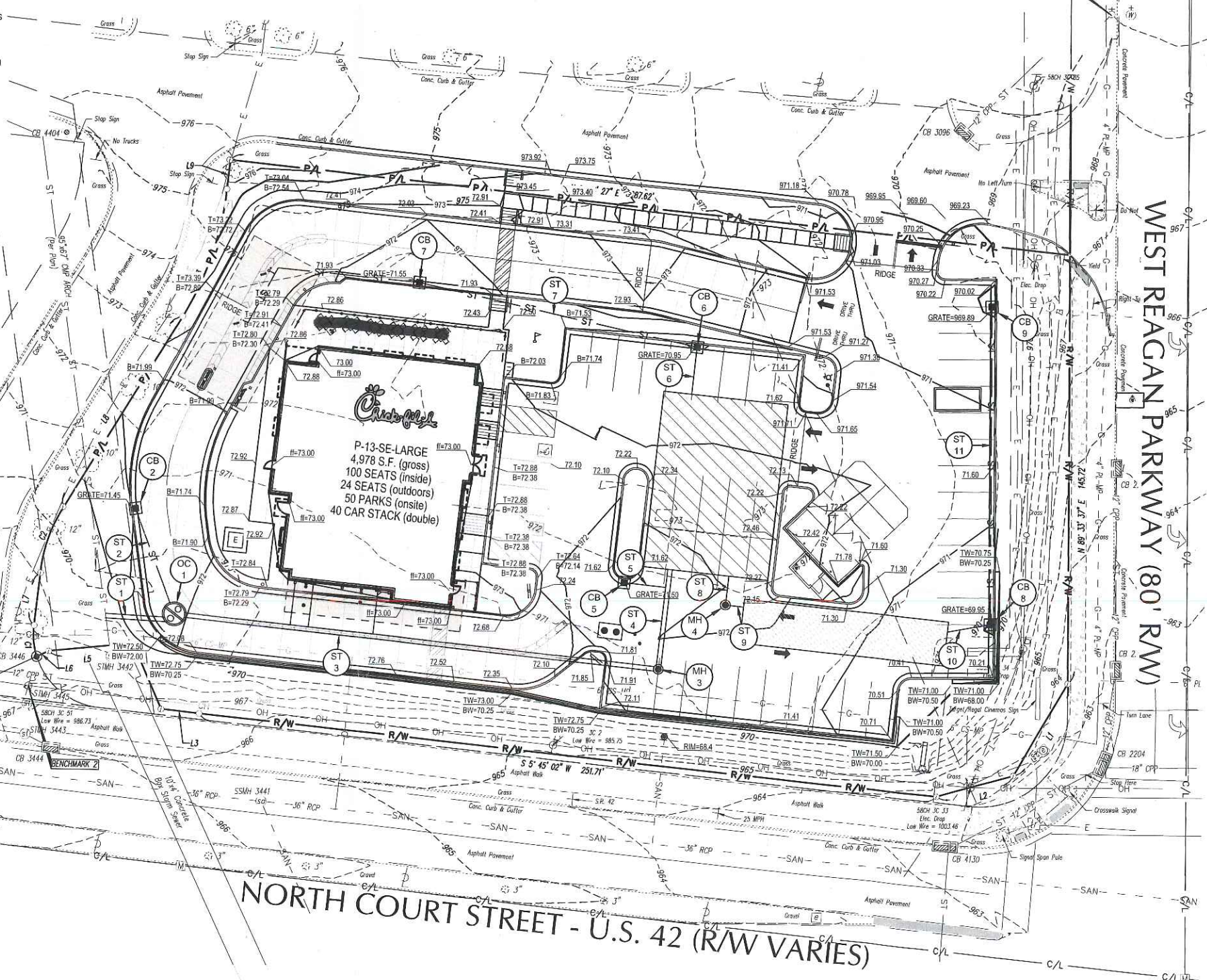
BENCHMARK #2 - MAG SPIKE IN POLE
N 542701
E 2143913
ELEVATION= 968.32

LEGEND

- DENOTES AREA OF SPILLING CURB AND GUTTER.
- DENOTES AREA OF CATCHING CURB AND GUTTER.
- DENOTES AREA OF SPILLING GUTTER AT ACCESSIBLE RAMP.
- DENOTES AREA OF CATCHING GUTTER AT ACCESSIBLE RAMP.
- PROPOSED CONTOUR
- PROPOSED ELEVATION @ FINISHED GROUND ELEVATION
- T=000.00
B=000.00 TOP OF CURB ELEVATION
BOTTOM OF CURB/FINISHED PAVEMENT ELEVATION
- TW=000.00
BW=000.00 TOP OF WALL ELEVATION
BOTTOM OF WALL ELEVATION
- EP=000.00
TF=000.00 TOP OF PAVEMENT/FINISHED ELEVATION
TOP OF COLUMN FOOTING ELEVATION
- Ⓐ APPURTENANCES
- PROPOSED UNDERGROUND DETENTION
BOTTOM OF STONE INVERT+XXXX
BOTTOM OF CHAMBERS INVERT+XXXX
TOP OF CHAMBER INVERT+XXXX
TOP OF STONE INVERT+XXXX
- PROPOSED ISOLATOR ROW/WATER QUALITY CHAMBERS

PROPOSED STRUCTURES

STRUCT ID	STRUCTURE DETAILS	STRUCTURE ID	STRUCTURE DETAILS
OC 1	PROPOSED OUTLET CONTROL STRUCTURE (SEE DETAIL, SHEET C-50X) RIM = 971.94 INV. 12" HDPE (W)= 968.94 INV. 18" HDPE (N)= 963.02 INV. 18" HDPE (S)= 963.04	CB 6	PROPOSED CURB INLET (SEE DETAIL, SHEET C-50X) RIM = 970.95 INV. 12" HDPE (S)= 966.55 INV. 18" HDPE (E)= 966.05
CB 2	PROPOSED CURB INLET (SEE DETAIL, SHEET C-50X) RIM = 971.25 INV. 12" HDPE (E)= 967.25	CB 7	PROPOSED CURB INLET (SEE DETAIL, SHEET C-50X) RIM = 971.55 INV. 12" HDPE (N)= 967.55
MH 3	PROPOSED STORM MANHOLE (SEE DETAIL, SHEET C-50X) RIM = 971.75 INV. 18" HDPE (S&W)= 963.84	CB 8	PROPOSED CURB INLET (SEE DETAIL, SHEET C-50X) RIM = 969.95 INV. 12" HDPE (W)= 965.80 INV. 18" HDPE (S)= 965.30
MH 4	PROPOSED STORM MANHOLE (SEE DETAIL, SHEET C-50X) RIM = 972.14 INV. 18" HDPE (N)= 965.04 INV. 18" HDPE (W)= 963.84	CB 9	PROPOSED CURB INLET (SEE DETAIL, SHEET C-50X) RIM = 969.89 INV. 12" HDPE (E)= 966.89
CB 5	PROPOSED CURB INLET (SEE DETAIL, SHEET C-50X) RIM = 971.50 INV. 12" HDPE (N)= 967.50		



REV	DATE	DESCRIPTION



CHICK-FIL-A
1007 N. COURT ST.
MEDINA, OHIO 44256

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
RECORD	
PROJECT MANAGER	DESIGNER
ES	DS

JOB NO.
2020223.20

C-300

Project Name: C:\2020\20220223\Medina OH (Spher) - Working File\dwg_CAD\00_Dwg_C\PC\2020223.20_PLR.dwg
 September 23, 2020 10:56:46



NOTE:
ALL STORM STRUCTURES WITHIN PAVED AREAS REQUIRE WEEP HOLES SEE DETAIL 40 ON SHEET C-403 FOR WEEP HOLE DETAIL.

