

MEETING DATE: 8-29-19

BOARD OF ZONING APPEALS

Z19-09

**132 N. Elmwood Avenue
City of Medina Parking Garage**



CITY of MEDINA

Board of Zoning Appeals

August 29, 2019 Special Meeting

Case No: Z19-09

Address: 132 N. Elmwood St.

Applicant: City of Medina

Subject: A Variance request from Section 1145.08 of the Planning and Zoning Code to permit parking spaces to be 18 feet deep instead of the minimum required 19 feet.

Zoning: P-F, Public Facilities District

Submitted by: Jonathan Mendel, Community Development Director 

Site Location:

The site is located on City owned property immediately adjacent to City Hall.

Project Introduction:

The applicant requests Site Plan approval to construct a two level, 211 space public parking facility.

In order to maximize the public investment and the number of parking spaces within the confines of the site, the parking spaces need to be 18 feet deep instead of the minimum require 19 feet deep. The one foot reduction will not functionally affect the vehicle movements to/from the parking spaces as the remainder of the vehicle circulation areas comply with the minimum dimensional requirements for parking areas.

This project will also go before the Planning Commission for Site Plan approval and Historic Preservation Board for Certificate of Appropriateness review on August 29, 2019.

Please find attached to this report:

1. Architectural elevations, site plan and floorplans CPS Construction Group
2. Site aerial photograph

Considerations:

Section 1107.08(b) of the Medina Planning and Zoning Code describes the responsibilities of the Board of Zoning Appeals as such: Where there are practical difficulties in the way of carrying out the strict letter of the provisions of this chapter, the Board shall have the power, in a specific case, to interpret any such provision in harmony with its general purpose and intent so that the public health, safety, and general welfare may be secured and substantial justice done.

The request is subject to determination of a practical difficulty as an accessory use setback variance is requested. There are seven factors that the BZA should consider when evaluating whether or not a practical difficulty exists. These factors are outlined below, along with a discussion of how these factors apply to the application in question.

The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether an area variance should be granted:

- A. *Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;*

If the minimum requirement was used, it could result in the removal of about 30 parking spaces (between the two levels) from the proposed 211 space count. Thereby, resulting in 14% reduction of the effectiveness of the \$3.8 million public investment. This reduction greatly affects the beneficial use of the land for a desirable public good.

- B. *Whether the variance is substantial;*

The one foot depth reduction is a 5% reduction to the minimum required per space, but represents 14% parking space yield for public use. The variance is not substantial as the 5% reduction to the space depth is greatly outweighed by the 14% yield of free public parking.

- C. *Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;*

The reduction of the minimum space depth to 18 feet would be imperceptible in relation to the neighborhood character and will not be detrimental to the adjoining properties.

D. Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage);

The variance will not adversely affect the delivery of governmental services, but rather provide significant public benefit by maximizing the number of public parking spaces.

E. Whether the property owner purchased the property with knowledge of the zoning restrictions;

The City of Medina is aware of the applicable development regulation.

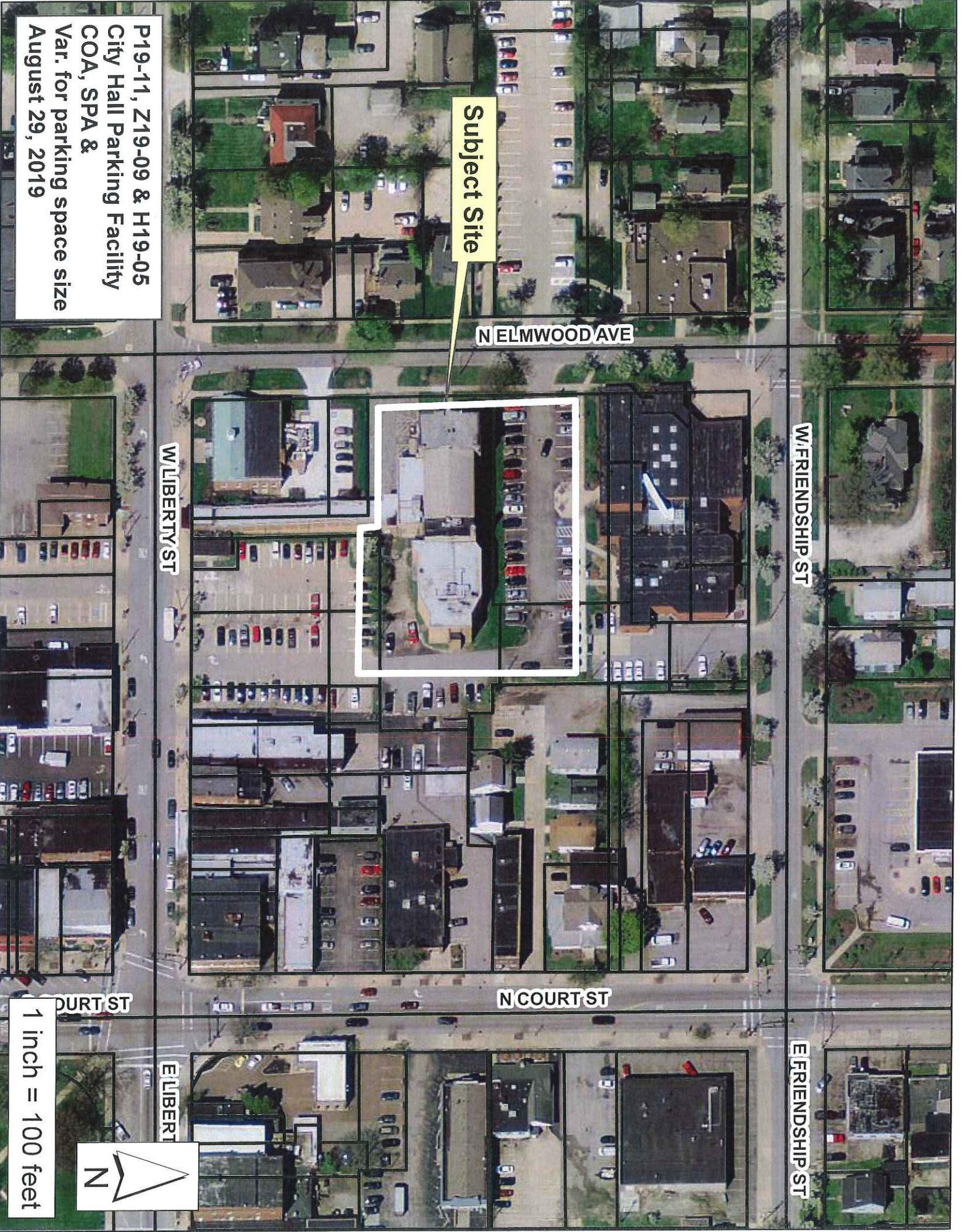
F. Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and/or

In terms of maximizing the benefit of the public investment in this parking lot, there is not a feasible way to meet the code and maximize the public investment without increasing the public investment significantly by adding more levels to the proposed structure.

G. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance.

The intent of the minimum 19 foot parking space depth is likely to provide a minimum area to provide safe turning movements by a vehicle entering/exiting the space. 19 feet is not a scientific absolute minimum dimension and was likely just a number that everyone decided sounded appropriate. Throughout many similar municipalities, this type of dimension ranges from 18 feet to 20 feet, so the proposed 18 foot depth variance request will be sufficient to provide easy turning movements into/from the parking spaces.

The BZA must weigh the above seven factors to determine if a practical difficulty exists that would merit variances from Section 1145.08.



Subject Site

N ELMWOOD AVE

W FRIENDSHIP ST

W LIBERTY ST

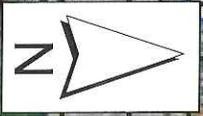
N COURT ST

E FRIENDSHIP ST

COURT ST

ELIBERT

P19-11, Z19-09 & H19-05
City Hall Parking Facility
COA, SPA &
Var. for parking space size
August 29, 2019



1 inch = 100 feet



CITY HALL PARKING STRUCTURE

MEDINA CITY HALL
132 N. ELMWOOD AVE.
MEDINA, OH 44256

CITY OF MEDINA

ISSUED FOR:
REQUEST FOR PROPOSAL
07/08/19

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COVER	TITLE SHEET
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CONTACT INFORMATION

ALL CONTACTS ARE WITH OSPTS/ OSBORN ENGINEERING, U.N.O.

DESIGN-BUILD CONTRACTOR (PROJECT LEAD)

CPS CONSTRUCTION GROUP
927 ROUTE 910, SUITE 200
CHESWICK, PA 15024

DESIGN-BUILD ARCHITECT

OSBORN ENGINEERING
110 SUPERIOR AVE, SUITE 300
CLEVELAND, OH 44114

DESIGN-BUILD STRUCTURAL ENGINEER

OSBORN ENGINEERING
110 SUPERIOR AVE, SUITE 300
CLEVELAND, OH 44114

DESIGN-BUILD MEP ENGINEER

OSBORN ENGINEERING
110 SUPERIOR AVE, SUITE 300
CLEVELAND, OH 44114

DESIGN-BUILD CIVIL ENGINEER

OSBORN ENGINEERING
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CLEVELAND, OH 44114



927 ROUTE 910, SUITE 200
CHESWICK, PA 15024
412-524-2900



110 Superior Avenue - Suite 300 | Cleveland, OH 44114
OSBORN ENGINEERING

CITY OF MEDINA
CITY HALL
PARKING
STRUCTURE



MEDINA CITY HALL
132 N. ELMWOOD AVE.
MEDINA, OH 44256

TAG	ISSUED	DATE
1	REQUEST FOR PROPOSAL	07/08/19

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CHECKED BY MC
CLIENT PROJ NO

OSBORN PROJ NO
P20181039,000

TITLE SHEET

DRAWING NO
COVER

CPS
construction
group
 527 ROUTE 910, SUITE 200
 CHESWICK, PA 15024
 412-624-2900

OSBORN
ENGINEERING
 1100 Superior Avenue - Suite 200 | Cleveland, OH 44114
 (216) 461-5222 www.osborneng.com

CITY OF MEDINA
 CITY HALL
 PARKING
 STRUCTURE

The City Of
Medina
 Ohio

MEDINA CITY HALL
 132 N. ELMWOOD AVE.
 MEDINA, OH 44256

TAG	ISSUED	DATE
1	REQUEST FOR PROPOSAL	07/08/19

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 CLIENT PROJ NO
 OSBORN PROJ NO
 P20181039.000

RENDERINGS

DRAWING NO
 G-101



1 NW Corner Rendering
 SCALE: NONE



1 SW Corner Rendering
SCALE: NONE

cps construction group
827 ROUTE 910, SUITE 200
CHESWICK, PA 15024
412-824-2900

OSBORN ENGINEERING
1100 Superior Avenue, Suite 200 | Cleveland, OH 44114
(216) 961-2029

CITY OF MEDINA
CITY HALL
PARKING
STRUCTURE



MEDINA CITY HALL
132 N. ELMWOOD AVE.
MEDINA, OH 44256

TAG	ISSUED	DATE
1	REQUEST FOR PROPOSAL	07/08/19

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OSBORN PROJ NO
P20181038.000

