

**MEETING DATE: 03/11/21**

# **PLANNING COMMISSION**

**Case No. P21-05  
99 Public Square**



**CITY of MEDINA**  
**Planning Commission**  
**March 11, 2021 Meeting**

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**Case No:** P21-05

**Address:** 99 Public Square

**Applicant:** Medina County Commissioners

**Subject:** Site Plan review for a 4-story, 86,500 sqft addition and associated site work at the Medina County Courthouse complex

**Zoning:** P-F, Public Facilities District

**Submitted by:** Jonathan Mendel, Community Development Director 

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**Site Location:**

The site is located on the east side of Public Square and encompasses an entire block.

**Project Introduction:**

The applicant proposes a new 4-story, approximately 86,500 sqft building addition, accessory surface parking and site improvements. This will be a large expansion of the Medina County Courthouse complex on land primarily occupied by a large surface parking lot directly east of the existing complex's buildings.

In addition to review by the Planning Commission, this project will be reviewed on March 11, 2021 by the Board of Zoning Appeals for a building height variance and the Historic Preservation Board will review the project for a Certificate of Appropriateness.

Please find attached to this report:

1. Applicant's project narrative, architectural elevations and site plans dated February 18, 2021
2. Site aerial photograph

**District Regulations – Section 1130:**

This Publicly Owned or Operated Governmental Facility is a permitted use in the P-F district.

Maximum building height is 45 feet and the proposed building addition is 53.7 feet tall, which exceeds the maximum. Therefore, the applicant requests a variance for review by the Board of Zoning Appeals.

Other than the building height variance, the proposed project complies with the requirements of the P-F District.

**Site Plan and Improvement Plan Review:**

**Site Plan Standards:**

The following comments and considerations are based on the Site Plan requirements of Chapter 1109 and the Off-Street Parking and Circulation Requirements of Chapter 1145.

**Parking**

The project has a 15 space surface parking lot on the south end of the site to serve the ground floor commercial space and 10 residential units. Providing parking is solely at the applicant's discretion since Medina Codified Ordinance 26-78 established the downtown parking district which encompasses Public Square. The downtown parking district is exempt from the parking space requirements in Chapter 1145.

Although, parking is not required by the Planning and Zoning Code for this project, the parking area must meet the design requirements of the Code. The proposed parking area meets the requirements and is designed to mainly service accessible parking needs. The remainder of the complex's parking needs will be accommodated in adjacent existing public parking facilities.

**Landscaping**

The proposed landscape plan nicely softens the edges of the building and parking lot within the southerly side of the subject site around the Courthouse's new main entrance.

**Building Design, Materials and Orientation**

The proposed building and accessory parking lot complies with the applicable design guidelines outlined in Section 1109.04 of the Planning and Zoning Code. The proposed addition is consistent with the intent of the P-F district and the community's desire to retain the Courthouse operations in Downtown Medina. Lastly, the historical public building architectural style is well executed with appropriate materials, detailing and proportions.

**Parking Area Lighting**

The applicant has provided a compliant parking lot lighting plan.

**Staff Comments:**

**Building Department.** No comment at this time

**Police Department.** No comments at this time

**Service Department.** No comment at this time

**Fire Department** No comment at this time

**Engineering Department** No comment at this time

**City Forester** No comment at this time.

**Economic Development** No comment at this time

**Recommendation:**

Staff recommends the Planning Commission **approve** the Site Plan request for the proposed 4-story, approximately 86,500 sqft building addition to the Medina County Courthouse complex at 99 Public Square with the following conditions:

1. Subject to review and approval of building permits by the City of Medina Building Department.
2. Subject to review and approval of site development plan by the City of Medina Engineering Department.



**MEDINA COUNTY COURTHOUSE  
SECOND SUBMISSION TO HISTORIC PRESERVATION BOARD**



February 18, 2021

**DESIGN NARRATIVE FOR HISTORIC PRESERVATION BOARD REVIEW**

**Site Location:**

The site is located in the block bounded by E. Liberty Street, Public Square, E. Washington Street, and S. Jefferson Street. The proposed area of development is in the center of the block between the existing County Courthouse and the existing Parking Garage.

**Project Introduction:**

The applicant requests a certificate of appropriateness for a new four-story 86,576 square-foot building that will be attached to the rear of the Old Courthouse at 99 Public Square and also includes a connector corridor to the rear of the 1969 Courthouse at 93 Public Square. The building will serve as the new Medina County Courthouse.

- The First Floor will consist of 22,690 sqft of new construction to include a public entry point with a security check point, the County Clerk archive records, a Testing Lab, a secure Sallyport and In-Custody hold areas, multiple file storage rooms, and building support and mechanical spaces.
- The Second floor will consist of 21,890 sqft of new construction to include the County Clerk transaction windows, work areas, and offices, a future Common Pleas Courtroom and Judicial Staff offices, and the Domestic Relations Court and Judicial Staff. This floor will connect to the existing Old Courthouse where 7,440 sqft of interior space will be renovated for use by the Domestic Relations Court.
- The Third Floor will consist of 21,890 sqft of new construction to include the Common Pleas Court and Judicial Staff. This floor will connect to the existing Old Courthouse where 7,440 sqft of interior space will be renovated for use by the County Adult Probation office.
- The Fourth Floor will consist of 20,100 sqft of new construction to include the Probate Court, Juvenile Court, Juvenile Probation, and Judicial Staff.
- The exterior of the building will consist primarily of red brick to complement the surrounding structures. Cast stone will be used at the base of the building. The pilasters and pediment at the main entrance of the building, along with the cornice, will be made of GRFC (glass fiber reinforced concrete). The GRFC is a lightweight material that is best-suited for areas of the building that are higher than pedestrian level. Windows will be individual aluminum insulated units with interior muntins and cast stone sills and headers.
- An ornamental steel security fence will be provided around the secure parking at the Sallyport.
- An entry plaza will be developed at the south side of the building along with street-level handicapped accessible parking.
- No changes are planned for the exterior of the Old Courthouse at 99 Public Square.