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GRADING PLAN

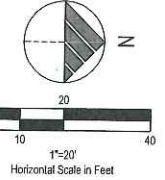
LAYOUT NOTES

- PAY CONNECTION FEES FOR 2" DOMESTIC WITH 1.5" METER. FIRE WATER SERVICE TAP. DOMESTIC SERVICE SEPARATE FROM FIRE SERVICE EXTERNAL TO BUILDING.
- 61 L.F. 3/4" CW TO DUMPSTER POST HYDRANT (SOFT COPPER TYPE K) MAINTAIN MINIMUM 3.5' COVER.
- UNDERGROUND PRIMARY TELEPHONE SERVICE SERVICE ENTRANCE (SEE NOTE 19).
- 6" KITCHEN WASTE LINE. (SEE SANITARY TAGS FOR INFO)
- 3" VENT LINE. CONNECT TO GREASE INTERCEPTOR. (SEE SHEET P-101 FOR LOCATION)
- 6" RESTROOM WASTE LINE. (SEE SANITARY TAGS FOR INFO)
- PROPOSED TRANSFORMER PER ELECTRIC COMPANY STANDARDS. SEE UTILITY NOTES, THIS SHEET.
- DUMPSTER POST HYDRANT REFER TO THE FIXTURE CONNECTION SCHEDULE (P-303) DEPICTED ON THE PROJECT PLUMBING PLANS.
- DOWNSPOUT FOR ROOF DRAINAGE (REFER TO ARCHITECTURAL PLANS)
- PROPOSED GAS SERVICE. (SEE NOTE 18)
- COORDINATE GAS METER INSTALLATION WITH GAS COMPANY.
- 4" PVC SDR 26 ROOF DRAIN PIPE SYSTEM. (CONNECT TO SITE STORM DRAIN)
- 6" FIRE SERVICE DUCTILE IRON PIPE (DIP)
- 277 L.F. 2" SOFT COPPER (TYPE K) WITH APPROVED FLARED OR COMPRESSION FITTING ONLY (DOMESTIC)
- UNDERGROUND ISP SERVICE ENTRANCE LOCATION. (SEE NOTE 21)
- 1.5" GAS SERVICE LINE TO DRIVE-THRU CANOPY
- PROPOSED SANITARY LATERAL CONNECTION INTO 6" PVC SANITARY LINE.
- UNDERGROUND ELECTRIC SERVICE ENTRANCE LOCATION. (SEE NOTE 15)
- CANOPY DRAIN SYSTEM TO BE VERIFIED WITH CANOPY SHOP DRAWINGS PRIOR TO INSTALL.
- ELECTRIC, TELEPHONE, AND ISP SERVICE TRENCH.
- PRECAST 1000 GAL. CAPACITY GREASE TRAP. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR. TOP OF MANHOLE TO BE 0.2' ABOVE FINISHED GRADE AND MATCH SIDEWALK GRADES WHERE REQUIRED. VERIFY GREASE TRAP MEETS CITY/COUNTY SPECIFICATIONS PRIOR TO INSTALLATION. REFER TO PLUMBING PLAN SHEET P-101.
- 6" WATER VALVE.
- PROPOSED FIRE HYDRANT WITH BACK FLOW PREVENTER
- PROPOSED WATER STOP WITH VAULT AND WATER METER
- PROPOSED MANHOLE TO INTERCEPT EXISTING SANITARY LATERAL
- PROPOSED UNDERGROUND DETENTION
- PROPOSED WATER QUALITY/ISOLATOR ROW CHAMBERS
- PROPOSED UTILITY TAP, PAVEMENT RESTORATION REQUIRED PER JURISDICTION REQUIREMENTS.

STRUCT. ID	STRUCTURE DETAILS
SSMH 687	EXISTING SANITARY SEWER MANHOLE T/C = 962.82 INV. 36" RCP (N & S) = 952.17 INV. 12" PVC (W) = 954.02
SSMH 2204	EXISTING SANITARY SEWER MANHOLE T/C = 971.85 INV. 12" PVC (EW) = 957.35 INV. 6" PVC (S) = 962.45
SSMH 3441	EXISTING SANITARY SEWER MANHOLE T/C = 965.57 INV. 36" RCP (N) = 963.47 INV. 36" RCP (S) = 963.57
SSMH 3441	EXISTING SANITARY SEWER MANHOLE T/C = 973.11 INV. 36" RCP (NAS) = 962.11

LEGEND

- (SEE SHEET C-001 FOR GENERAL LEGEND)
- ST - PROPOSED STORM SEWER
 - SAN - PROPOSED SANITARY SEWER
 - W - PROPOSED WATER SERVICE
 - GAS - PROPOSED GAS SERVICE
 - E - PROPOSED UNDERGROUND ELECTRIC SERVICE
 - T&C - PROPOSED UNDERGROUND TELEPHONE & CABLE SERVICE
 - D.S. # - PROPOSED DOWNSPOUT
 - A # - APPURTENANCES
 - PROPOSED CURB INLET
 - PROPOSED STORM MANHOLE
 - PROPOSED CLEAN OUT
 - PROPOSED SANITARY MANHOLE
 - PROPOSED EXTERIOR GREASE INTERCEPTOR
 - PROPOSED ELECTRIC TRANSFORMER
 - PROPOSED UNDERGROUND DETENTION
 - PROPOSED ISOLATOR ROW/WATER QUALITY CHAMBERS
 - PROPOSED FIRE HYDRANT
 - PROPOSED BACKFLOW PREVENTER
 - PROPOSED WATER STOP WITH VAULT AND WATER METER



ONSITE WATERLINE NOTES:

- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
- ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED AUXILIARY GATE VALVE.
- ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED BEFORE ACCEPTANCE. SEE SITE WORK SPECIFICATIONS.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.

MISCELLANEOUS NOTES:

- ALL BUILDING UTILITY SERVICE LOCATIONS TO BE VERIFIED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- FOR EXACT LIGHT POLE LOCATIONS SEE PHOTOMETRIC PLAN.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC ROW EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY TO OBTAIN APPLICABLE COUNTY PERMITS.