RENDERINGS

DRAWING NO
G-102

CPS
construction
group

927 ROUTE 910, SUITE 200
CHEBICK, PA 15024
412-624-2900

OSBORN
ENGINEERING

100 Superior Avenue - Suite 200 | Cleveland, OH 44114
(914) 621-2000

CITY OF MEDINA
CITY HALL
PARKING
STRUCTURE



MEDINA CITY HALL
132 N. ELMWOOD AVE.
MEDINA, OH 44255

TAG	ISSUED	DATE
1	REQUEST FOR PROPOSAL	07/08/19

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CLIENT PROJ NO _____

OSBORN PROJ NO
P20181039.000

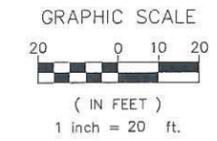
RENDERINGS

DRAWING NO
G-103



1 AERIAL
SCALE: NONE

1 2 3 4 5



DEMOLITION KEYNOTES

- 01 EX. UTIL. POLE; COORD. WITH POWER CO. (TO BE RELOCATED)
- 02 EX. LIGHT POLE, COORD. WITH POWER CO. (TO BE REMOVED)
- 03 EX. SIGN (TO BE REMOVED)
- 04 EX. VEGETATION (TO BE REMOVED)
- 05 EX. STM INLET (TO BE REMOVED)
- 06 EX. STM PIPE (TO BE REMOVED)
- 07 NOT USED
- 08 EX STM INLET (TO REMAIN)
- 09 ALTERNATE TO INCLUDE DEMOLITION OF ALL IMPROVEMENTS ON ADJACENT LOT

DEMOLITION LEGEND

- EX. ASPH. PAVEMENT (TO BE REMOVED)
- EX. CONC. PAVEMENT (TO BE REMOVED)
- EX. CURB (TO BE REMOVED)
- EX. SIDEWALK (TO BE REMOVED)
- EX. GRASS (TO BE REMOVED)



CITY OF MEDINA
CITY HALL
PARKING
STRUCTURE

The City Of
Medina
Ohio

MEDINA CITY HALL
132 N. ELMWOOD AVE.
MEDINA, OH 44256

TAG	ISSUED	DATE
1	RFP	3/22/2019

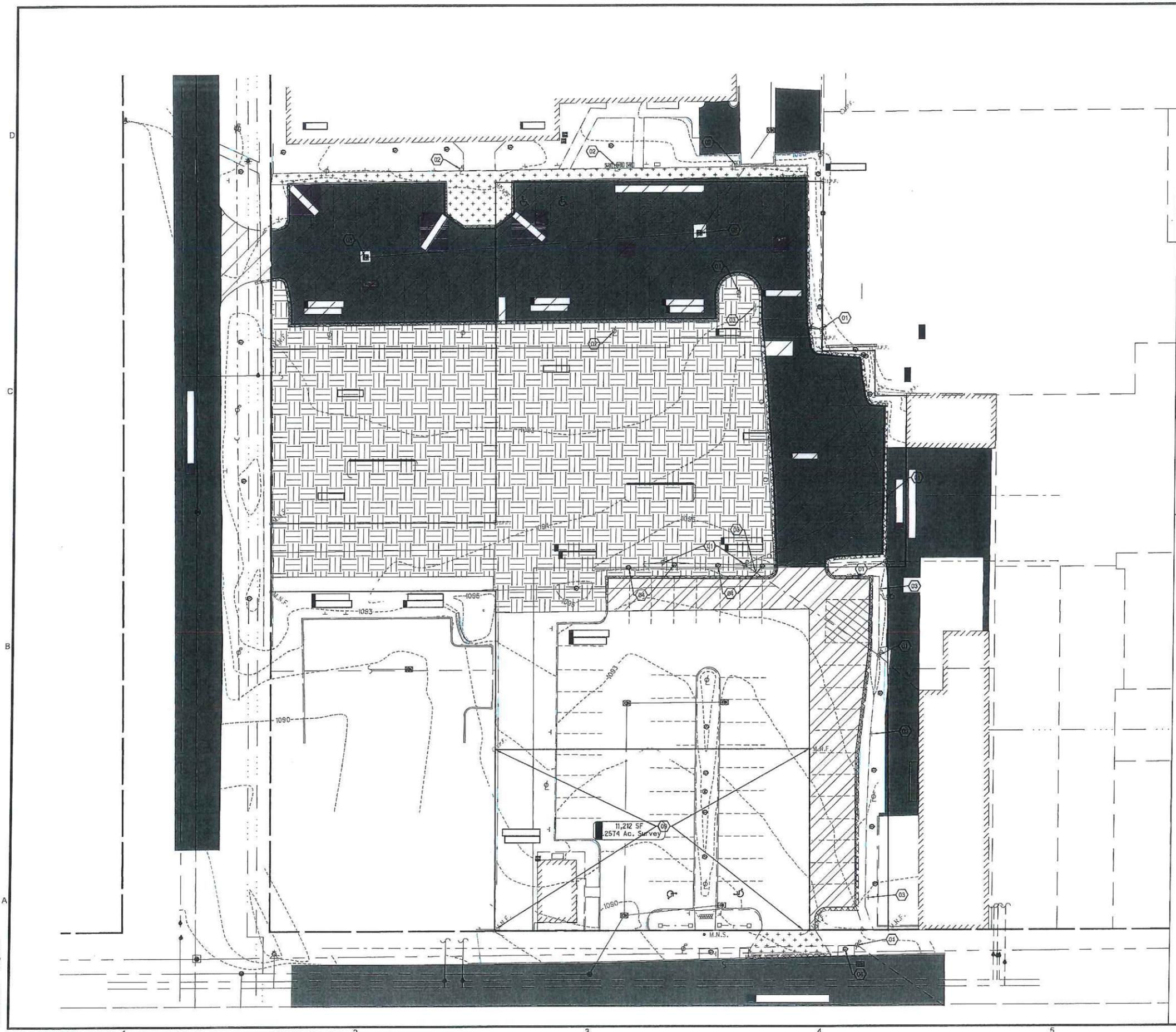
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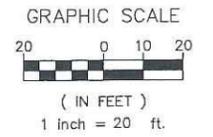
DRAWN BY: MGP
CHECKED BY: JZ
CLIENT PROJ. NO.
OSBORN PROJ. NO. P20181039.000

**PRELIMINARY
DEMOLITION
PLAN**

DRAWING NO.
C-100

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7/3/2019 3:35 PM Ziegler, Jan





CITY OF MEDINA
CITY HALL
PARKING
STRUCTURE



MEDINA CITY HALL
132 N. ELMWOOD AVE.
MEDINA, OH 44266

TAG	ISSUED	DATE
1	RFP	3/22/2016

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CLIENT PROJ. NO.

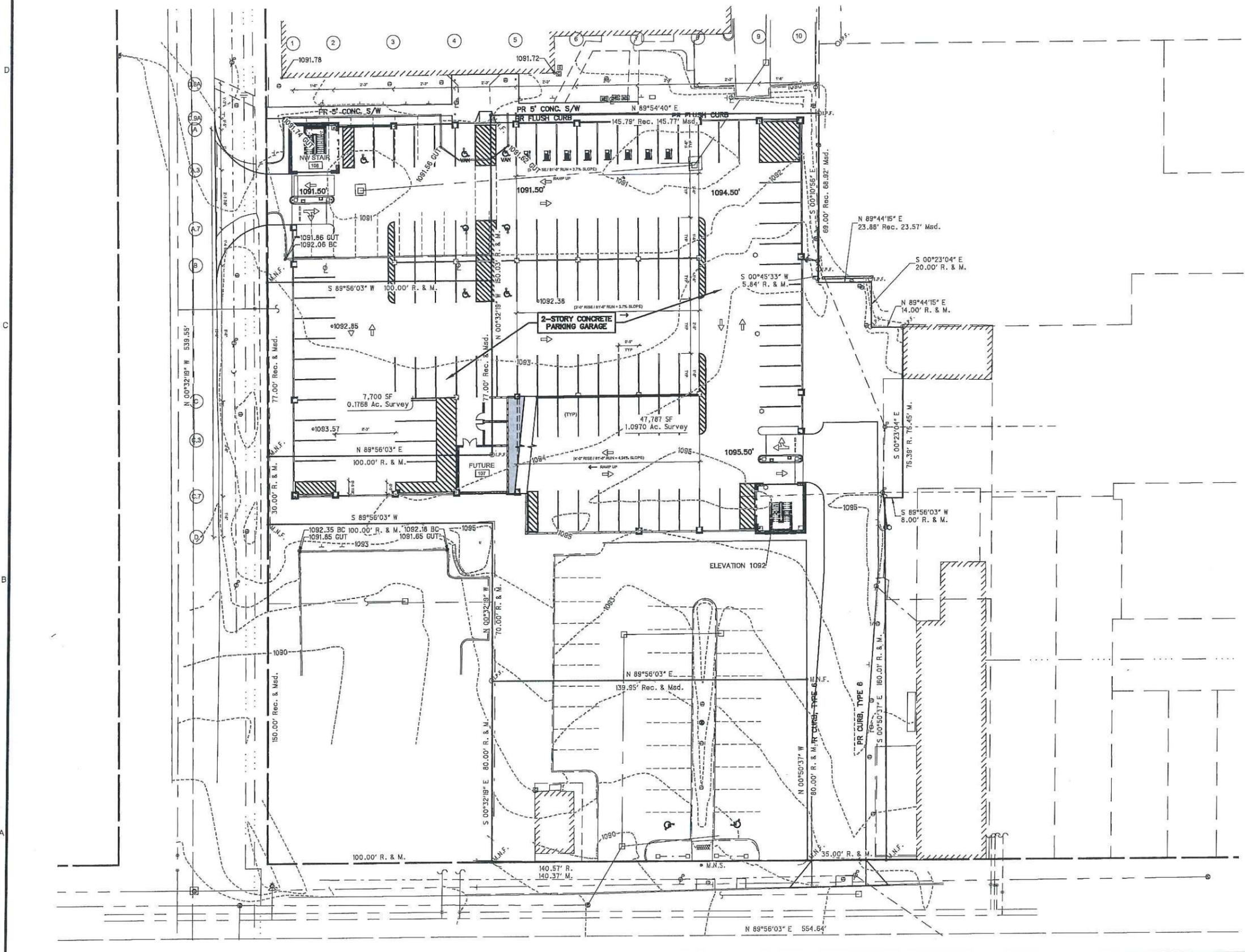
OSBORN PROJ. NO.
P20181039.000

PRELIMINARY
SITE AND
GRADING
PLAN

DRAWING NO.