**This review is the formal submission to the Board for a Certificate of Appropriateness. Items revised from the initial discussion submission are identified herein as BOLD.**

In addition to review by the Historic Preservation Board, this project will be reviewed by the Board of Zoning appeals for a variance from Section 1130.05 of the City of Medina Planning and Zoning Code to allow for the 53'-4" height above grade. This project will also be reviewed by the Planning Commission for Site Plan review.

Please find attached to this report:

1. Documents prepared by Brandstetter Carroll, Inc. dated 02/18/2021:
  - a. Color renderings of the proposed building.
    - i. **The South Elevation/Primary Façade of the building has been revised per the direction of this board on 2/11/2021.**
    - ii. **A view of the north façade showing the parking garage has been provided.**

- iii. **A view from above showing the west side of the building facing the courtyard has been provided.**
- b. An 11x17 color Site Plan indicated areas of New Building, Renovated Building, Asphalt driveway and parking, Hardscape, and Landscape areas.
  - c. A full-size site plan drawing (30"x42") C-100 **dated 02/18/2021** prepared by Brandstetter Carroll, Inc.
  - d. **Full size exterior elevation drawings (30"x40") A-201 and A-202 dated 02/18/2021 prepared by Brandstetter Carroll, Inc.**
  - e. Context building elevations showing the relationship of the new building to the surrounding existing buildings.
  - f. Photographs of the existing site and surrounding buildings.

**City of Medina Design Guidelines:**

*Section 145.07 (b): Additions/new construction. With respect to additions/new construction to existing buildings and all new buildings or structures within Historic Districts, it is generally the interest of the Board that such additions/new construction shall be designed to enhance the character of the Historic District. Consistent with the preface of this Chapter, new buildings and additions should be representative of architectural design and construction of contemporary times.*

*Additions to existing buildings in the Historic District should be designed so as not to detract from the original character of the building. Whenever possible, additions should be located away from the primary or street face of the building. The addition should be designed so as not to destroy existing architectural features, such that the addition can be removed and the building restored to its original condition.*

**Context of surrounding buildings:**

The Old Courthouse located at 99 Public Square is on the National Register of Historic Places. It was originally constructed in 1841 as a Greek Revival structure. In 1873 additions were constructed flanking either side of the building including the mansard roof and cupola in a French Second empire style. Subsequent additions to the rear occurred in 1906, 1933, and 1951. The building is brick and stone with a slate roof.

The 1969 Courthouse was constructed in 1969 in a Federal Revival style with red brick, a cast stone base, wood columns, and a wood cornice and pediment. The rear of the building is a blank brick wall with one triple window in the center of the Second Floor.

The Sturgis House at 72 Public Square was constructed in 1873 in the Italianate style. It is made of red brick with stone arches at the windows and a wood cornice. In 2000 a modern addition was constructed at the rear entrance.

**Proposed New Building:**

The proposed new building is a present-day interpretation of Classical Greek Revival style, in order to enhance the character of the historic district while being a current design. The new building connects to the rear of the Old Courthouse, located away from the primary street face of the historic Old Courthouse. The connection between the existing Old Courthouse and the new building is intended to be of a material that is distinctly different from the existing building, while still in keeping with the historic district. We are currently showing a cast stone material, however that could be a brick material of a different color.

The windows in the new building will be punched openings of appropriate proportions for the style and will have cast stone sills and headers as well as interior muntins. Brick detailing at the corners will reflect the quoins on the Old Courthouse.

The base of the building is created with bands of cast stone. The pilasters and pediment on the South Facade accentuate the main entry to the building and give it the stature of a prominent government building.



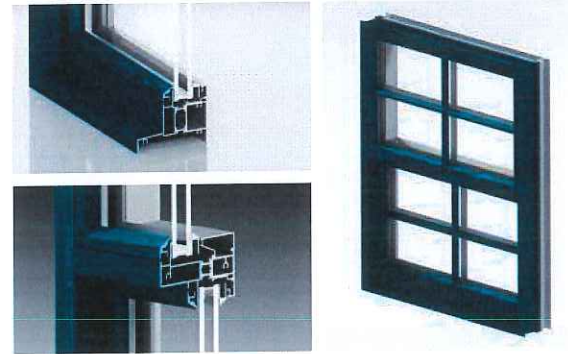
# SERIES 6715 HUNG REPLICA



North Lawn Hall - University of Alabama  
Tuscaloosa, AL

The 6715 hung replica window is a 3-7/8" deep offset fixed window designed for commercial, education, government, and historic replica applications. The window is designed to replicate the look of a hung window while providing the energy performance of a fixed window.

With several panning and subframe options available, this window can be used in both new and retrofit construction. For maximum design flexibility, the 6715 has three sill options: tall, medium, and low. The snap-in grid feature moves the grid out of the glazing pocket providing improved water performance and a quality product.



<b>AAMA RATING</b> (A440) AW120		<b>STRUCTURAL LOAD</b> (ASTM E330) +/- 180.0 psf	
<b>AIR INFILTRATION</b> (ASTM E283) <0.10 cfm/ft <sup>2</sup>		<b>WATER RESISTANCE</b> (ASTM E547 & E331) 15.00 psf	
<b>U-FACTOR*</b> (ANSI/NFRC 100) 0.29 - 0.58		<b>CRF</b> (AAMA 1503) 62	
<b>STC*</b> (ASTM E90 & E413) 31 - 37		<b>OITC*</b> (ASTM E90 & E413) 26 - 31	
<b>FORCED ENTRY</b> (ASTM F588 OR F842) Grade: 40		<b>ACCESSIBILITY</b> (AAMA 513) N/A	