UTILITY NOTES

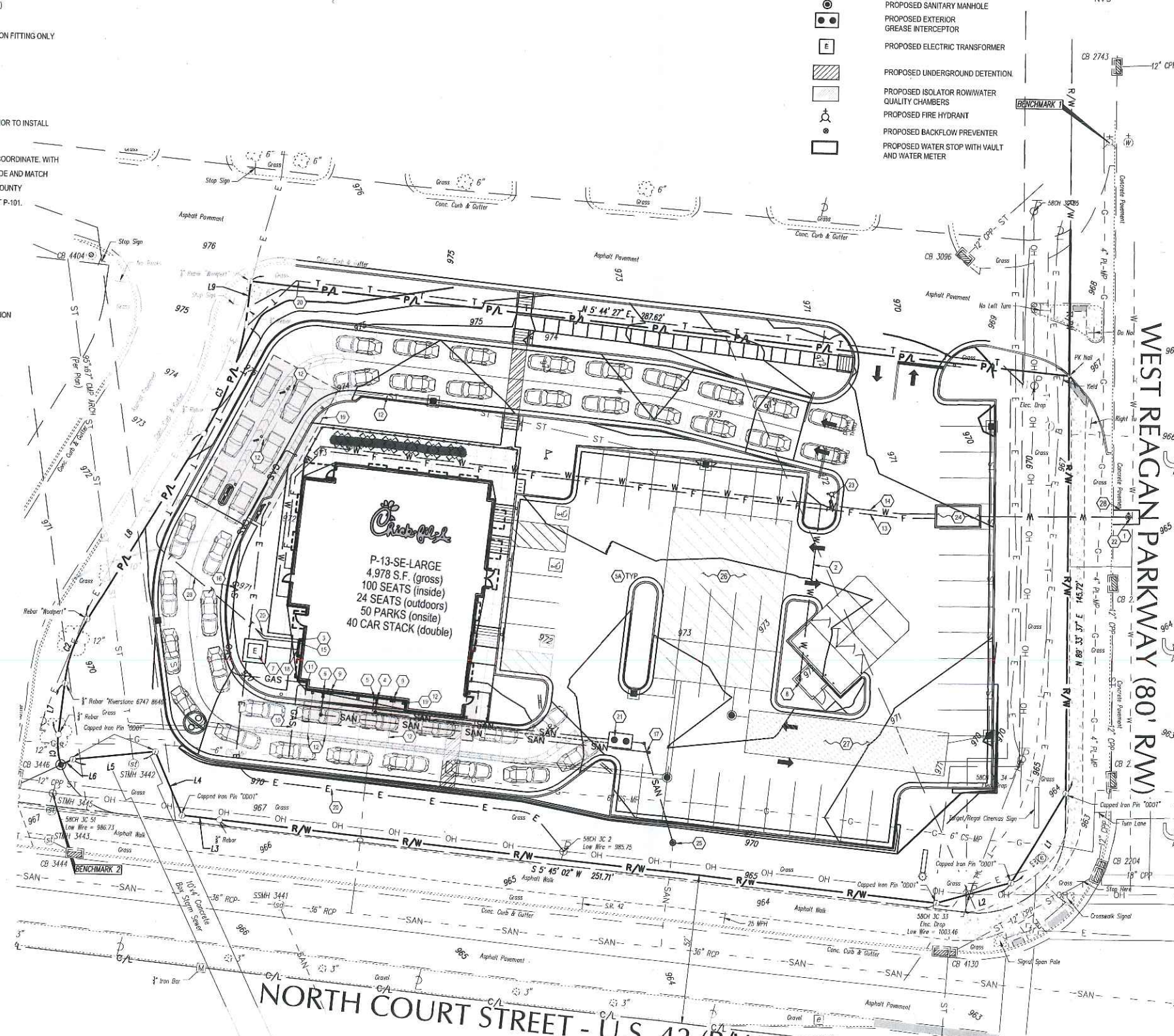
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR DUTY SERVICE SIZES AND EXACT LOCATIONS. CONTRACTOR TO CONFIRM SIZES OF ALL SERVICES PRIOR TO INSTALLATION. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- MAINTAIN A MINIMUM OF 3.5' COVER OVER ALL WATER MAINS.
- MAINTAIN A MINIMUM OF 3.0' COVER OVER ALL SANITARY SEWER.
- ADJUST ALL MANHOLES AND FRAMES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MAHONING COUNTY SANITARY ENGINEERING DEPARTMENT.
- MAINTAIN A 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY/STORM SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND PUBLIC WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY CALL (OHIO811.org) AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- LOCATION OF SITE UTILITIES SHALL BE VERIFIED WITH PROPER UTILITY COMPANY PROVIDING SERVICE.
- ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
- SEE SITE SPECIFICATIONS "UNDERGROUND UTILITIES" FOR BACKFILLING AND COMPACTION REQUIREMENTS. ALSO SEE SHEET C-001 FOR GENERAL NOTES.
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- ELECTRICAL SERVICE FROM EXISTING POLE SHALL BE RUN UNDERGROUND TO THE BUILDING. CONTRACTOR SHALL COORDINATE LOCATION OF TRANSFORMER PRIOR TO CONSTRUCTION. ASSOCIATED COST BY GENERAL CONTRACTOR.
- ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- FOR EXACT LIGHT POLE LOCATIONS SEE PHOTOMETRICS PLAN
- DOMINION EAST OHIO GAS WILL FURNISH AND INSTALL THE GAS MAINS AND GAS SERVICE UP TO AND INCLUDING THE METER. COORDINATE ALL WORK WITH DOMINION PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO PROVIDE COMPLETE AND WORKING SERVICE.
- CONTRACTOR TO FURNISH AND INSTALL (2) 2" SCHEDULE 40 PVC CONDUITS WITH PULL STRING FOR TELEPHONE SERVICE FROM MAIN TO BUILDING. CENTURY LINK TO SUPPLY. PROVIDE AND INSTALL ISP SERVICE CONDUIT TO BE INSTALLED MINIMUM 24" BELOW FINISHED GRADE. COORDINATE ALL WORK PRIOR TO CONSTRUCTION.
- CONTRACTOR TO COORDINATE WITH FIRST ENERGY FOR ALL ELECTRICAL WORK.
- CONTRACTOR TO FURNISH AND INSTALL (2) 4" SCHEDULE 40 PVC CONDUIT WITH PULL STRING FOR ISP SERVICE FROM (PROVIDER) MAIN TO BUILDING. (PROVIDER) TO SUPPLY. PROVIDE AND INSTALL ISP SERVICE CONDUIT TO BE INSTALLED MINIMUM 24" BELOW FINISHED GRADE.
- MANHOLE CONNECTION TO PUBLIC SANITARY SEWERS SHALL BE CORE DRILLED. LATERAL CONNECTIONS TO PUBLICS SANITARY SEWERS SHALL BE WYE CONNECTION.

BENCHMARKS:

BENCHMARK #1 - X-CUT ON HYDRANT BONNET BOLT
N 543085
E 2143681
ELEVATION = 972.37

BENCHMARK #2 - MAG SPIKE IN POLE
N 542701
E 2143913
ELEVATION = 968.32

BASIS OF BEARING:
STATE PLANE GRID NORTH NAD 83 (2011),
GEOID 128, OHIO NORTH ZONE,
TIED BY GPS TO THE O.D.O.T. VRS.
ELEVATIONS ARE NAVD 88



NORTH COURT STREET - U.S. 42 (R/W VARIES)

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Akron, OH 44311
330.572.2100 Fax: 330.572.2101
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5200 Buffington Rd.
Atlanta Georgia,
30349-2988

REV.	DATE	DESCRIPTION



CHICK-FIL-A
1007 N. COURT ST.
MEDINA, OHIO 44256

**PLUMBING SITE PLAN
(UTILITY PLAN)**

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
RECORD	
PROJECT MANAGER	DESIGNER
ES	DS

JOB NO.
2020223.20

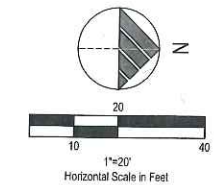
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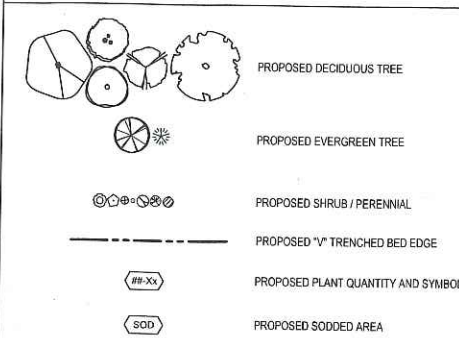
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 11/19/20

PLANT LIST

Symbol	Botanical Name	Common Name	Qty.	Min. Size	Condition	Remarks
TREES						
Ac	Abies concolor	White Fir	1	8' Ht.	B&B	Matching
Cc	Cercis canadensis 'Pink Trim'	Northern Harbort Redbud	3	1.5" Cal.	B&B	Matching
Gt	Gleditsia triacanthos f. inermis 'Skyline'	Skyline Honeylocust	4	2" Cal.	B&B	Matching
Mc	Malus 'Coralcolor'	Coralburst Crabapple	3	1.5" Cal.	B&B	Specimen
Jc	Juniperus chinensis 'Spartan'	Spartan Juniper	11	5' Ht.	B&B	Per Plan
Sr	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1	5' Ht.	B&B	Multi-stem
Ua	Ulmus americana 'Princeton'	Princeton Elm	2	2" Cal.	B&B	Matching
SHRUBS						
Hb	Hemerocallis 'Going Bananas'	Going Bananas Daylily	188	No. 2	Cont.	1.5' o/c
Hp	Hydrango paniculata 'Bokratorch'	Magical Flame Hydrangea	11	30" Ht.	No. 5 Cont.	4' o/c
Hk	Hypericum kalmianum 'Ames'	Ames St. John's Wort	22	18" Ht.	No. 5 Cont.	3' o/c
Ig	Ilex glabra 'Chamzin'	Nordic Inkberry Holly	40	24" H	B&B	3.5' o/c
Iv	Itea virginica 'Little Henry'	Little Henry Sweetspire	33	18" Ht.	No. 3 Cont.	3' o/c
Ra	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	63	24" Sprd.	No. 3 Cont.	4.5' o/c
Vc	Viburnum cerasifolium 'Cayuga'	Cayuga Viburnum	32	30" Ht.	No. 5 Cont.	3' o/c