C-101

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7/2/2016 5:37 PM Ziegen, Jon



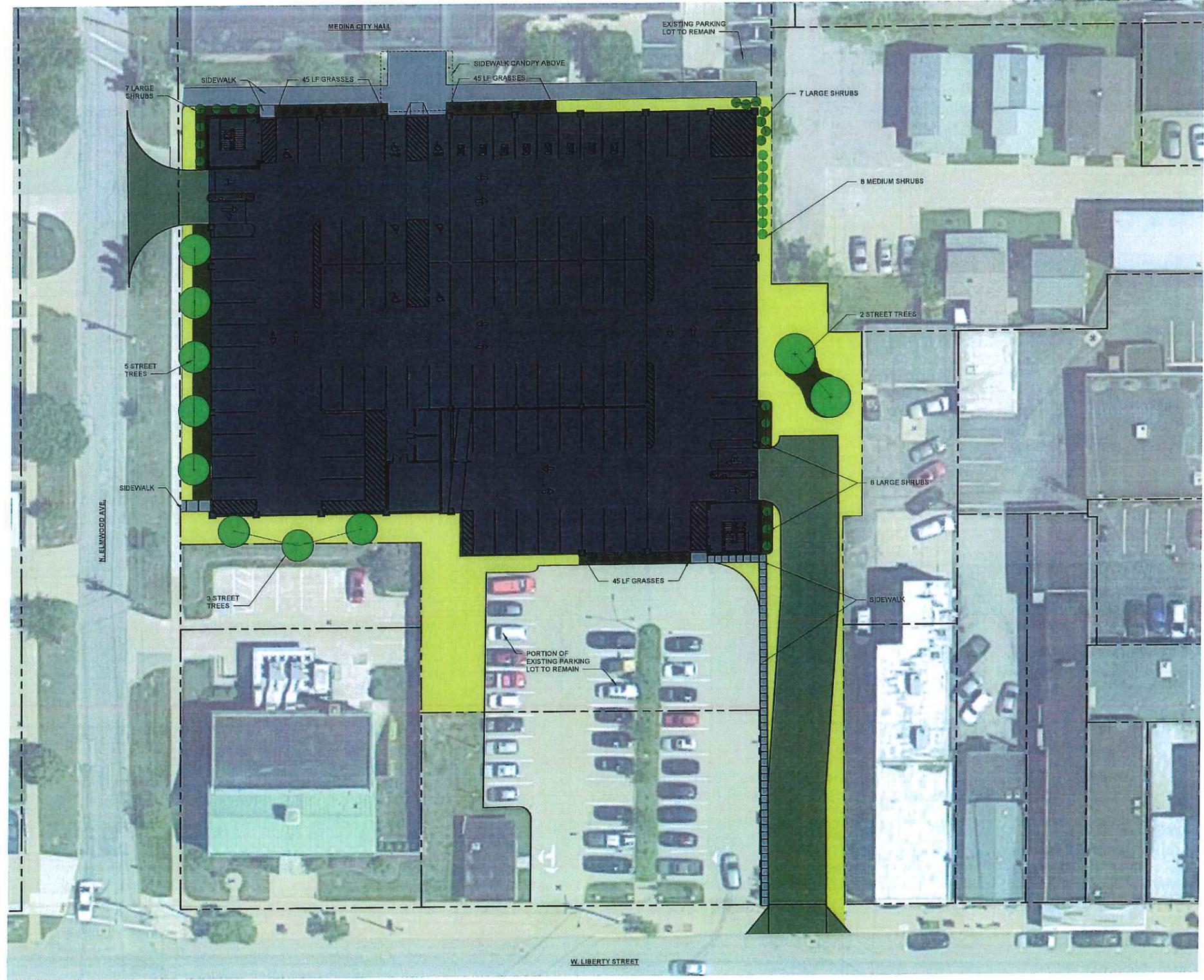
TAG	ISSUED	DATE
1	REQUEST FOR PROPOSAL	07/08/19

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CLIENT PROJ NO
OSBORN PROJ NO
P20181039.000

LANDSCAPE
PLAN

DRAWING NO
L-100



1 Landscaping Plan
SCALE: 1" = 20'-0"

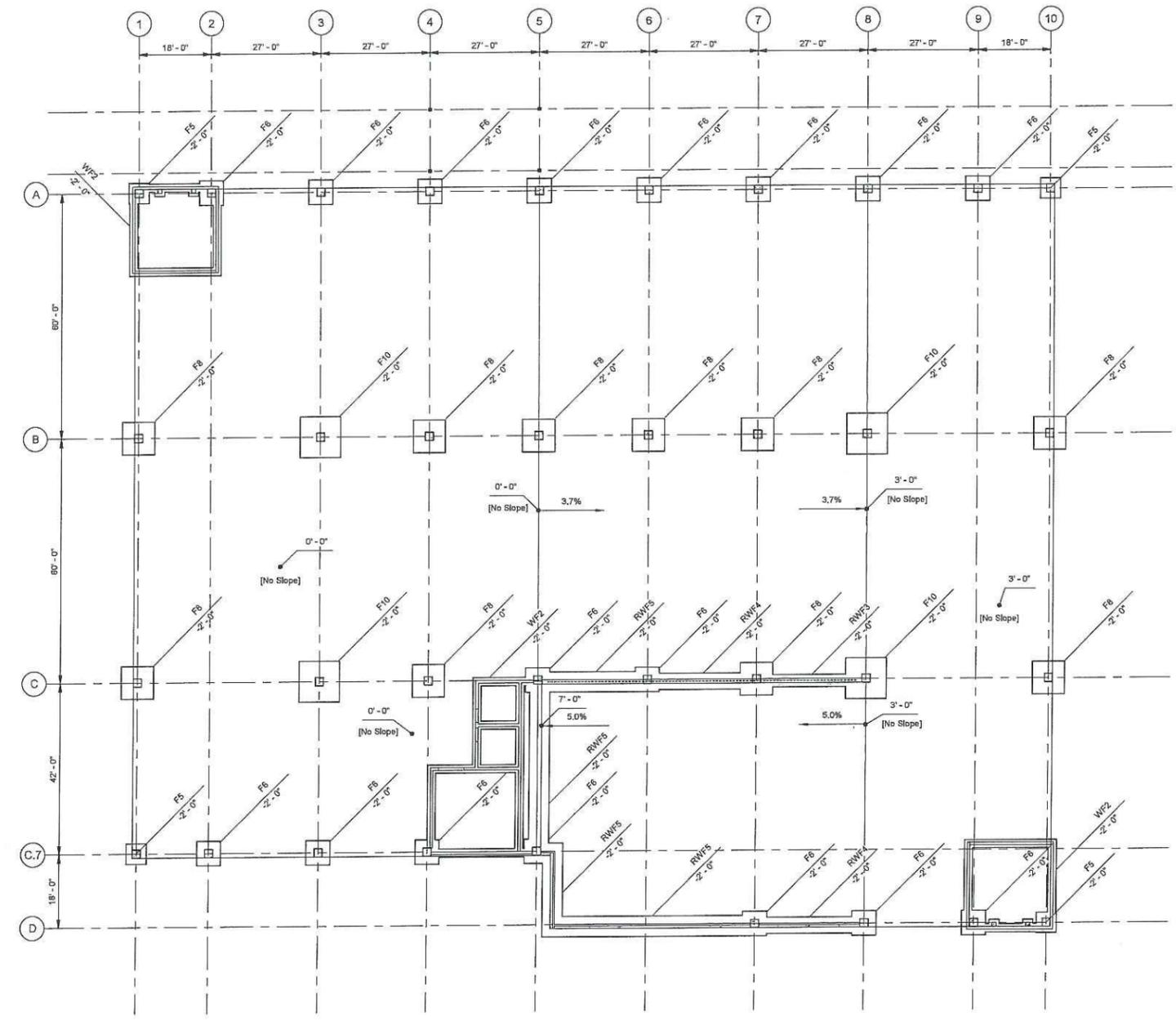


- FOUNDATION AND SLAB PLAN NOTES:**
1. FINISHED SLAB ON GRADE ELEVATION 1092.00 = 0'-0". ELEVATION NOTED THUS (+) OR (-) INDICATE DISTANCE ABOVE OR BELOW ELEVATION 0'-0", RESPECTIVELY.
 2. TYPICAL SLAB ON GRADE CONSTRUCTION UNLESS NOTE OTHERWISE: 5" CONCRETE SLAB WITH POLYPROPYLENE / POLYETHYLENE SYNTHETIC MACRO FIBERS ON 6" GRANULATED FILL, UNO. PROVIDE 3.5 LB OF FIBER / CY OF CONCRETE.
 3. PROVIDE 10 MIL VAPOR BARRIER ABOVE GRANULATED FILL IN ENCLOSED SPACES ONLY.
 4. PROVIDE (2) #4 x 3'-0" LONG REBAR AT ALL RE-ENTRANT CORNERS.
 5. REFER TO GEOTECHNICAL REPORT FOR FURTHER INFORMATION REGARDING SLAB ON GRADE CONSTRUCTION.
 6. SEE S-202 FOR CONCRETE COLUMN DETAILS AND SCHEDULES.

FOOTING SCHEDULE				
TYPE MARK	SIZE			REINFORCING
	LENGTH	WIDTH	DEPTH	
F2.5	2'-6"	2'-6"	1'-8"	(3) #5 E.W. T&B
F5	5'-0"	5'-0"	1'-8"	(5) #6 E.W. T&B
F8	8'-0"	8'-0"	1'-8"	(8) #6 E.W. T&B
F8	8'-0"	8'-0"	1'-8"	(8) #6 E.W. T&B
F10	10'-0"	10'-0"	1'-8"	(10) #6 E.W. T&B

RETAINING WALL FOOTING SCHEDULE			
TYPE MARK	SIZE		REINFORCING
	WIDTH	DEPTH	
RWF3	3'-0"	1'-8"	#5 @ 8" oc T&B SW, #5 @ 12" oc T&B LW
RWF4	4'-0"	1'-8"	#5 @ 8" oc T&B SW, #5 @ 12" oc T&B LW
RWF5	5'-0"	1'-8"	#5 @ 8" oc T&B SW, #5 @ 12" oc T&B LW

WALL FOOTING SCHEDULE			
MARK	WIDTH	DEPTH	REINFORCING
WF2	2'-0"	1'-8"	(3) #5 CONT. BOT.



1 FOUNDATION PLAN
 SCALE: 1/16" = 1'-0"

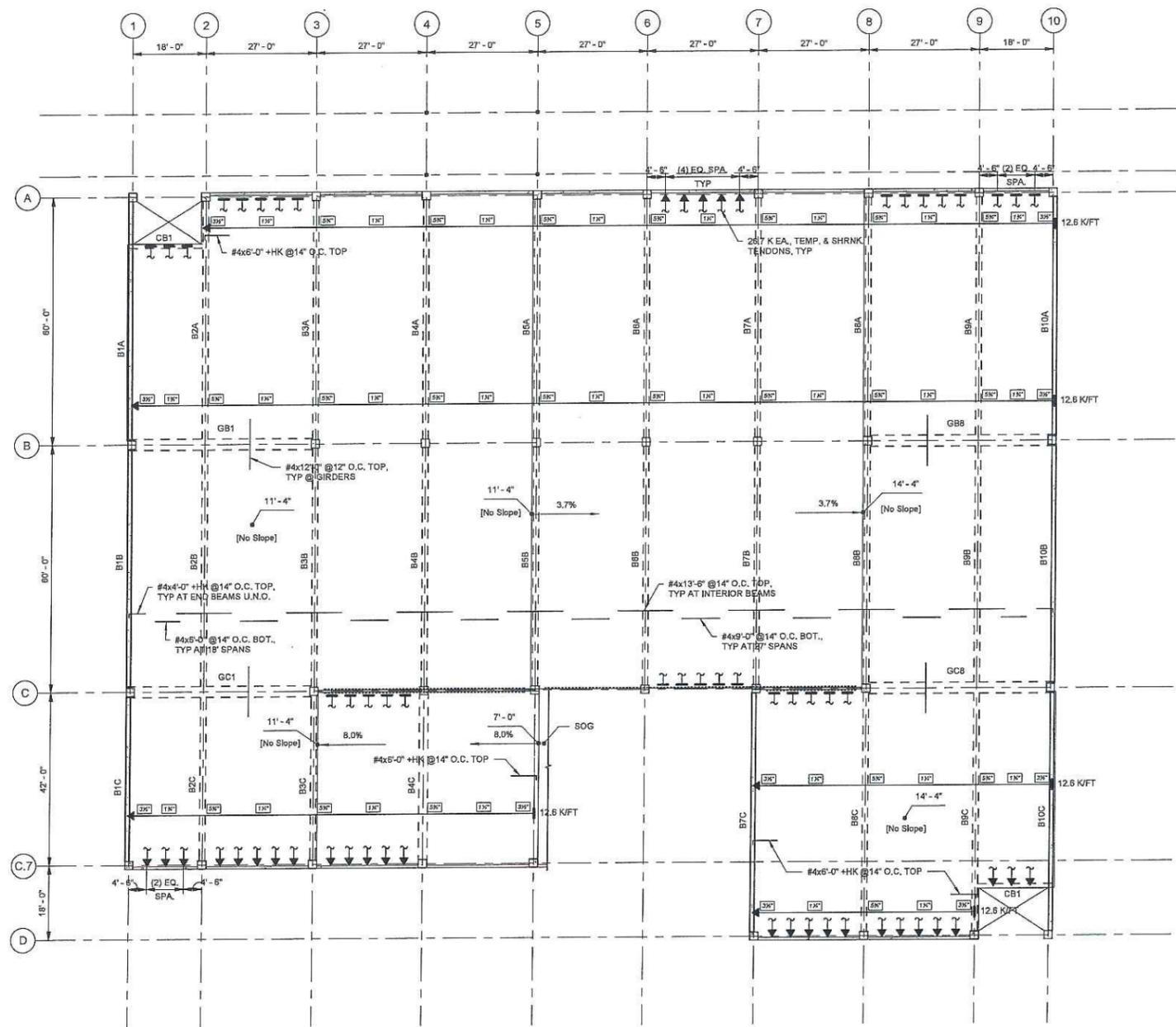
TAG	ISSUED	DATE
1	RFP	2/22/2019
2	RFP INTERVIEW	4/4/2019