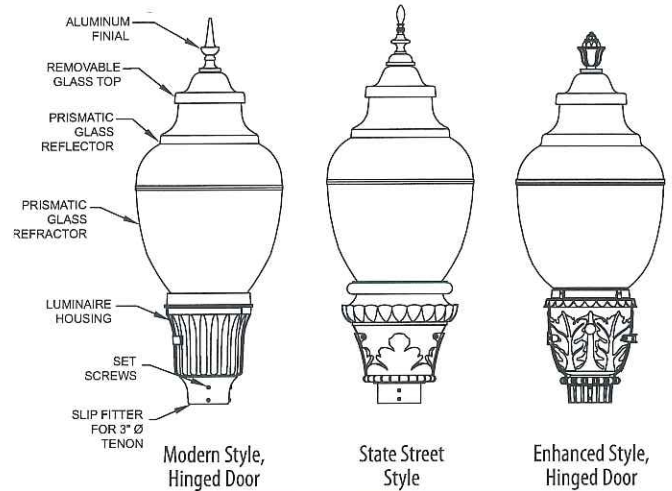
## STANDARD FEATURES

- Simulated hung window (Offset meeting rail)
- Thermal strut
- System depth: 3-7/8"
- Nominal wall thickness: .078"
- Multiple sill height options
- Max tested size: 60" x 99"
- Glazing options:
  - Insulating: 1/2" - 1-3/8"
  - Dual-Glazed: Available with interior access panel
  - Mini-blinds: 5/8" available with dual-glazed units
- Muntins:
  - Exterior snap-in grid
  - Interior glazed-in grid
- Panning/Trim: Available
- Subframe/Receptor system: Available
- Mullions:
  - 3 piece mullions
  - Stacking mullions

\* Performance dependent on glass selection. Please contact your EFCO sales rep for project specific performance.



Catalog Number	
Notes	Type



	Modern Style, Hinged Door	State Street Style	Enhanced Style, Hinged Door
Maximum weight:	65 lbs.	80 lbs.	80 lbs.
Maximum effective projected area:	2.26 sq. ft.	2.26 sq. ft.	2.26 sq. ft.

## WAE3

Washington Postlite LED3 Series



## SPECIFICATIONS

### General Description

The Washington Postlite LED3 Utility is styled to replicate the acorn luminaires that lighted streets in the first half of the 20th century. Designed for superior light control, ease of installation, and maintenance, the Washington Postlite has a precision prismatic glass optical system for true street lighting performance as well as beauty. The large acorn-shaped luminaire, contains a powerful, stalk-mounted Chip-On-Board, LED platform with a precision optical system that maximizes post spacings while maintaining uniform illumination.

### Mechanical Specifications

The luminaire housing shall:

- Be heavy grade A360 cast aluminum (aluminum with <1% copper)
- The glass optic is bolted onto a gasketed top housing plate, using three stainless steel bolts that form an IP66 seal of the optical assembly.
- The housing provides an enclosure for a plug-in electrical module
- The housing accepts 3" high by 2-7/8" to 3-1/8" O.D. pole tenon and offers stainless steel set screws to securely fasten the luminaire to pole tenon

Available in three styles:

- MS Housing: Fluted decorative housing with hinge-door, tool-less entry
- EN Housing: Leaf-styled decorative housing with hinge-door, tool-less entry
- STS Housing: Leaf-styled decorative housing with pop-off door

The finish shall:

- Utilize a polyester power coat paint to ensure maximum durability
- Meet 5,000-hour salt spray
- Offer Tiger Drylac finishes that are applied by a Tiger Drylac certified facility.

### Electrical Specifications

The driver shall meet the following requirements:

- Certified by UL or CSA for wet locations
- A programmable electronic driver with 0-10V dimming control leads
- LEDs shall have a minimum of 70 CRI and available in 2700K, 3000K, 4000K, and 5000K CCT
- The electrical system shall be designed to meet ANSI/IEEE C62.41.2 and shall offer a 10kV/5kA surge protection, fail off, as standard with an upgradable 20kV/10kA surge protection, fail off with indicator light, option
- Lumen output can be customized prior to manufacturing by way of FPDxx Options
- The electrical components are mounted on an aluminum plate that is removable with minimum use of tools. A matching five conductor plug connects to the receptacle in the luminaire housing to complete the wiring. For photoelectric operation, the electrical module is provided with an EEL-NEMA twist-lock photocell receptacle.

### Optical Specifications

The optical system is IP66 rated and consists of a precisely molded thermal resistant borosilicate glass refractor and top reflector mounted within various decorative ribs and banding configurations. The top reflector redirects over 50% of the upward light into the controlling refractor while allowing a soft up-light component to define the traditional acorn shape of the luminaire. The lower refractor uses precisely molded prisms to maximize pole spacings while maintaining uniform illumination. Two refractors are available, designed for IES type III and V distributions. Lunar Optics shielding is available for asymmetric and symmetric distributions.

### Control Options

The control options shall include, but not limited to, the following:

- Field adjustable output to adjust output to luminaire - AO
- Long life photocontrol, 20 years - PCLL, P34 and P48 with DTL
- 3 and 7 pin receptacles internally in housing (PR3, PR7) or inside glass mounted (PR7E)
- nLight Air RSBOR6 outdoor fixture-mounted motion and photo-sensor, features a dual radio to communicate wirelessly to other nLight Air devices for group response to motion, on/off control in response to daylight and by switch, RSBOR6
- Fixture embedded nLight Air network interface for individual fixture control and dimming, NLTAIR2

### Certification and Standards

- Luminaire shall be UL or CSA
- Suitable for operation in an ambient temperature up to 40°C / 105°F per UL or CSA certification
- LM79 compliant
- DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check with the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

### Warranty – 5 Years Limited

Complete warranty terms located at:

[www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

Project		Catalog #		Type	
Prepared by		Notes		Date	



# Lumark

## PRV / PRV-XL Prevail LED

Area / Site Luminaire

### Typical Applications

Outdoor • Parking Lots • Walkways • Roadways • Building Areas

### Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Configurations page 3
- Product Specifications page 3
- Energy and Performance Data page 4
- Control Options page 5