LANDSCAPE LEGEND



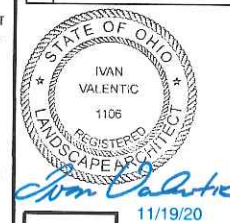
LANDSCAPE CALCULATIONS

INTERIOR LANDSCAPE AREA
 * THERE SHALL BE 5 SF OF LANDSCAPE AREA PER 100 SF OF PARKING AREA. SITE TOTAL PARKING AREA: 18,706 SF.
 REQUIRED ILA: 935 SF
 PROPOSED ILA: 1,336 SF

LANDSCAPE NOTES

- ALL DISTURBED AREAS NOT TO BE PAVED OR MULCHED SHALL BE LAWN.
- ALL MULCH AREAS NOT TO BE DECORATIVE STONE MULCH, SHALL BE MULCHED PER LANDSCAPE SPECIFICATIONS ON SHEET L-102.
- ALL PROPOSED TREES SHALL BE INSTALLED A MINIMUM DISTANCE OF 10' FROM HYDRANTS AND UTILITY STRUCTURES.
- DECORATIVE MULCH TO BE PROVIDED AROUND THE BUILDING AS SHOWN PER SPECIFICATIONS. ALL OTHER SHRUB BEDS (EXISTING AND NEW) TO BE MULCHED WITH SHREDDED HARDWOOD MULCH PER SPECIFICATIONS.
- LANDSCAPE CONTRACTOR TO READ AND UNDERSTAND THE LANDSCAPE SPECIFICATIONS (SHEET L-102) PRIOR TO FINALIZING BIDS. THE LANDSCAPE SPECIFICATIONS SHALL BE ADHERED TO THROUGHOUT THE CONSTRUCTION PROCESS.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED.
- NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- ALL PLANTING AREAS SHALL BE CLEANED OF CONSTRUCTION DEBRIS (I.E. CONCRETE, ROCK, RUBBLE, BUILDING MATERIALS, ETC) PRIOR TO ADDING AND SPREADING OF THE TOPSOIL.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ADDING A MIN OF 4" CLEAN FRIABLE TOPSOIL IN ALL PLANTING BEDS AND ALL GRASSED AREAS. GRADED AREAS TO BE HELD DOWN THE APPROPRIATE ELEVATION TO ACCOUNT FOR TOPSOIL DEPTH. SEE LANDSCAPE SPECIFICATIONS FOR REQUIRED TOPSOIL CHARACTERISTICS.
- IN ALL PARKING LOT ISLANDS, THE GENERAL CONTRACTOR IS RESPONSIBLE TO REMOVE ALL DEBRIS, FRACTURED OPEN SUBGRADE TO A MIN. 24" DEPTH, ADD TOPSOIL TO A 6"-8" BERM HEIGHT ABOVE ISLAND CURBING, REFER TO LANDSCAPE SPECIFICATIONS AND LANDSCAPE ISLAND DETAIL.
- PRIOR TO BEGINNING WORK, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION APPROVE TOPSOIL PROVIDED BY THE GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS. WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.
- ANY DEVIATIONS FROM THE APPROVED SET OF PLANS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE "AMERICAN STANDARD FOR NURSERY STOCK" AND THE ACCEPTED STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERMEN.
- EXISTING GRASS IN PROPOSED PLANTING AREAS SHALL BE KILLED AND REMOVED. HAND RAKE TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER, PRIOR TO ADDING TOPSOIL AND PLANTING SHRUBS.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS PRIOR TO LAYING SOD.
- PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH OF THE ROOT BALL, FOR BOTH SHRUB AND TREE. SET PLANT MATERIAL 2-3" ABOVE FINISH GRADE. BACKFILL PLANTING PIT WITH TOPSOIL AND NATIVE EXCAVATED SOIL.
- SOD TO BE DELIVERED FRESH (CUT LESS THAN 24 HOURS PRIOR TO ARRIVING ON SITE), LAID IMMEDIATELY, ROLLED, AND WATERED THOROUGHLY IMMEDIATELY AFTER PLANTING. EDGE OF SOD AT PLANTING BEDS ARE TO BE "V" TRENCHED; SEE LANDSCAPE DETAILS.
- ANY EXISTING GRASS DISTURBED DURING CONSTRUCTION TO BE FULLY REMOVED, REGRADED AND REPLACED. ALL TIRE MARKS AND INDENTATIONS TO BE REPAIRED.
- WATER THOROUGHLY TWICE IN FIRST 24 HOURS AND APPLY MULCH IMMEDIATELY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR TWO FULL YEARS FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM. SEE LANDSCAPE SPECIFICATIONS FOR WARRANTY REQUIREMENTS/EXPECTATIONS.
- ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY, UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES, OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH, SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR. SEE LANDSCAPE SPECIFICATIONS FOR WARRANTY REQUIREMENTS/EXPECTATIONS.
- SITE TO BE 100% IRRIGATED IN ALL PLANTING BEDS AND GRASS AREA BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SEE IRRIGATION PLAN L-200 FOR DESIGN. IRRIGATION AS-BUILT SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT WITHIN 24 HOURS OF IRRIGATION INSTALL COMPLETION.
- STAKE ALL EVERGREEN AND DECIDUOUS TREES AS SHOWN IN THE PLANTING DETAIL AND AS PER THE LANDSCAPE SPECIFICATIONS.
- REMOVE STAKES AND GUYING FROM ALL TREES AFTER ONE YEAR FROM PLANTING.

REV.	DATE	DESCRIPTION



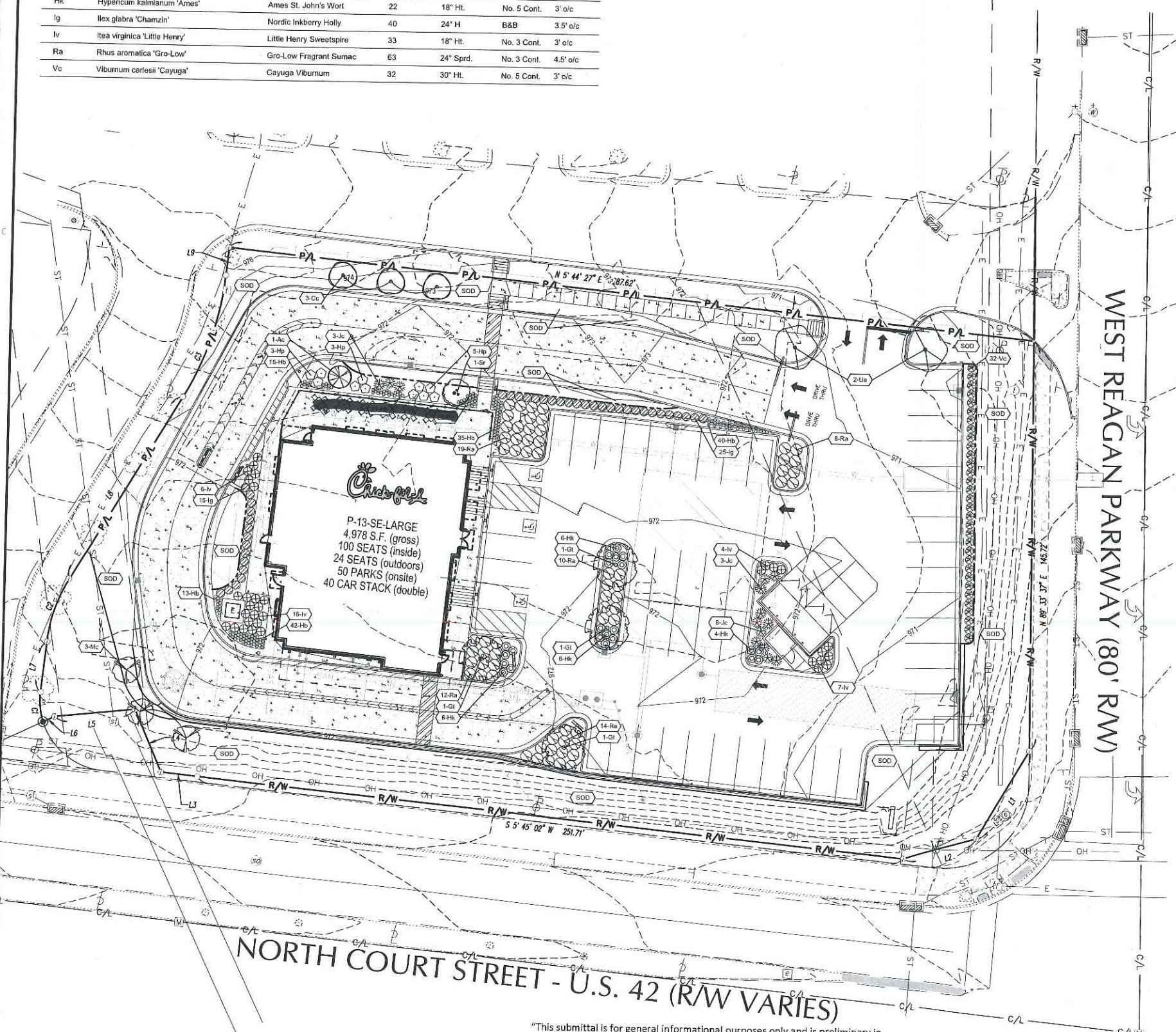
CHICK-FIL-A
 1007 N. COURT ST.
 MEDINA, OHIO 44256