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DRAWN BY: MAY
 CHECKED BY: BTH
 CLIENT PROJ NO:
 OSBORN PROJ NO: P20181038.000

FOUNDATION PLAN

DRAWING NO:
S-101



LEVEL 2 FRAMING PLAN NOTES:

1. SLAB CONSTRUCTION: 7" POST-TENSIONED CONCRETE UNLESS NOTED OTHERWISE
2. SLAB PROFILES NOTED ON PLAN AND REINFORCING LEGEND ARE REFERENCED FROM BOTTOM OF 7" SLAB UNO
3. BASED ON SLOPES, TOP SLAB REINFORCEMENT MAY REQUIRE BENDING OVER TOP OF BEAMS TO MAINTAIN UNIFORM CLEARANCE TO TOP OF SLAB.
4. SEE S-201 FOR CONCRETE BEAM DETAILS AND SCHEDULES.
5. SEE S-202 FOR CONCRETE COLUMN DETAILS AND SCHEDULES.
6. PROVIDE TEMPERATURE TENDONS IN SLAB PARALLEL TO BEAMS PER TYPICAL DETAILS AND AS SHOWN ON PLAN. UNO
7. POST-TENSIONED FORCES SHOWN ARE FINAL NET EFFECTIVE FORCES IN KIPS PER FOOT AFTER ALL LOSSES HAVE OCCURRED.
8. ALL SLAB TOP BARS AND REBAR THRU CONSTRUCTION JOINTS, POUR STRIPS, BEAM & GIRDER TOP BARS AND STIRRUPS, UPTURNED BEAMS AND VEHICULAR BARRIER WALL REBAR SHALL BE EPOXY COATED.

1 LEVEL 2 FRAMING PLAN
SCALE: 1/16" = 1'-0"



DOMOKUR ARCHITECTS
4331 Medina Road
Akron, Ohio 44331-1315
p. 333.666.7878 www.domokur.com

CITY OF MEDINA CITY HALL PARKING STRUCTURE



MEDINA CITY HALL
132 N. ELMWOOD AVE.
MEDINA, OH 44256

TAG	ISSUED	DATE
1	RFP	3/22/2019
2	RFP INTERVIEW	4/4/2019

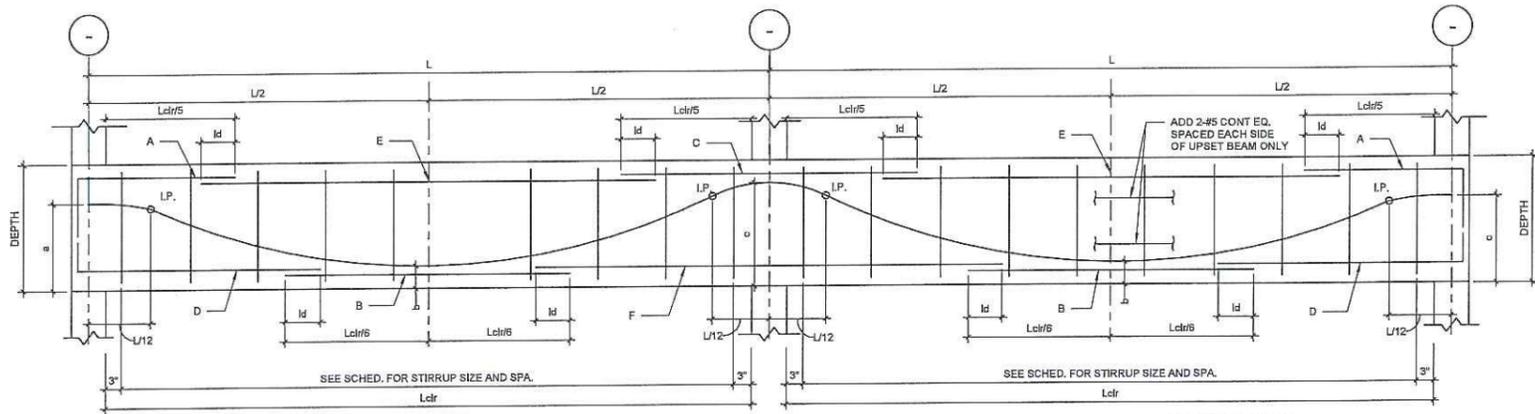
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CLIENT PROJ NO

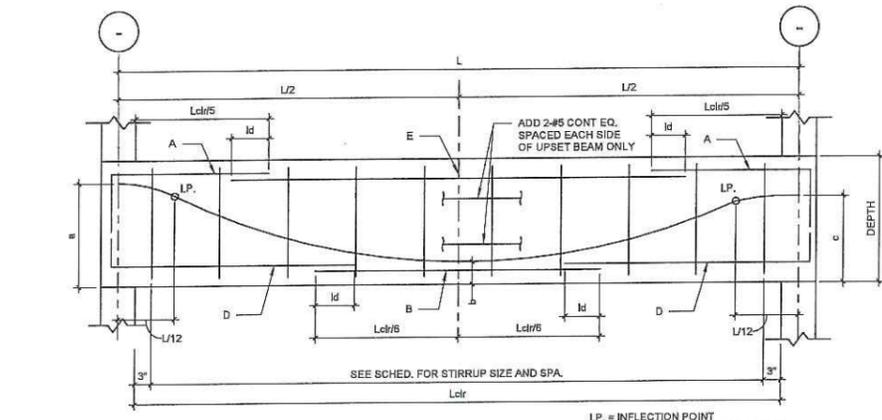
OSBORN PROJ NO
P20181039,000

SECOND FLOOR FRAMING PLAN

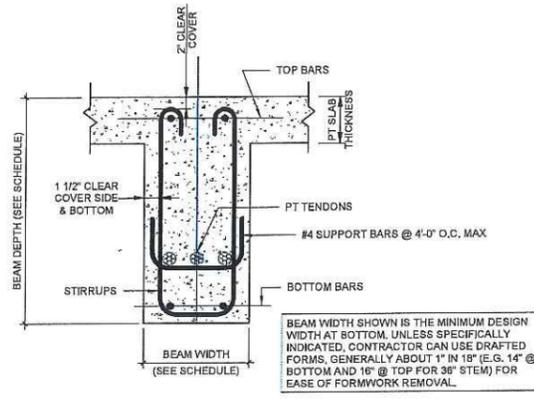
DRAWING NO
S-102



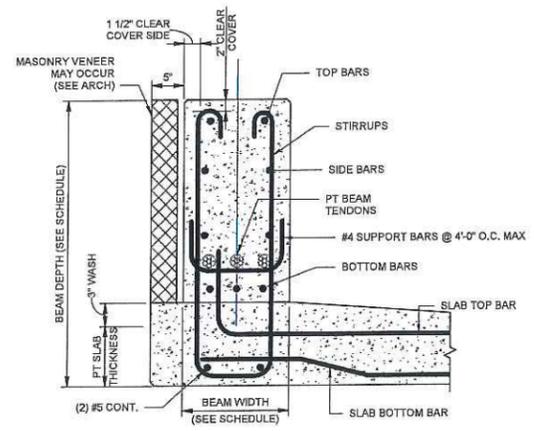
1 TYPICAL BEAM ELEVATION CONTINUOUS SPAN - TYPE 1
SCALE: NONE



2 TYPICAL BEAM ELEVATION - SINGLE SPAN - TYPE 2
SCALE: NONE

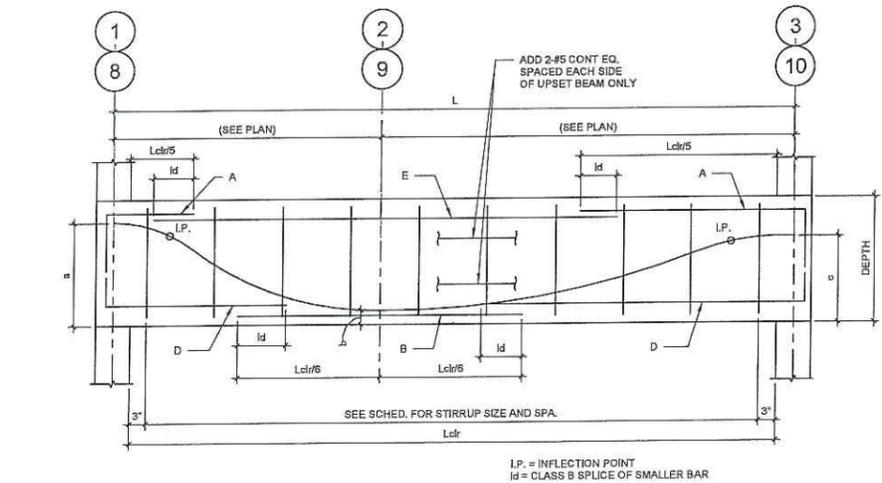


4 TYPICAL DOWN-TURNED P.T. BEAM - SHAPE 1
SCALE: NONE



5 TYPICAL UP-TURNED P.T. BEAM - SHAPE 2
SCALE: NONE

CONCRETE BEAM SCHEDULE						
BEAM MARK	WIDTH	HEIGHT	REINFORCEMENT		STIRRUPS	REMARKS
			TOP	BOTTOM		
CB1	12"	16"	(2) #4	(2) #6	#4 (2) @ 6", (4) @ 12", REM. @ 24"	