### Product Certifications



### Product Features

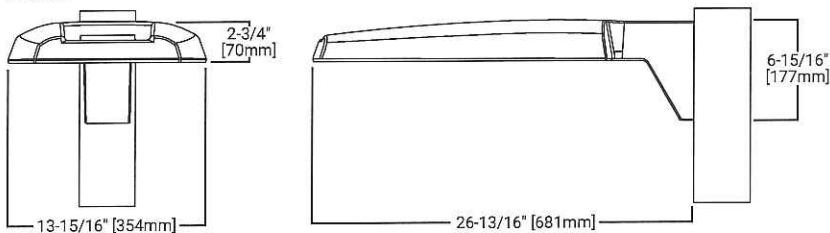


### Quick Facts

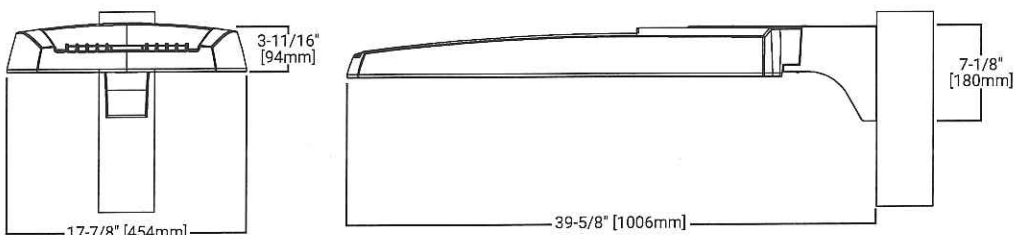
- Lumen packages range from 7,100 - 48,600 lumens (50W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

### Dimensional Details

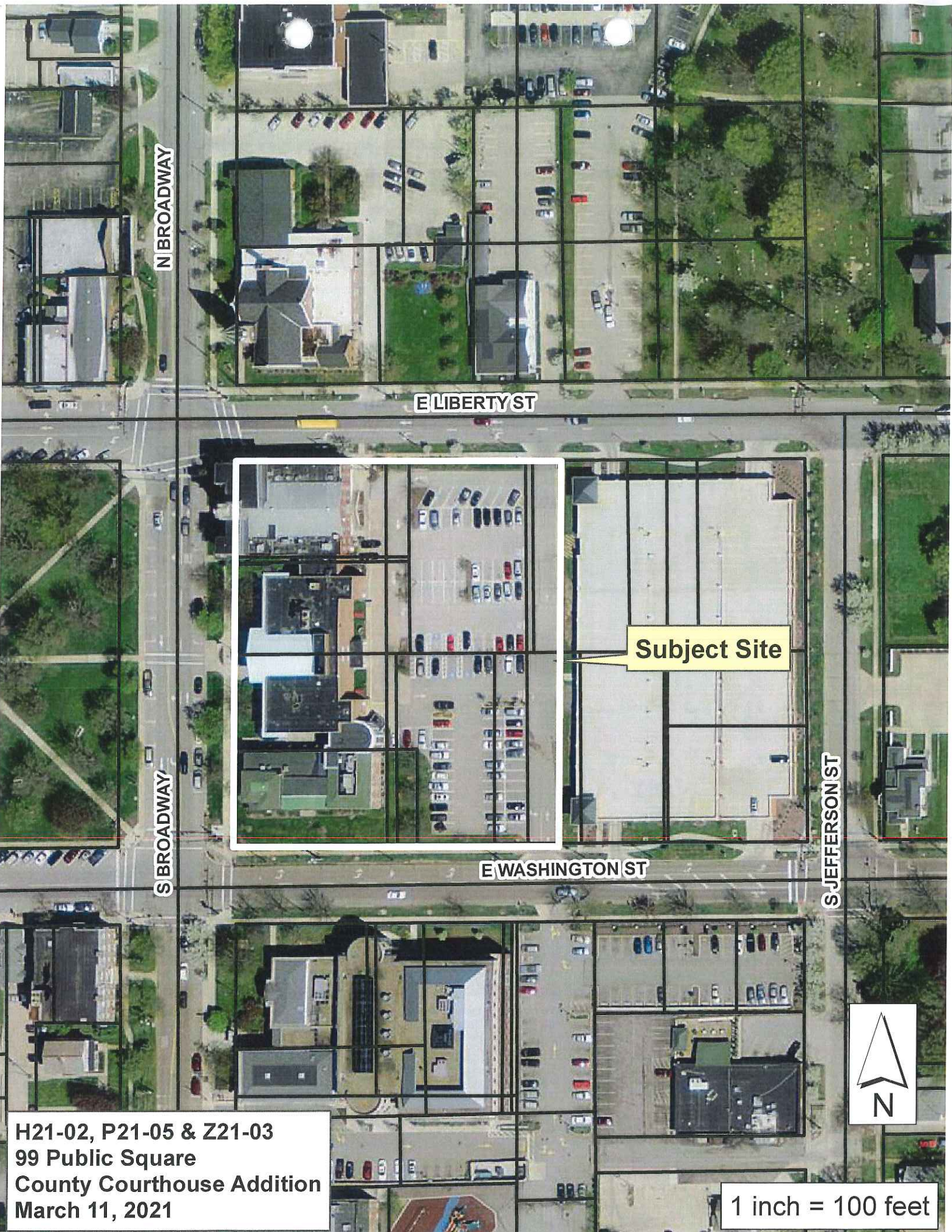
#### Prevail



#### Prevail XL







N BROADWAY

E LIBERTY ST

S BROADWAY

E WASHINGTON ST

S JEFFERSON ST

Subject Site



H21-02, P21-05 & Z21-03  
99 Public Square  
County Courthouse Addition  
March 11, 2021