LANDSCAPE PLAN

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
RECORD	
PROJECT MGR	DESIGNER
ES	JRA

JOB NO.
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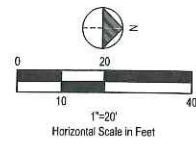
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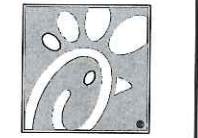
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 Date: 10/23/2023 2:20:23 PM
 Author: JRA
 Plot Date: 10/23/2023 2:20:23 PM
 Plot Scale: 1/8"=1'-0"





- PHOTOMETRIC NOTES**
1. ALL FIXTURES UTILIZED IN THIS SITE PHOTOMETRIC ARE FULL CUTOFF.
 2. MOUNT AREA LUMINAIRE TYPES 'OD', 'OD1', AND 'OD2' AT 25' AFG (INCLUDING POLE BASE) UNLESS OTHERWISE NOTED.
 3. COLOR TEMPERATURES OF FIXTURES SHALL BE 40K.



5200 Buffington Rd.
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30349-2998

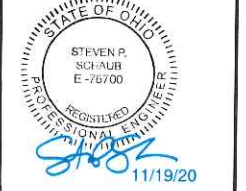
PHOTOMETRIC STATISTIC

DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
PARKING LOT	*	3.9%	22.4%	0.9%	23.7:1	4.1:1

LIGHTING FIXTURE SCHEDULE

SYMBOL	LABEL	QTY	CATALOG NUMBER	MANUFACTURER	DESCRIPTION	LAMP	WATTS	VOLTS	MOUNTING
☐	OA	12	P5875-31 WITH P8799 TOP COVER LENS	PROGRESS LIGHTING	5" DIAMETER, 14" HEIGHT, WET LOCATION, UP/DOWN CYLINDER W/ 12 WATT PAR30 3K NFL LED LAMPS	2-(GE)LED12 P30RW83025	24	120	WALL
☐	OD3	1	LUMINAIRE: PRV-C40-D-UNV-T3-BZ -MSIDIM-L40W POLE: SSP25-4.0-7-BRZ-DM10-BC (TWO LUMINAIRES AT 180 DEGREE) ANCHOR BOLT SET: ABS55-5	COOPER/LUMARK KW INDUSTRIES	DRILL MOUNT THE ARMS/BRACKETS FOR THE LUMINAIRES, BRACKETS, AND POLES TO HAVE DARK BRONZE FINISH TYPE 3 MEDIUM DISTRIBUTION PROVIDE SINGLE POLE FUSE HOLDER AND 3A FUSES IN HAND HOLE OF POLE	LED FURNISHED WITH FIXTURE	262	120	25'
☐	OD2	6	LUMINAIRE: PRV-C40-D-UNV-T4-BZ-HSS -MSIDIM-L40W POLE: SSP25-4.0-7-BRZ-DM10-BC (SINGLE LUMINAIRE) ANCHOR BOLT SET: ABS55-5	COOPER/LUMARK KW INDUSTRIES	DRILL MOUNT THE ARMS/BRACKETS FOR THE LUMINAIRES TO THE POLES LUMINAIRES, BRACKETS, AND POLES TO HAVE DARK BRONZE FINISH TYPE 4 MEDIUM DISTRIBUTION WITH HOUSE SIDE SHIELD PROVIDE SINGLE POLE FUSE HOLDER AND 3A FUSES IN HAND HOLE OF POLE	LED FURNISHED WITH FIXTURE	131	120	25'
☐	OK	2	LNC-SLU-3K-3-1	HUBBELL	LED WALLPACK W/ CENTERLINE OF FIXTURE AT 8'-0" ABV 0'-0" (FINISH FLOOR LINE)	FURNISHED	12.9	120	WALL
☐	OP	9			CEILING LIGHT FIXTURE PROVIDED BY THE CANOPY SUPPLIER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.	FURNISHED	88	120	9.5'

REV.	DATE	DESCRIPTION



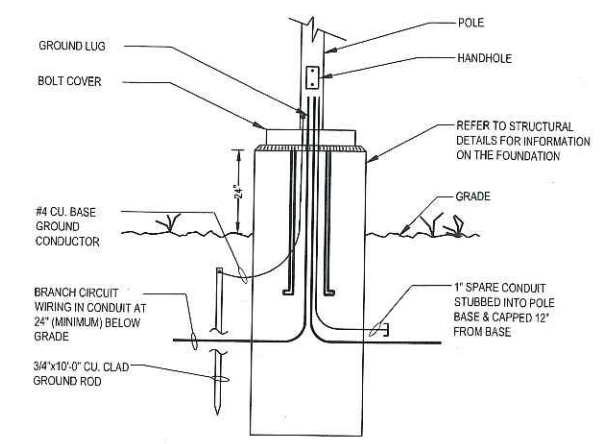
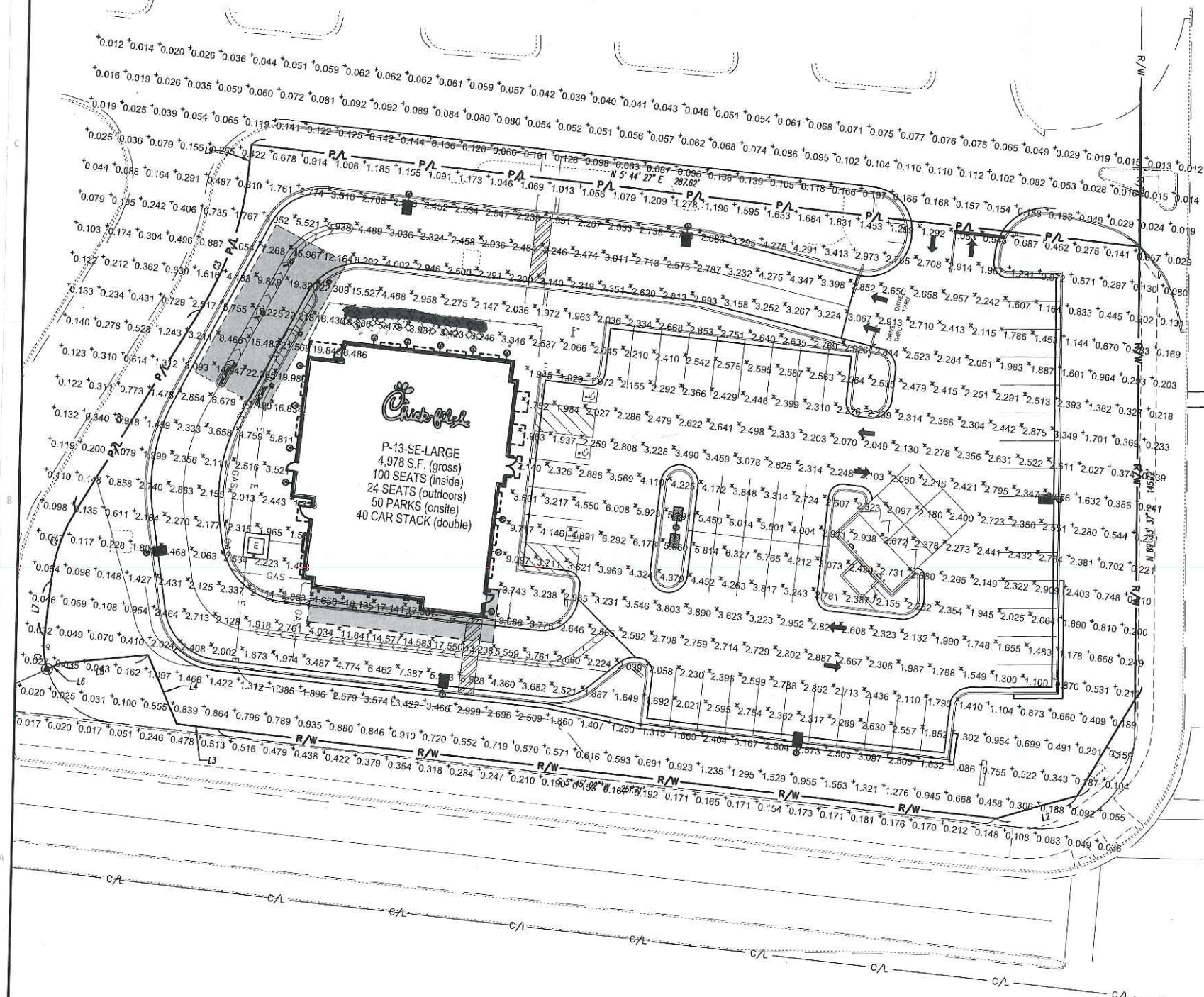
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MEDINA, OHIO 44256