3 TYPICAL P.T. GIRDER ELEVATION - SINGLE SPAN - TYPE 3
SCALE: NONE

PT - POST-TENSIONED BEAM SCHEDULE (BASE BID)																	
MARK	WIDTH	HEIGHT	SPAN TYPE	SHAPE	P.T. FORCE Fe (k)	TENDON PROFILE			HORIZONTAL REINFORCEMENT						STIRRUPS		REMARKS
						a (in.)	b (in.)	c (in.)	A	B	C	D	E	F	SIZE	SPACING FROM EACH END	
B1A	12"	52"	1	2	214	24	14	48	(2) #9	(4) #9	(2) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B1B	12"	52"	1	2	214	-	14	48	(4) #9	-	-	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B1C	12"	52"	1	2	214	-	18	24	(2) #9	(4) #9	(2) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B2A	16"	34"	1	1	320	25	4	30	(4) #9	(3) #9	(4) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B2B	16"	34"	1	1	320	-	4	30	(4) #9	(3) #9	-	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B2C	16"	34"	1	1	320	-	10	25	(4) #9	(3) #9	(4) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B3A	16"	34"	1	1	374	25	4	30	(4) #9	(3) #9	(4) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B3B	16"	34"	1	1	374	-	4	30	(4) #9	(3) #9	-	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B3C	16"	34"	1	1	374	-	10	25	(4) #9	(3) #9	(4) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B4A	16"	34"	1	1	374	25	4	30	(4) #9	(3) #9	(4) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B4B	16"	34"	1	1	374	-	4	25	(4) #9	(3) #9	-	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B4C	24"	24"	2	1	427	16	4	16	(4) #9	(3) #9	-	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B5A	16"	34"	1	1	374	25	4	30	(4) #9	(3) #9	(4) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B5B	16"	34"	1	1	374	-	4	25	(4) #9	(3) #9	-	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B6A	16"	34"	1	1	374	25	4	30	(4) #9	(3) #9	(4) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B6B	16"	34"	1	1	374	-	4	25	(4) #9	(3) #9	-	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B7A	16"	34"	1	1	374	25	4	30	(4) #9	(3) #9	(4) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B7B	16"	34"	1	1	374	-	4	25	(4) #9	(3) #9	-	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B7C	12"	52"	2	2	214	24	14	24	(2) #9	(4) #9	-	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B8A	16"	34"	1	1	374	25	4	30	(4) #9	(3) #9	(4) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B8B	16"	34"	1	1	374	-	4	30	(4) #9	(3) #9	-	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B8C	16"	34"	1	1	374	-	4	25	(4) #9	(3) #9	(4) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B8A	16"	34"	1	1	320	25	4	30	(4) #9	(3) #9	(4) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B8B	16"	34"	1	1	320	-	4	30	(4) #9	(3) #9	-	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B8C	16"	34"	1	1	320	-	4	25	(4) #9	(3) #9	(4) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B10A	12"	52"	1	2	214	24	14	48	(2) #9	(4) #9	(2) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B10B	12"	52"	1	2	214	-	14	48	(4) #9	(4) #9	-	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
B10C	12"	52"	1	2	214	-	14	24	(2) #9	(4) #9	(2) #9	(2) #7	(2) #7	(2) #7	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
GB1	32"	34"	3	1	641	22	4	22	(6) #9	(6) #9	-	(4) #7	(4) #7	-	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
GB8	32"	34"	3	1	641	22	4	22	(6) #9	(6) #9	-	(4) #7	(4) #7	-	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
GC1	32"	34"	3	1	641	22	4	22	(6) #9	(6) #9	-	(4) #7	(4) #7	-	#4	(4) @ 5", (5) @ 12", REM. @ 24"	
GCB	32"	34"	3	1	641	22	4	22	(6) #9	(6) #9	-	(4) #7	(4) #7	-	#4	(4) @ 5", (5) @ 12", REM. @ 24"	

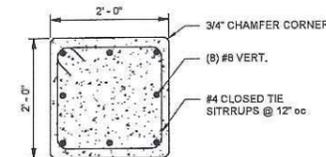
TAG	ISSUED	DATE
1	RFP	3/22/2019
2	RFP INTERVIEW	4/4/2019

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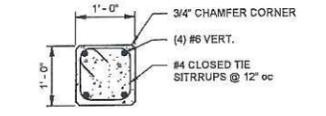
DRAWN BY: NAY
CHECKED BY: BTH
CLIENT PROJ NO:

OSBORN PROJ NO: P20181035.000

CONCRETE BEAM DETAILS & SCHEDULES



1 C24 COLUMN
SCALE: NONE



2 C12 COLUMN
SCALE: NONE

SE STAIR ROOF										25' - 8"	SE STAIR ROOF
25' - 8" NW STAIR ROOF											25' - 8" NW STAIR ROOF
ZZ' - 8"	ZZ' - 8"										ZZ' - 8"
LEVEL 2											LEVEL 2
11' - 4"											11' - 4"
LEVEL 1											LEVEL 1
0' - 0"											0' - 0"
Column Locations	A-1, A-2	A-3, A-4, A-5, B-1, B-3, C-1, C-3, C-4, C-5, C-7-1, C-7-2, C-7-3, C-7-4, C-7-5	A-6, C-6	A-7	A-8, A-9, A-10, B-8, B-10, C-7, C-8, C-10, D-7, D-8	B-4, B-5	B-6	B-7	D-9, D-10		

CONCRETE COLUMN SCHEDULE (BASE BID)
SCALE: NONE



CITY OF
MEDINA CITY
HALL PARKING
STRUCTURE



MEDINA CITY HALL
132 N. ELMWOOD AVE.
MEDINA, OH 44256

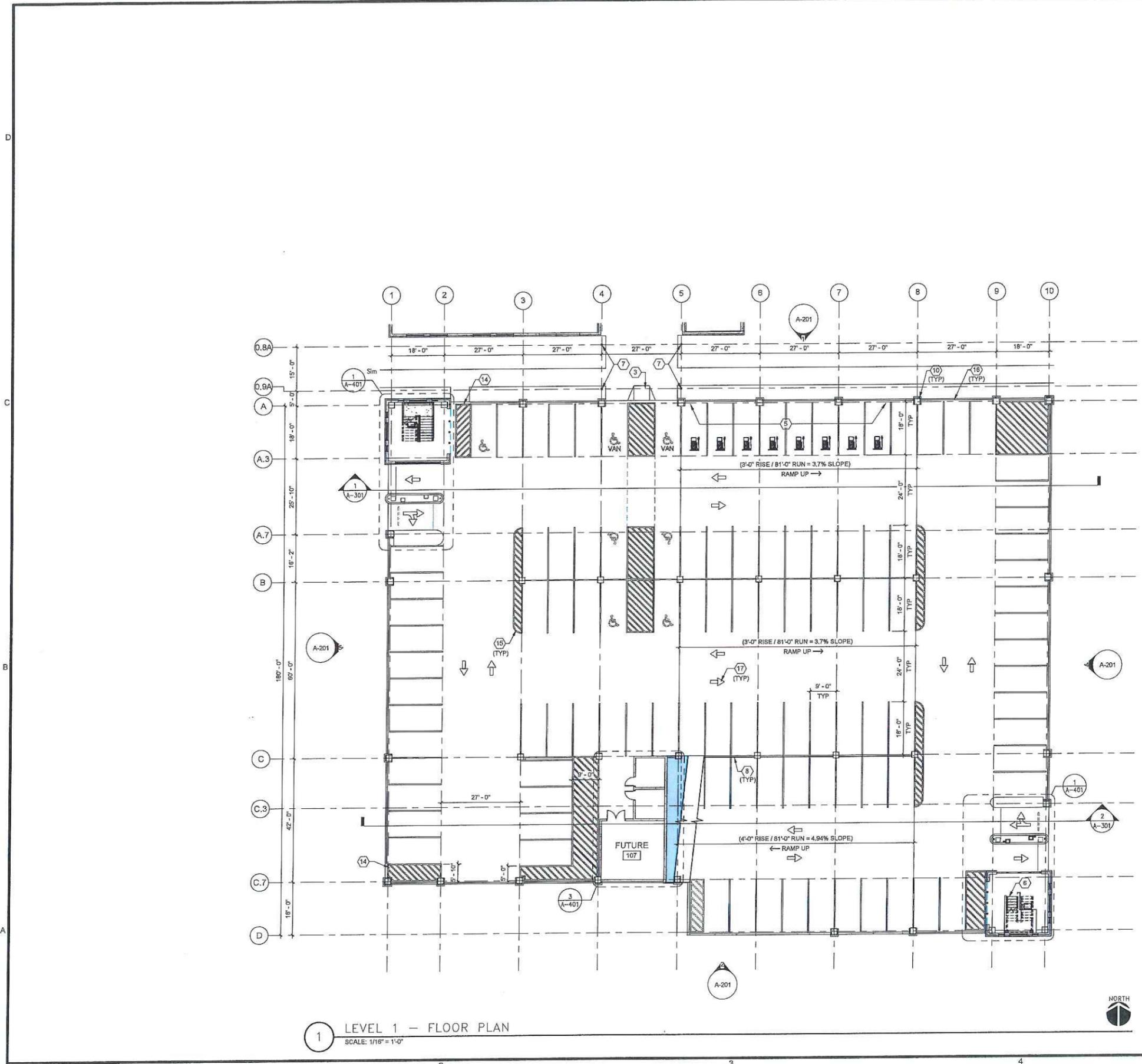
TAG	ISSUED	DATE
1	RFP	3/22/2019
2	RFP INTERVIEW	4/4/2019

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CLIENT PROJ NO:
OSBORN PROJ NO: P20181039.000

CONCRETE COLUMN
DETAILS &
SCHEDULES

DRAWING NO:
S-202



1 LEVEL 1 — FLOOR PLAN
SCALE: 1/16" = 1'-0"

FLOOR PLAN KEYNOTES

- 3 ACCESSIBLE CURB RAMP.
- 5 CONDUIT PROVIDED FOR EV STATIONS, TYPICAL AT EACH DESIGNATED EV PARKING SPACE (SEE STRUCTURAL).
- 6 CAST-IN-PLACE CONCRETE STAIR W/ STEEL HANDRAILS AND GUARDRAILS.
- 7 STEEL-FRAMED WALKWAY COVER.
- 8 BARRIER CABLE SYSTEM (TYP).
- 10 CAST-IN-PLACE CONCRETE COLUMN W/ BRICK VENEER (TYP).
- 11 CAST-IN-PLACE CONCRETE CRASH WALL W/ BRICK VENEER (TYP). SEE ELEVATIONS.
- 14 PEDESTRIAN ACCESS POINT.
- 15 FLOOR STRIPING (TYP). STRIPING SHALL BE YELLOW & 4" WIDE. ALL BUFFER AND CORNER AREAS SHALL BE STRIPED IN A DIAGONAL FASHION WITH STRIPES SPACED 18' ON CENTER.
- 16 DECORATIVE METAL FENCE WITH VEHICLE BARRIER CABLES BEHIND (TYP)
- 17 DIRECTIONAL ARROW PAINT MARKINGS (TYP).