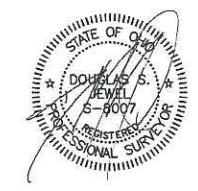
1 inch = 100 feet



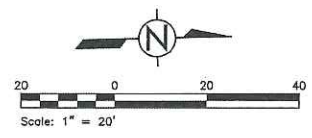
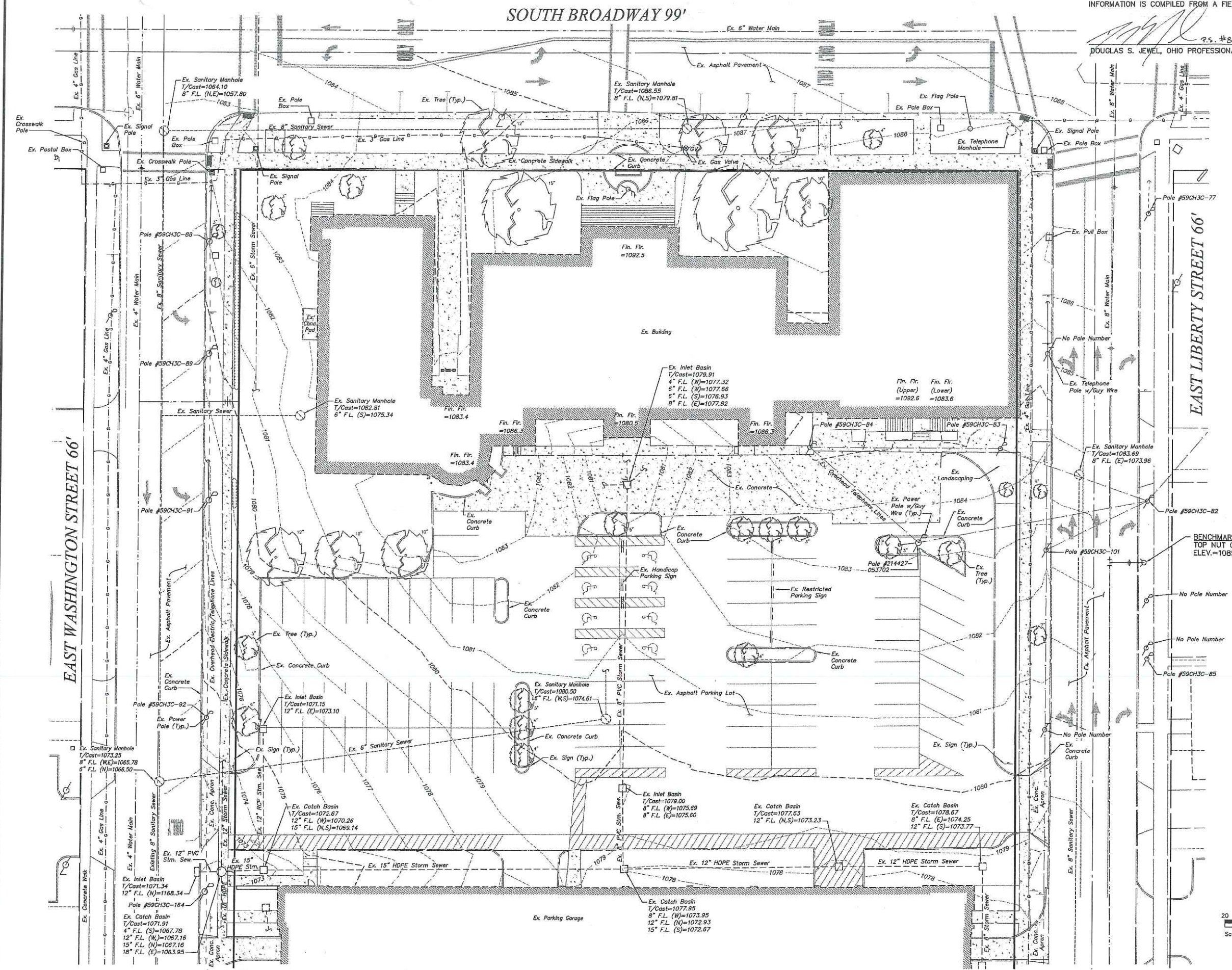
I, DOUGLAS S. JEWEL CERTIFY THAT THE EXISTING TOPOGRAPHIC AND BOUNDARY INFORMATION IS COMPILED FROM A FIELD SURVEY DATED, NOVEMBER 19, 2019

P.S. #8007  
 DOUGLAS S. JEWEL, OHIO PROFESSIONAL SURVEYOR S-8007

05 FEBRUARY 2020  
 DATE



- LEGEND**
- EX. SANITARY SEWER
  - EX. SANITARY MANHOLE
  - EX. STORM SEWER
  - EX. STORM MANHOLE
  - EX. CURB INLET BASIN
  - EX. 2-2-B INLET BASIN
  - EX. WATER MAIN
  - EX. HYDRANT ASSEMBLY
  - EX. LINE VALVE
  - EX. GAS LINE
  - EX. GAS LINE VALVE
  - EX. TELEPHONE POLE
  - EX. POWER POLE
  - EX. GUY WIRE
  - EX. OVERHEAD LINE
  - EX. SIGN
  - EX. CONTOUR
  - EX. TREE LINE



**MEDINA COUNTY COURT HOUSE**  
 LOCATED IN  
 CITY OF MEDINA  
**CUNNINGHAM & ASSOCIATES, INC.**  
 CIVIL ENGINEERING and SURVEYING  
 204 W. LIBERTY ST. MEDINA, OHIO 44026 330-725-5980

**EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY PLAN**

DRAWN BY: CAH  
 DATE: 02/04/2020  
 CHECKED BY: DSJ  
 DATE: 02/04/2020  
 PROJECT No. 19-198  
 ACAD FILE No. MCL-119-198 EX.dwg