PHOTOMETRIC PLAN

ISSUED FOR:	PERMIT
BID	CONSTRUCTION
RECORD	
PROJECT MANAGER:	DESIGNER:
ES	AWC

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E-100



A2 TYPICAL POLE BASE DETAIL
N.T.S.

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 November 19, 2020 - twg

DESIGN DEVELOPMENT PACKAGE

#04734 Medina, OH FSU

1007 N Court Street, Medina, OH 44256

NOV 19 2020

STORE NUMBER

#04734



PERSPECTIVE VIEW - ENTRY

PROTOTYPE	P13_SE_LRG
VERSION	Approver
TIER	TIER 1
BUILDING FOOTPRINT	4989 SF
SEAT COUNT - INTERIOR	132
SEAT COUNT - EXTERIOR	28
SEATING TYPE	STANDARD
REGISTERS	4
DRIVE-THRU	YES
LEED	NOT CERTIFIED
LANDSCAPING	STANDARD
<u>OPTIONS:</u>	
RESTROOM	THREE FIXTURE
WATER FILTRATION	TYPE 1
PLAYGROUND	NO PLAY
KITCHEN LAYOUT	CENTERLINE

DESIGN SIGN-OFF

DESIGN LEADER _____

DATE _____

DESIGN DEVELOPMENT COVER SHEET



PERSPECTIVE VIEW - REAR LEFT



PERSPECTIVE VIEW - FRONT LEFT



PERSPECTIVE VIEW - REAR RIGHT

PERSPECTIVE VIEWS



EXTERIOR ELEVATION

1" = 10'-0"



EXTERIOR ELEVATION

1" = 10'-0"

EXTERIOR ELEVATIONS



EXTERIOR ELEVATION
1" = 10'-0"

ATTACHED CANOPY SCHEDULE

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-C	Exterior Canopy	13	6'-4"	1'-0"	0"	No
C4-B	Exterior Canopy	1	5'-4"	4'-0"	2'-4"	Yes
C4-G	Exterior Canopy	1	7'-0"	4'-0"	2'-4"	Yes
C5-A	Exterior Canopy	1	10'-0"	5'-0"	2'-4"	Yes
Grand total		16				



EXTERIOR ELEVATION
1" = 10'-0"

EXTERIOR ELEVATIONS

EXTERIOR FINISHES

BR-A
BRICK VENEER
COLOR: DARK BROWN
SIZE: MODULAR

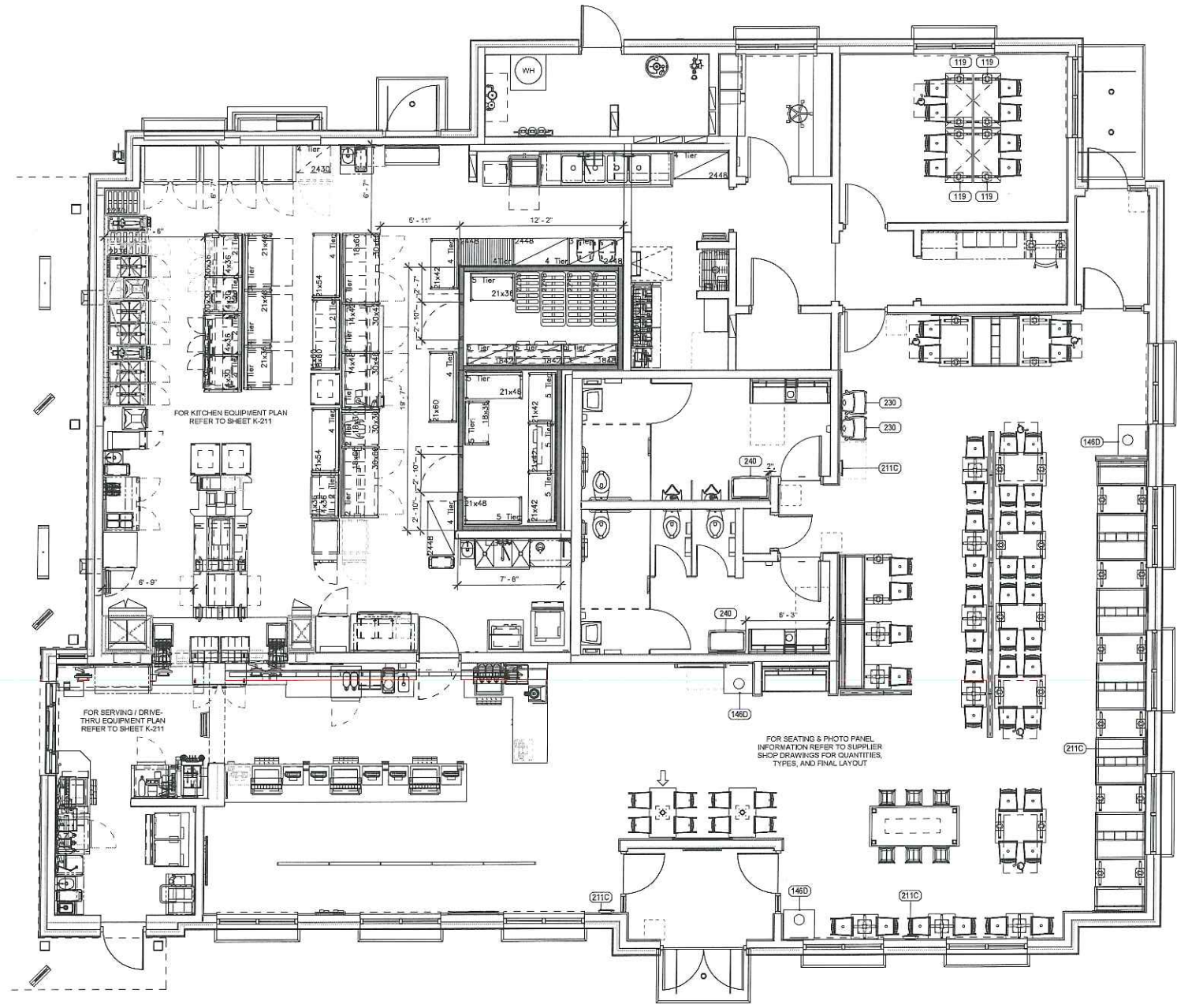
BR-B
BRICK VENEER
COLOR: LIGHT BROWN
SIZE: MODULAR