PARKING SUMMARY

LEVEL	TOTAL SPACES	TOTAL ACCESSIBLE SPACES	VAN ACCESSIBLE SPACES	ELECTRIC CAR CHARGING SPACES
LEVEL 1	110	7	2	8
LEVEL 2	101	0	0	0
TOTAL	211	7	2	8

CPS construction group
927 ROUTE 910, SUITE 200
CHESWICK, PA 15024
412-924-2900

OSBORN ENGINEERING
133 Superior Avenue - Suite 202 | Columbus, OH 43215
(614) 881-0122

CITY OF MEDINA
CITY HALL
PARKING
STRUCTURE



MEDINA CITY HALL
132 N. ELMWOOD AVE.
MEDINA, OH 44256

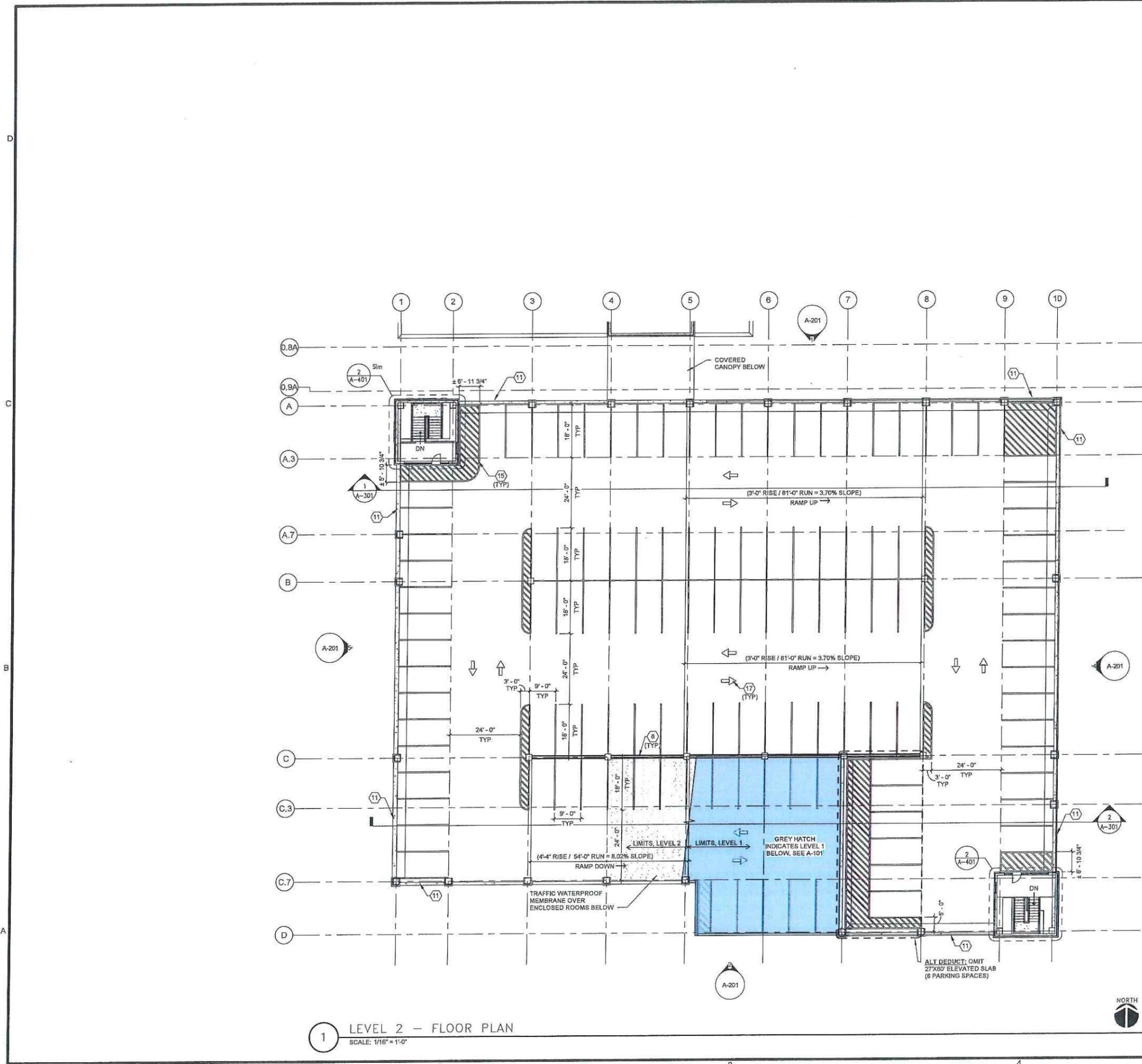
TAG	ISSUED	DATE
1	REQUEST FOR PROPOSAL	07/08/19

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OSBORN PROJ NO P20181039.000

LEVEL 1 FLOOR PLAN

DRAWING NO
A-101



FLOOR PLAN KEYNOTES

- 3 ACCESSIBLE CURB RAMP.
- 5 CONDUIT PROVIDED FOR EV STATIONS, TYPICAL AT EACH DESIGNATED EV PARKING SPACE (SEE STRUCTURAL).
- 6 CAST-IN-PLACE CONCRETE STAIR W/ STEEL HANDRAILS AND GUARDRAILS.
- 7 STEEL-FRAMED WALKWAY COVER.
- 8 BARRIER CABLE SYSTEM (TYP).
- 10 CAST-IN-PLACE CONCRETE COLUMN W/ BRICK VENEER (TYP).
- 11 CAST-IN-PLACE CONCRETE CRASH WALL W/ BRICK VENEER (TYP). SEE ELEVATIONS.
- 14 PEDESTRIAN ACCESS POINT.
- 15 FLOOR STRIPING (TYP). STRIPING SHALL BE YELLOW & 4" WIDE. ALL BUFFER AND CORNER AREAS SHALL BE STRIPED IN A DIAGONAL FASHION WITH STRIPES SPACED 18" ON CENTER.
- 16 DECORATIVE METAL FENCE WITH VEHICLE BARRIER CABLES BEHIND (TYP)
- 17 DIRECTIONAL ARROW PAINT MARKINGS (TYP).

PARKING SUMMARY

LEVEL	TOTAL SPACES	TOTAL ACCESSIBLE SPACES	VAN ACCESSIBLE SPACES	ELECTRIC CAR CHARGING SPACES
LEVEL 1	110	7	2	8
LEVEL 2	101	0	0	0
TOTAL	211	7	2	8



CITY OF MEDINA
CITY HALL
PARKING
STRUCTURE



MEDINA CITY HALL
132 N. ELMWOOD AVE.
MEDINA, OH 44256

TAG	ISSUED	DATE
1	REQUEST FOR PROPOSAL	07/08/19

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CLIENT PROJ NO
OSBORN PROJ NO P20181039.000

LEVEL 2 FLOOR PLAN

DRAWING NO
A-102

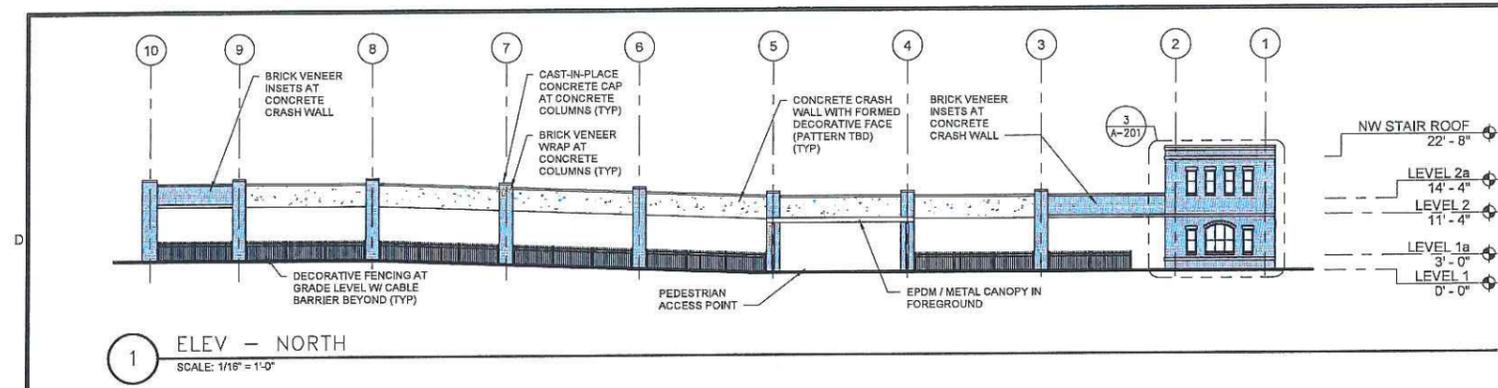
TAG	ISSUED	DATE
1	REQUEST FOR PROPOSAL	07/08/19

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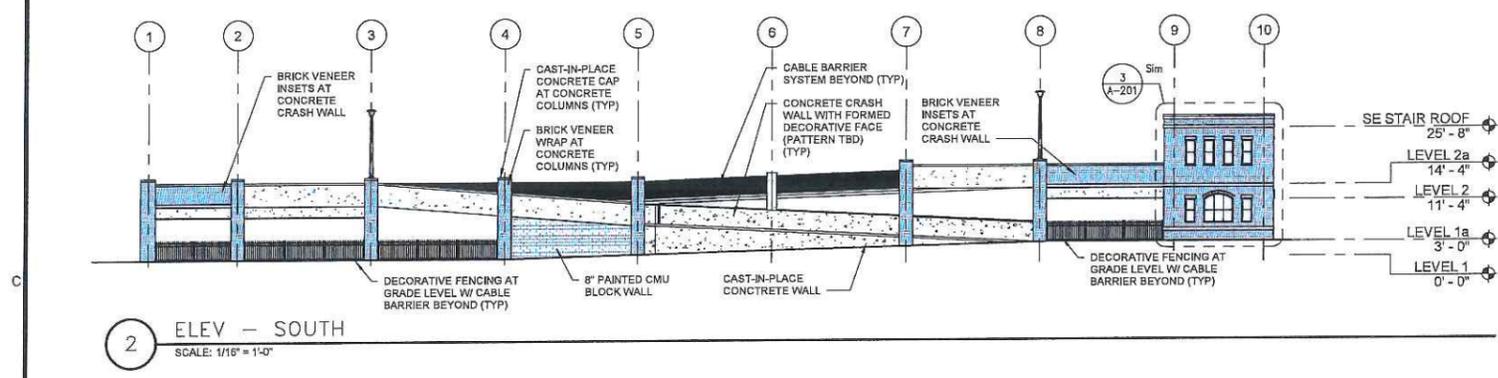
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 CLIENT PROJ NO
 OSBORN PROJ NO
 P20181039.000