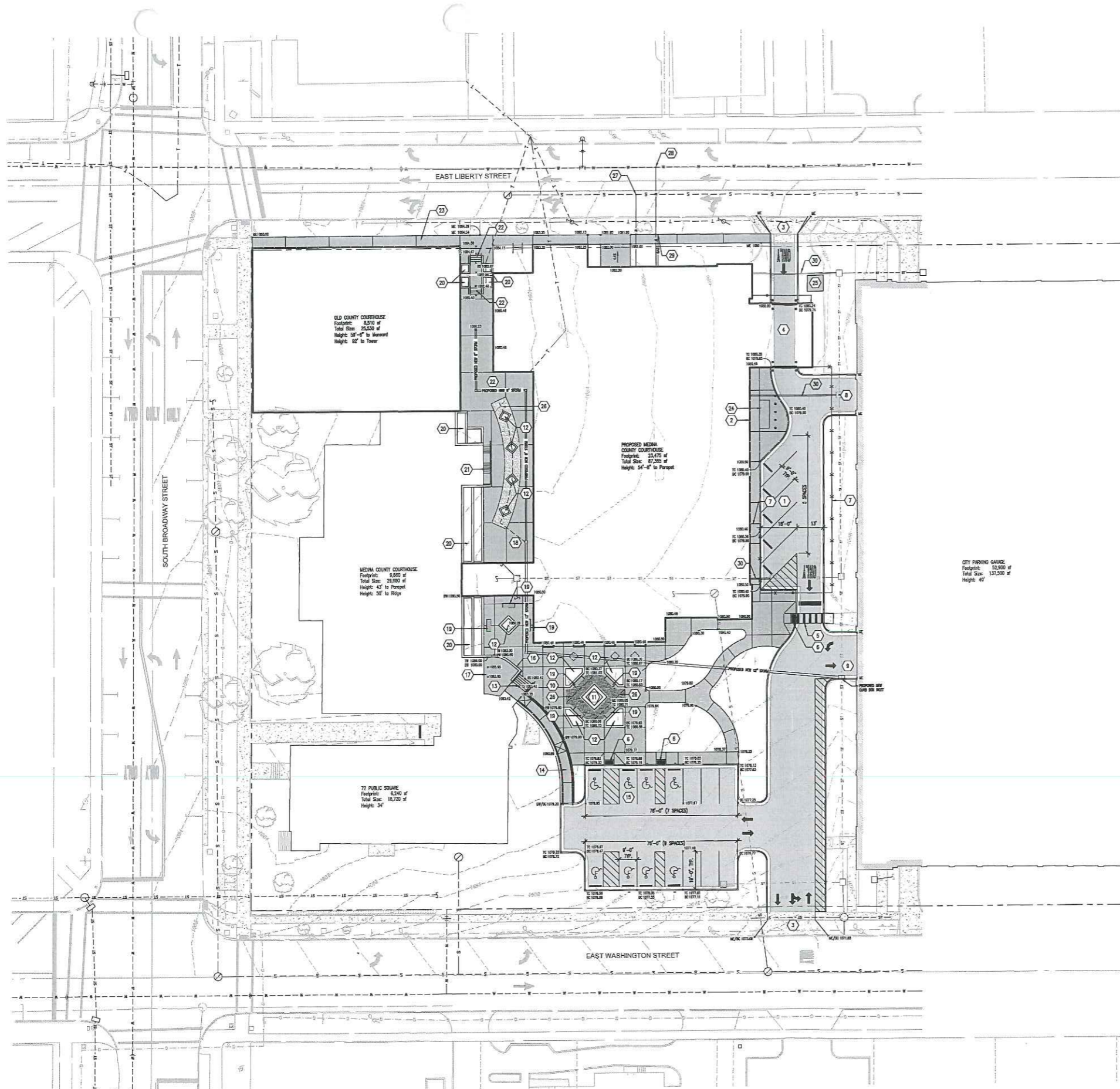
SCALE: PLAN- 1"=20'  
 PROFILE-Horz. Vert.

SHEET NO.  
 1 / 1

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NOT FOR  
CONSTRUCTION



**General Notes**

- EXISTING SITE PLAN CONDITIONS INDICATED ARE BASED UPON SURVEY PERFORMED BY OTHERS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL CONDITIONS PRIOR TO BEGINNING AND/OR CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN OWNER ACCESS TO SITE AND/OR FACILITIES DURING CONSTRUCTION.
- THE CONTRACTOR MUST COORDINATE ALL SITE STAGING/CONSTRUCTION ACTIVITIES WITH THE OWNER PRIOR TO COMMENCEMENT OF WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SAFEGUARD ITEMS WHICH ARE NOT AFFECTED BY THE SCOPE OF DESIGN/CONSTRUCTION OF THIS PROJECT. ANY AND ALL DAMAGES TO SAID ITEMS SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY. AFFECTED ITEMS SHALL BE REPAIRED/REPLACED BY CONTRACTOR AT THE OWNER'S DISCRETION AND TO THE OWNER'S SATISFACTION.
- ALL ITEMS RELATIVE TO LOGISTICAL SUPPORT OF CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO: CONSTRUCTION ACTIVITY PLANS, TEMPORARY FACILITY LOCATIONS, CONSTRUCTION FENCE LOCATIONS, STORMWATER POLLUTION CONTROL ELEMENTS, PROJECT SIGNAGE, ETC., SHALL BE SUBMITTED TO OWNER FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION.
- REMOVAL/RELOCATION OF EXISTING UTILITIES AND/OR SIGNAGE MUST BE COORDINATED AND/OR APPROVED BY THE APPROPRIATE AGENCY PRIOR TO COMMENCEMENT OF ANY AND ALL ACTIVITIES. ALL WORK SHALL BE IN ACCORDANCE WITH AGENCY STANDARDS.
- THE CONTRACTOR SHALL REPAIR AND/OR REPLACE AREAS OF ROADS OR SIDEWALKS DAMAGED DURING CONSTRUCTION ACTIVITIES AT THE OWNER'S DISCRETION.
- ALL NEW AND RESURFACED PAVEMENT AREAS SHALL BE CONSTRUCTED AS PER DETAILS AND SPECIFICATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL NEW AND RESURFACED PAVEMENT AREAS ALONG WITH MODIFIED GRASS AREAS ALLOW THE FOLLOWING: SLOPE DIRECTS DRAINAGE AWAY FROM ALL STRUCTURES, AND PAVEMENT/GRASS AREAS ARE CONSTRUCTED IN A MANNER WHICH PREVENTS ANY AND ALL POHOLES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE PRESENCE OF EXISTING PIPING AND UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.