EC-1
PREFINISHED METAL COPING
COLOR: DARK BRONZE

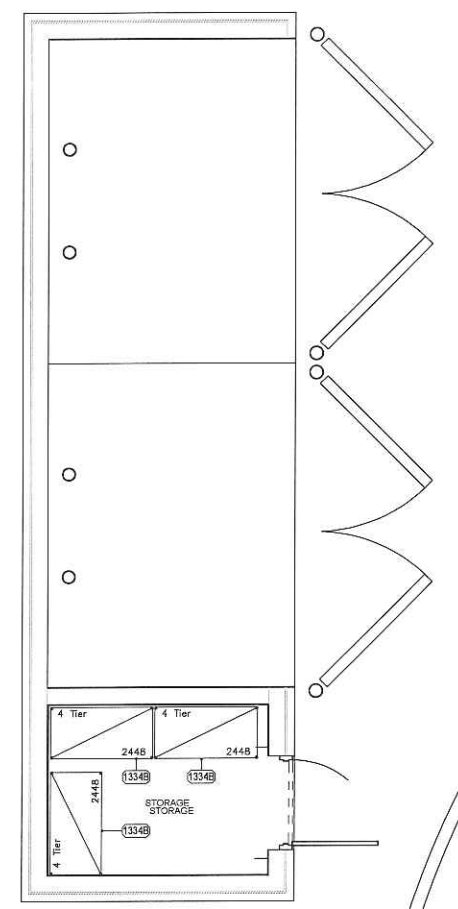
PT-9
EXTERIOR PAINT
COLOR: DARK BRONZE
FINISH: SEMI-GLOSS

ST-1
STOREFRONT
COLOR: DARK BRONZE

11/17/2020 6:52:08 PM BIM-300/000_CFA_FSR_Tomeliks_F10300003_NetwStk_SE_EDC/KH
 SE-0000K-201-OVERALL EQUIPMENT FLOOR PLAN



1 PARTIAL EQUIPMENT PLAN - DINING
 1/4" = 1'-0"



NOTE
 REFUSE ENCLOSURE SHOWN FOR PROTOTYPICAL SHELVING
 LOCATIONS AND SPACING PURPOSES ONLY. VERIFY ACTUAL
 REFUSE ENCLOSURE INFORMATION AND LOCATION ON
 ARCHITECTURAL SHEETS.

2 REFUSE ENCLOSURE FLOOR PLAN
 3/8" = 1'-0"



Chick-fil-A

Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998

TriMark
 Foodservice Equipment, Supplies and Design
 STRATEGIC

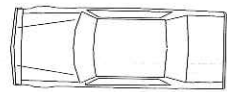
CHICK-FIL-A
MEDINA, OH
 1007 N. COURT STREET,
 MEDINA, OH 44256

FSR#04734
 BUILDING TYPE / SIZE: P13 SE LRG
 RELEASE: 20.11
 REVISION SCHEDULE
 NO. DATE DESCRIPTION

Preliminary
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CONSULTANT PROJECT #
 PRINTED FOR (put project status here)
 DATE MM/DD/YY
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 OVERALL EQUIPMENT
 FLOOR PLAN
 SHEET NUMBER
K-201L