EXTERIOR ELEVATIONS

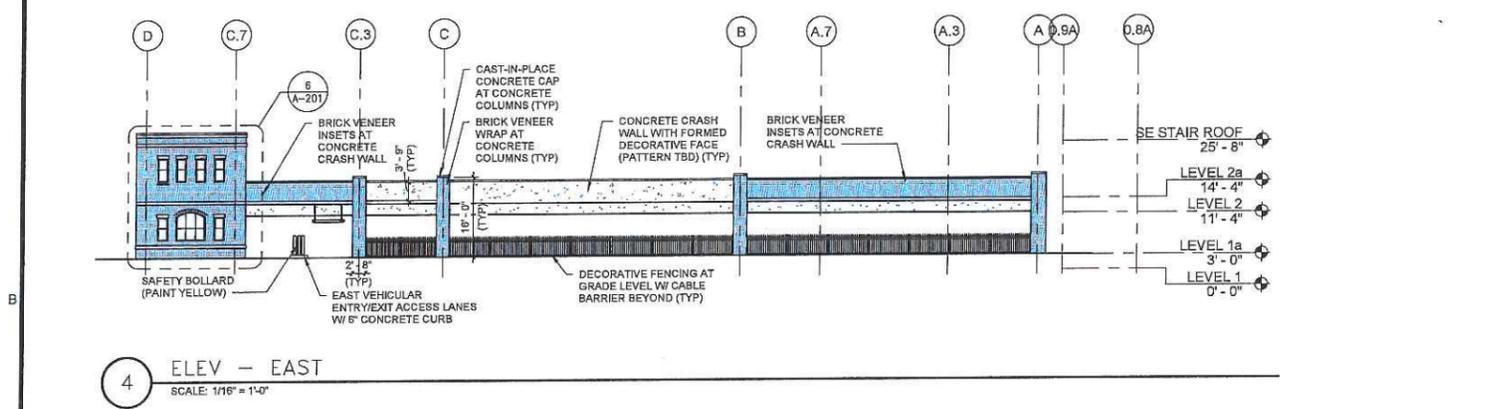
DRAWING NO
A-201



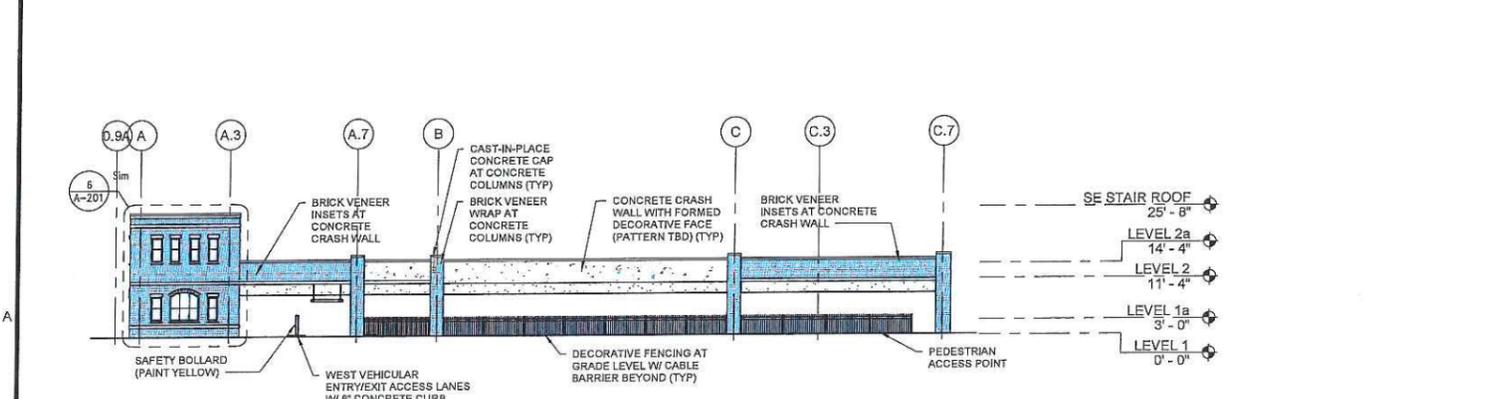
1 ELEV - NORTH
 SCALE: 1/16" = 1'-0"



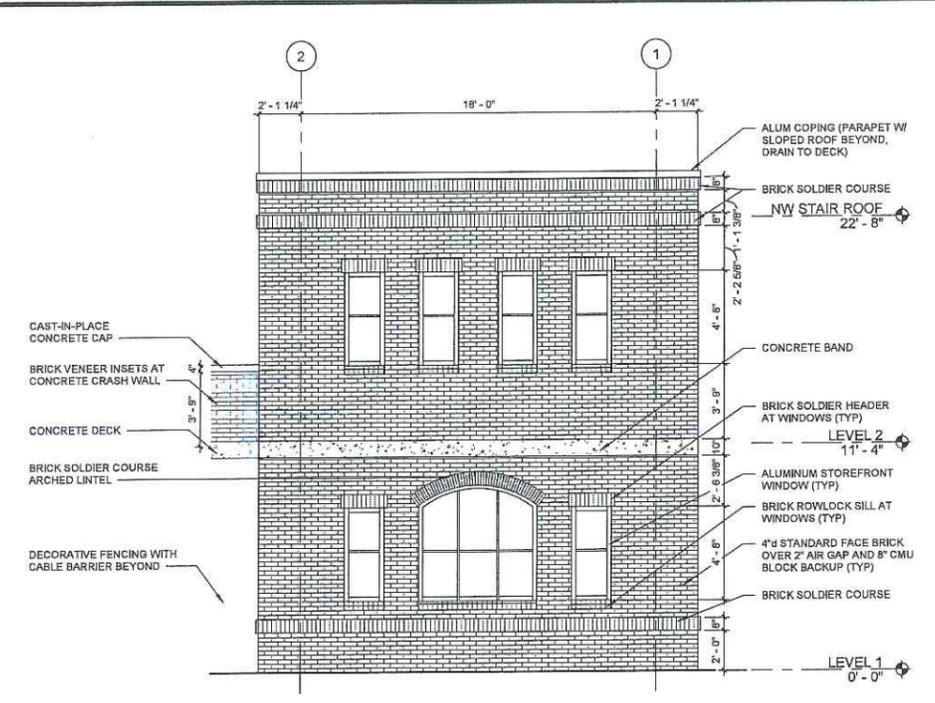
2 ELEV - SOUTH
 SCALE: 1/16" = 1'-0"



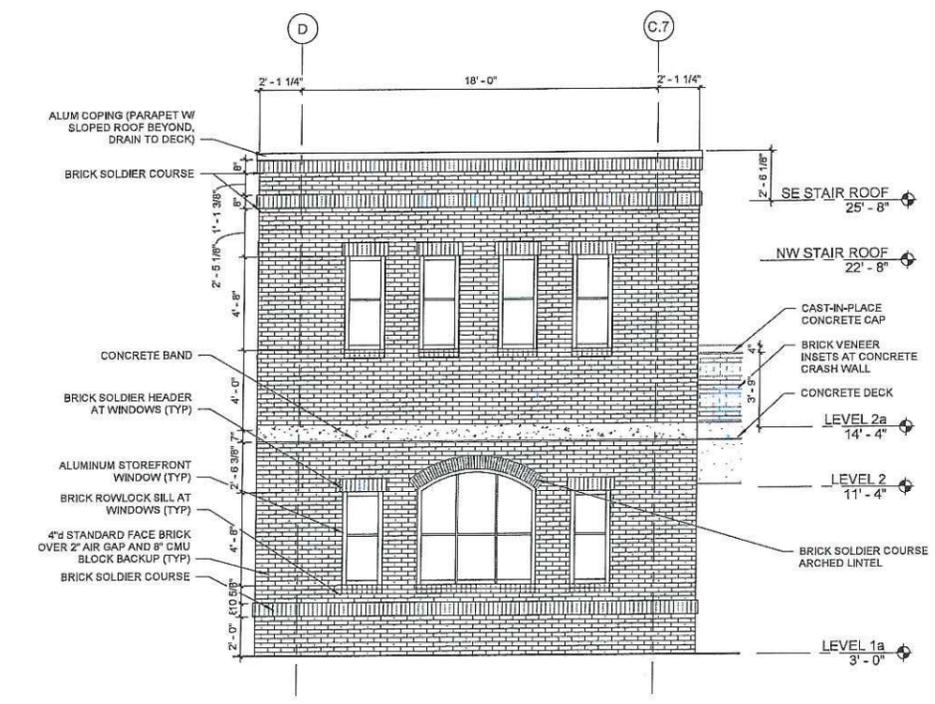
4 ELEV - EAST
 SCALE: 1/16" = 1'-0"



5 ELEV - WEST
 SCALE: 1/16" = 1'-0"



3 ENLARGED ELEV - NORTH - WEST STAIR
 SCALE: 1/4" = 1'-0"



6 ENLARGED ELEV - EAST - EAST STAIR
 SCALE: 1/4" = 1'-0"

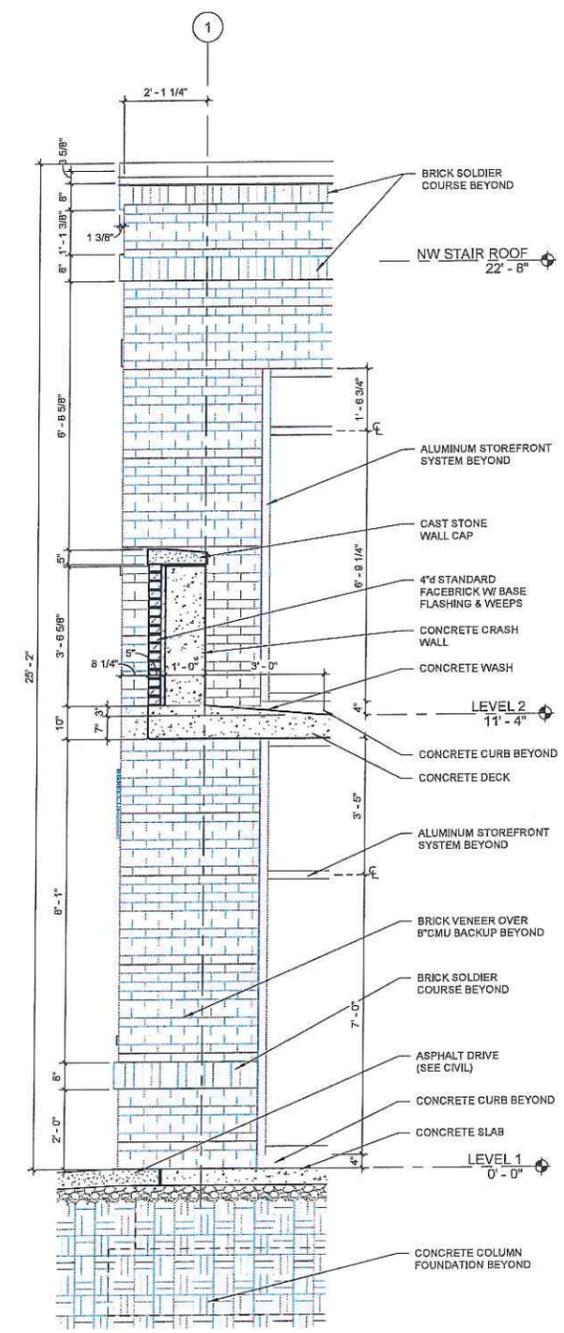
TAG	ISSUED	DATE
1	REQUEST FOR PROPOSAL	07/08/19