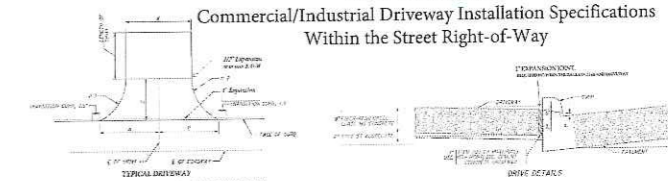
**Coded Notes**

- SECURED STAFF PARKING
- STAFF ENTRANCE
- CONCRETE ENTRANCE APRON
- DRIVE THRU SALLYPORT
- PEDESTRIAN ACCESS FROM GARAGE
- HANDICAP ACCESSIBLE RAMP
- SECURITY FENCING
- WARRANTAGE AREA FOR SNOW REMOVAL, NO VEHICULAR ACCESS
- GARAGE ACCESS
- COURTYARD PLAZA
- SEAT WALL PLANTER
- LANDSCAPE PLANTER WITH CURB
- NEW STAIR ACCESS FROM COUNTY PROCESSION
- ADA ACCESSIBLE RAMP
- TYP. ADA ACCESSIBLE PARKING
- RETAINING WALL WITH SAFETY RAILING
- EXISTING CONCRETE STAIR ACCESS
- INTERIOR COURTYARD PLAZA
- BENCH SEATING
- TERSED LANDSCAPE PLANTERS
- NEW STAIR FROM EXISTING EXPRESS
- NEW STAIR ACCESS TO INTERIOR COURTYARD
- REPLACE EXISTING CONCRETE SIDEWALK
- GENERATOR PAD
- TRANSFORMER PAD
- PROPOSED 4" HEPE UNDERDRAIN
- PROPOSED SANITARY CONNECTION
- PROPOSED WATER CONNECTION
- PROPOSED GAS CONNECTION
- ROOF DRAIN CONNECTION TO STORM

**Legend**

- HVESCOPES
- BRICK PAVING
- ASPHALT PAVEMENT
- LANDSCAPE ROCK

**CITY OF MEDINA  
Commercial/Industrial Driveway Installation Specifications  
Within the Street Right-of-Way**



**CITY OF MEDINA ENGINEERING DEPT. (330) 722-9084**

Subgrade soil shall be firm and voidfree with no standing water.  
One inch (1") expansion joint is required between back of curb and driveway apron.  
One Half (1/2") expansion joints required between back of sidewalk and driveway, and between sidewalk in apron and continuation of sidewalk in both directions.  
Required thickness of concrete within the Right-Of-Way, including sidewalk, is to be a MINIMUM of:  
7" - RESIDENTIAL  
8" - COMMERCIAL  
9" - INDUSTRIAL  
Fiber mesh required in the apron and sidewalk.  
A minimum of 2" compacted stone base is required, Type 57 or 304 limestone.  
Maximum width of driveway at curb is:  
WIDTH OF DRIVEWAYS (SEE TABLE)

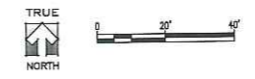
	Minimum	Maximum
Residential	22	30
Commercial or Public Facility	36	34
Industrial	120	60

Inspection is required prior to cutting curb, must be marked prior to scheduling inspection. Inspection is required after forms are in place and prior to placement of concrete.  
ALL CURB CUTS SHALL BE MADE WITH A HORIZONTAL SAW

**SIDEWALK DETAIL**  
(ADA Compliant concrete curb ramps required at intersection of public sidewalk and pavement curb; refer to ODOT Drawing drawing 'Curb Ramps with Truncated Domes')

4.0' wide (in residential areas; other areas may vary)  
1/4 inch per foot (typical)  
Concrete Sidewalk  
Min. 2" Type 304 base or Type 57 base

**SIDEWALK NOTE:** Sidewalk outside of drive areas to be 4" thick blue concrete; sidewalk within drive areas to be fiber reinforced concrete a minimum of 7" thick for residential drives, 8" thick for commercial and retail drives, and 9" thick for industrial drives.