AREA PLAN SYMBOL LEGEND



DRIVE THRU PICK-UP



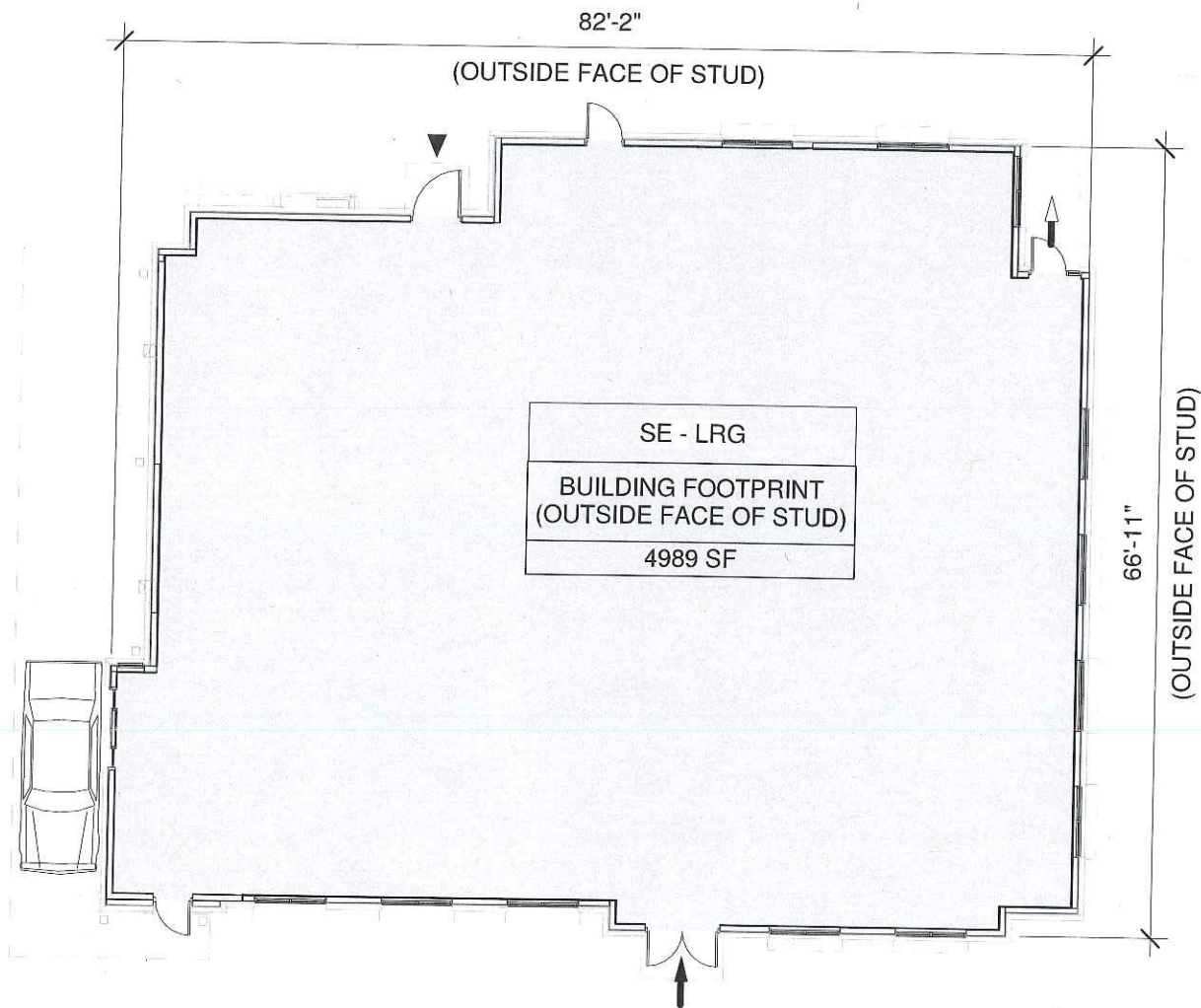
SERVICE ENTRY



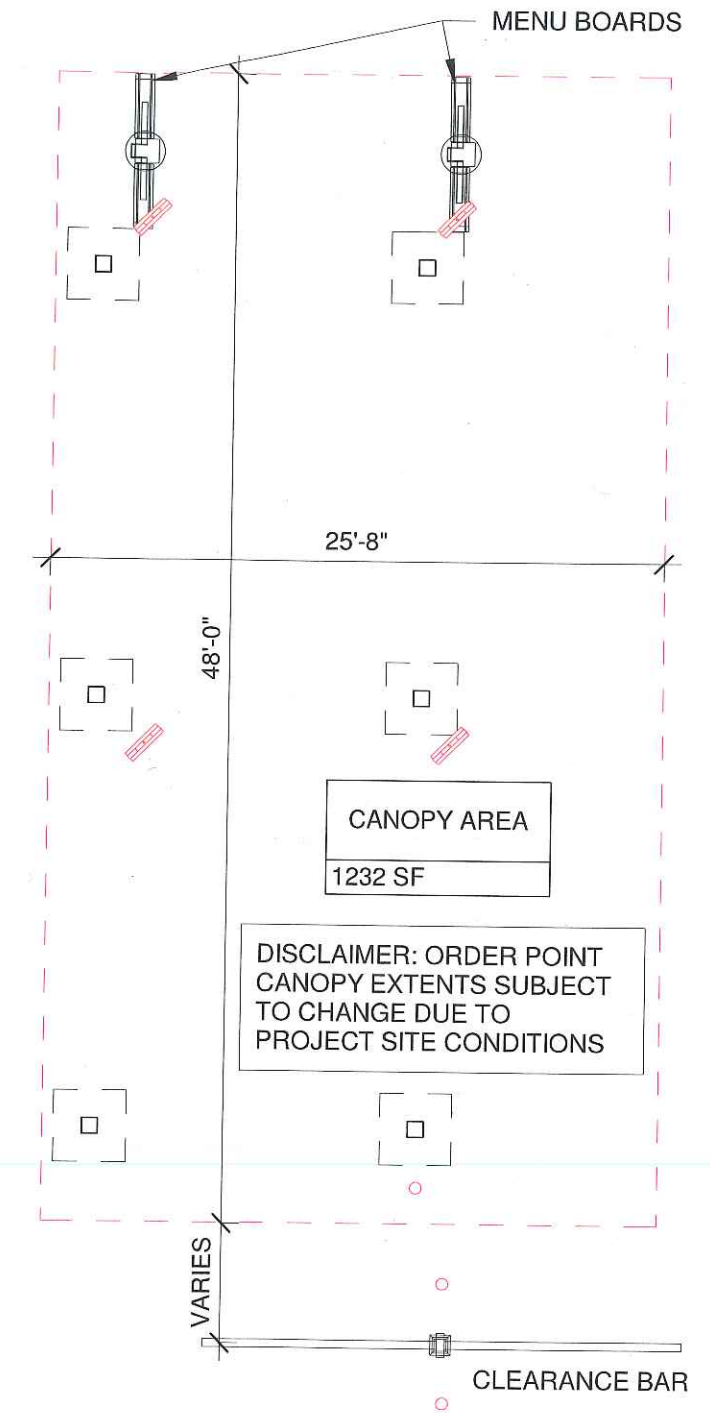
CUSTOMER EGRESS



MAIN ENTRY



AREA PLAN
1/16" = 1'-0"



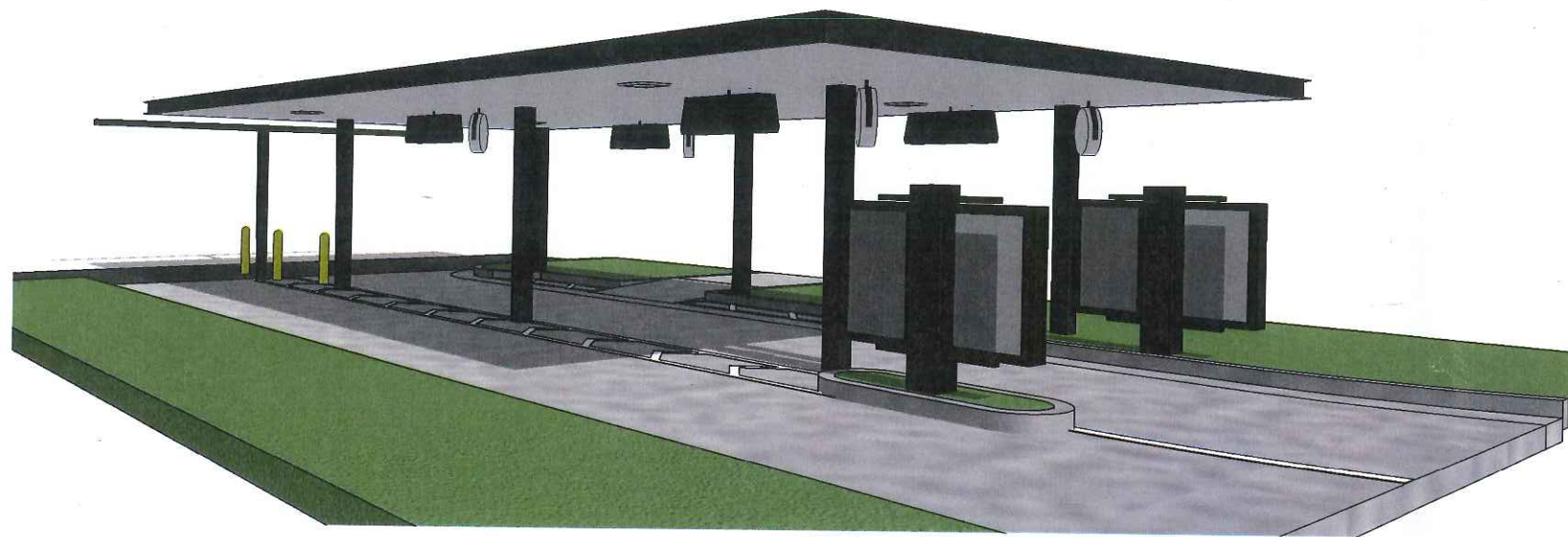
OP CANOPY AREA PLAN
1/8" = 1'-0"

AREA PLAN



NORTH



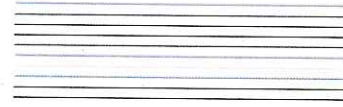


PERSPECTIVE VIEW

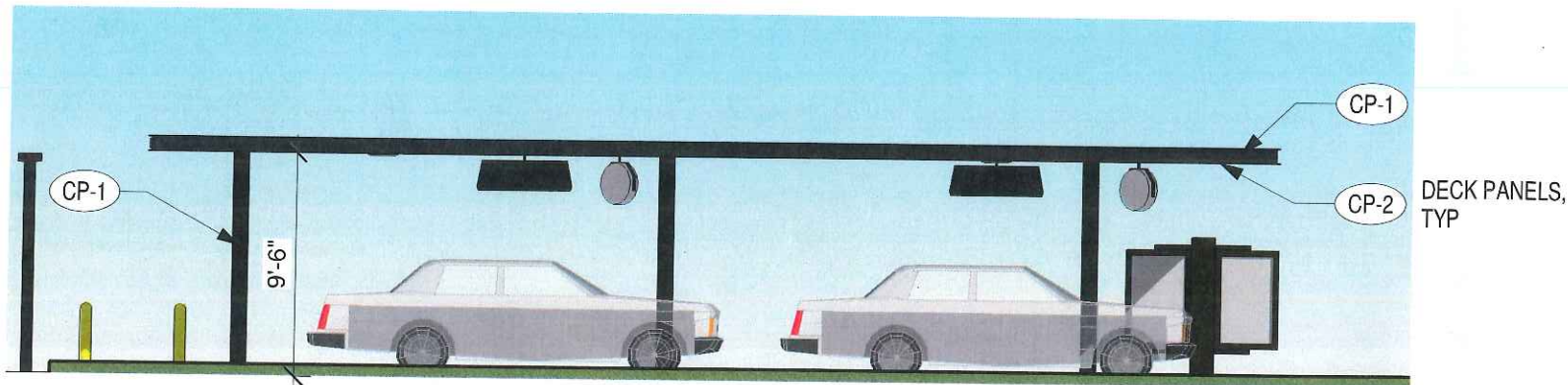
OP CANOPY FINISHES



CP-1
 PREFINISHED METAL
 COLOR: DARK BRONZE



CP-2
 METAL DECKING
 COLOR: WHITE



SIDE ELEVATION

1/8" = 1'-0"



ENTRY ELEVATION

1/8" = 1'-0"

ORDER POINT CANOPY ELEVATIONS