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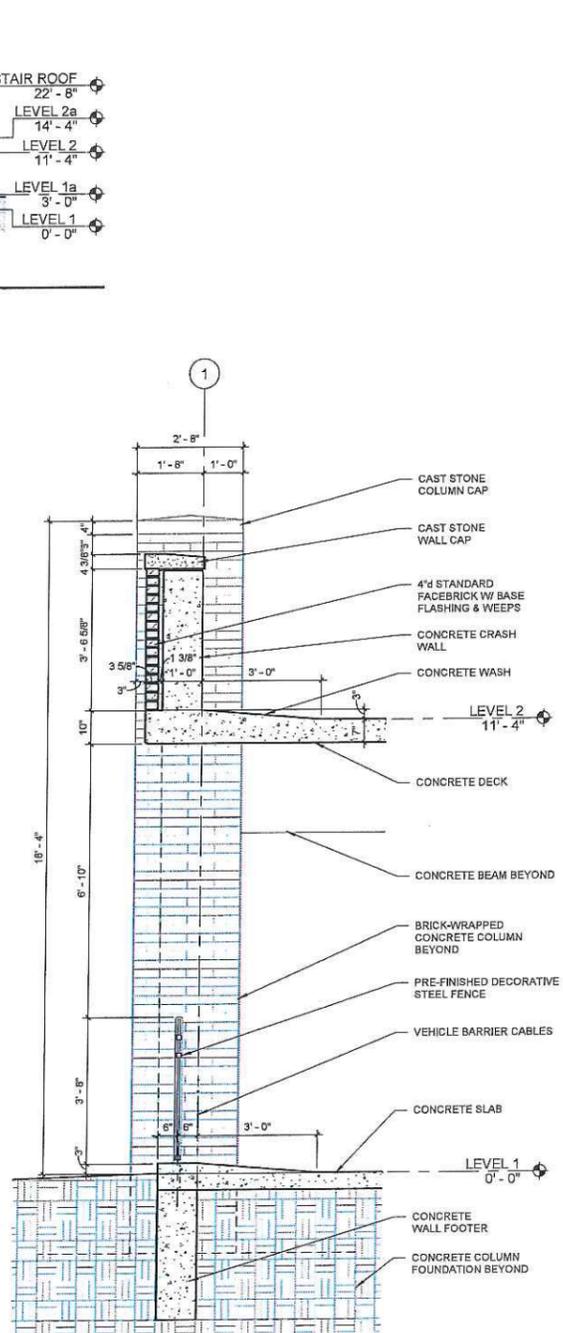
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 CHECKED BY MC
 CLIENT PROJ NO
 OSBORN PROJ NO
 P20181039.000

BUILDING & WALL SECTIONS

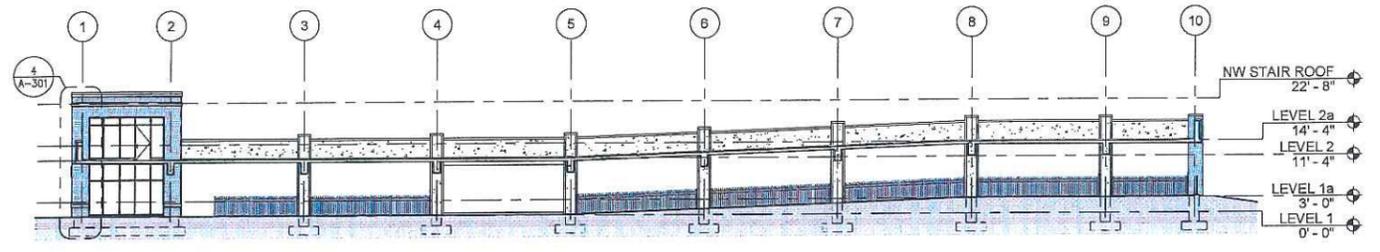
DRAWING NO
A-301



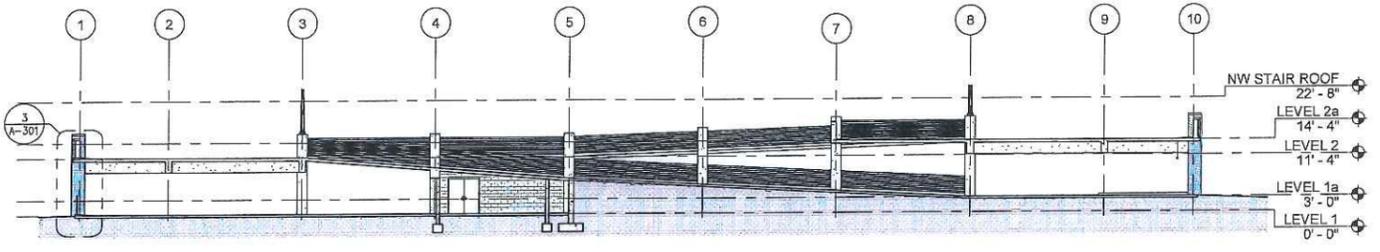
4 WALL SECTION - A&A.3
 SCALE: NONE



3 WALL SECTION - C&C.7
 SCALE: 1/2" = 1'-0"



1 BUILDING SECTION - A&A.3
 SCALE: 1/16" = 1'-0"



2 BUILDING SECTION - C&C.7
 SCALE: 1/16" = 1'-0"

TAG	ISSUED	DATE
1	REQUEST FOR PROPOSAL	07/08/19

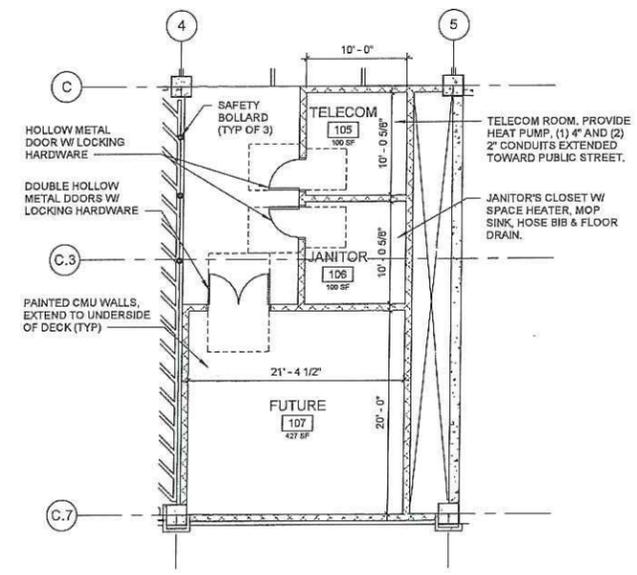
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CLIENT PROJ NO

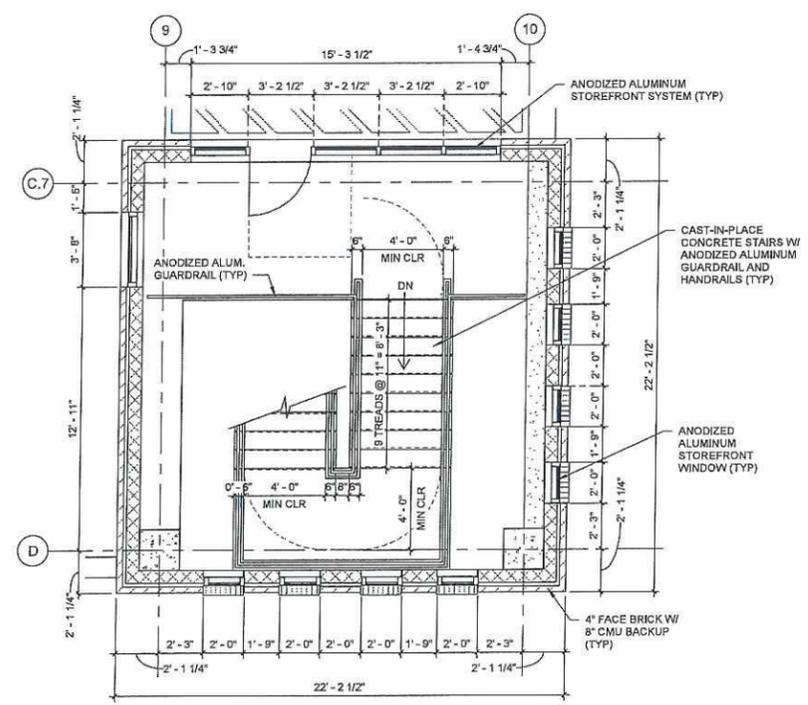
OSBORN PROJ NO
P20181039.000

ENLARGED FLOOR PLANS

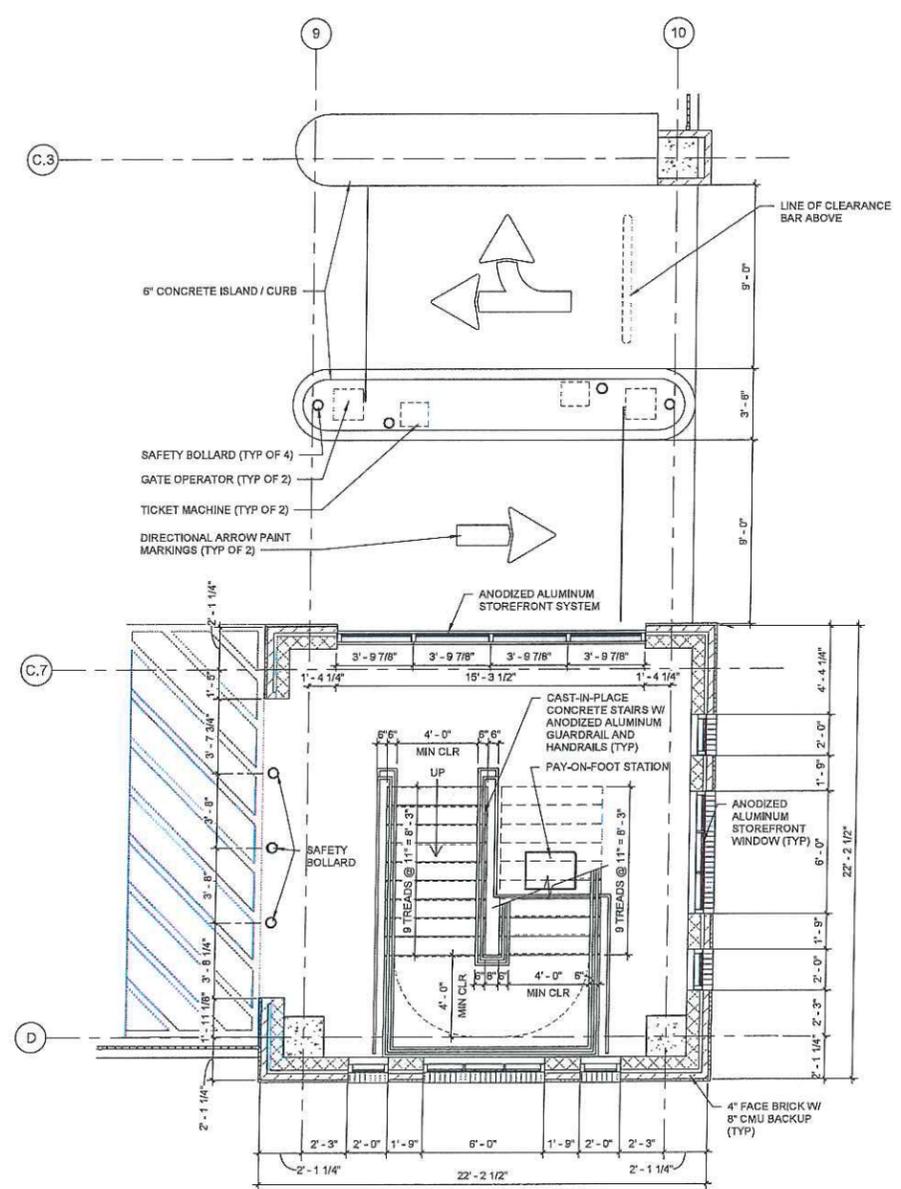
DRAWING NO
A-401



3 ENLARGED PLAN -- UTILITY ROOMS
SCALE: 1/8" = 1'-0"



2 ENLARGED PLAN -- LEVEL 2 -- SE STAIR
SCALE: 1/4" = 1'-0"



1 ENLARGED PLAN -- LEVEL 1 -- SE STAIR & ENTRY/EXIT
SCALE: 1/4" = 1'-0"