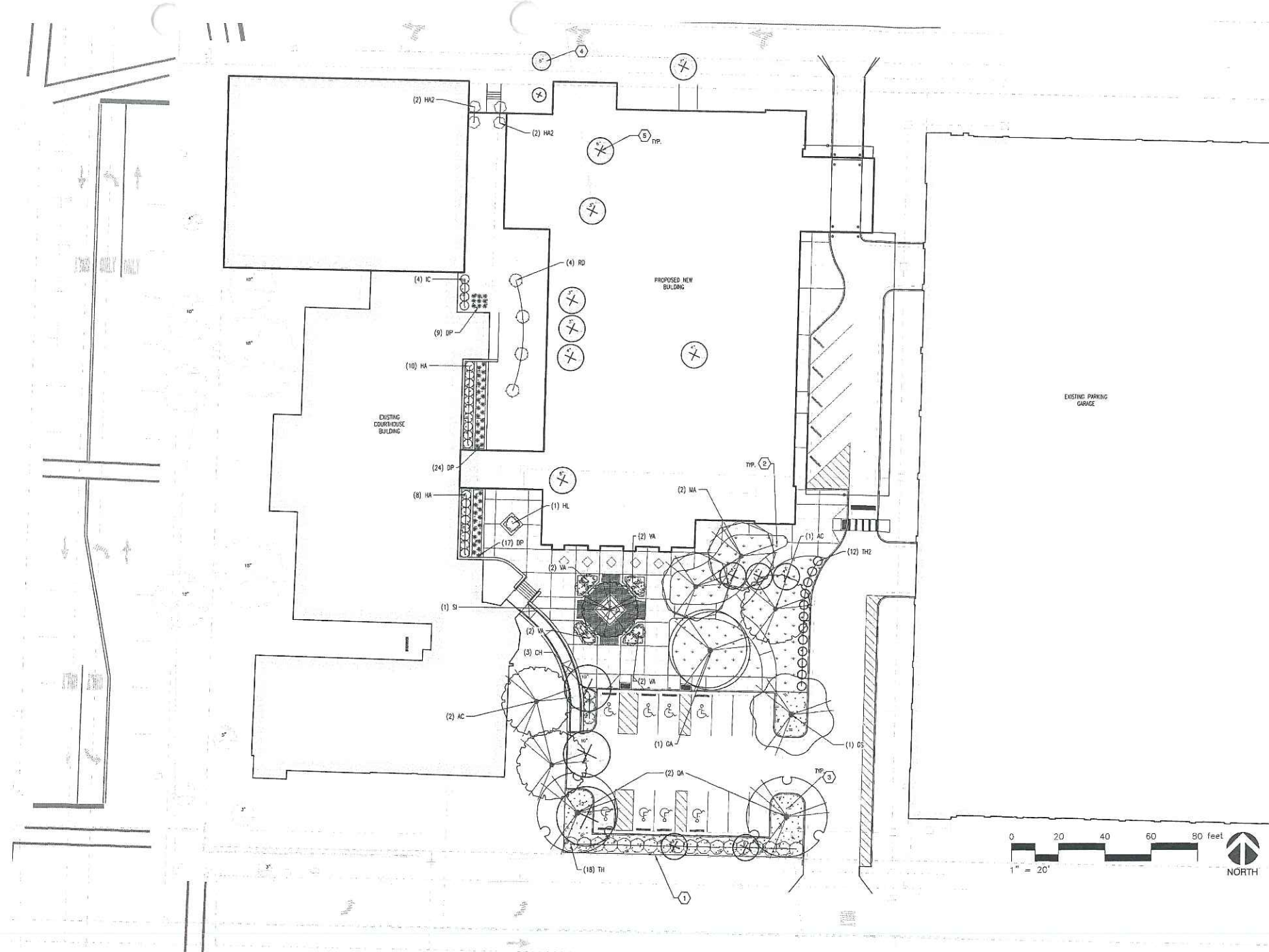
Revisions:  
Issue Date: February 18, 2020

**Medina County  
Courthouse**  
93 Public Square  
Medina, Ohio 44256

Site Plan  
Project No. C-100  
19068



NOT FOR  
CONSTRUCTION



**General Notes**

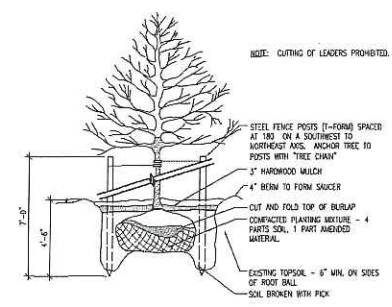
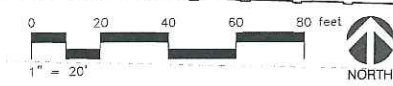
1. GENERAL, MUD, DRINK, OR DEBRIS WILL NOT BE ALLOWED IN ANY OF THE ROADWAYS LEAVING THE SITE AREA. CONTRACTOR SHALL CLEAN DEBRIS, MUD, DRINK, ETC. FROM THE STREET AS IT OCCURS.
2. IF, DURING THE CONSTRUCTION, INTERFERENCE ARISES WITH EXISTING UTILITIES IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITY COMPANY INVOLVED. THE CONTRACTOR SHALL NOTIFY, AT LEAST (7) SEVEN DAYS BEFORE BREAKING GROUND, ALL PUBLIC SERVICE CORPORATIONS INVOLVED, INCLUDING ALL STRUCTURES WHICH ARE AFFECTED AND NOT SHOWN ON THESE PLANS. THERE WILL BE NO CLAIMS ALLOWED FOR UTILITY INTERFERENCES.
3. ALL AREAS DISTURBED OR DAMAGED OUTSIDE THE LIMITS OF CONSTRUCTION SHALL BE REPAIRED AT NO COST TO THE OWNER AND TO THE SATISFACTION OF THE OWNER.
4. ALL DISTURBED AREAS SHALL BE SEEDING, FERTILIZED AND MULCHED.
5. ALL GRADED SURFACE AREAS THAT HAVE BEEN BROUGHT TO FINISH GRADE AND ARE NOT TO BE DISTURBED FURTHER, SHALL BE REVEGETATED AS SOON AS POSSIBLE. ALL OTHER GROUND SURFACES DISTURBED DURING CONSTRUCTION SHALL BE BROUGHT TO ORIGINAL GRADE OR SHALL CONFORM TO NEW GRADES IN AS SMOOTH AND CONSISTENT A MANNER AS POSSIBLE AND REVEGETATED.
6. EXCAVATE ALL NEW TREE ISLANDS TO A DEPTH OF 24 INCHES AFTER PARKING LOT CONSTRUCTION. FILL WITH A 3:1 RATIO OF TOPSOIL AND COMPOST, OR OTHER APPROPRIATE SOIL MEDIA, TO ALLOW FOR HEALTHY ROOT DEVELOPMENT AND TREE LONGEVITY.
7. PLANTS WITHIN THE JOB ALTERNATE BOUNDARY ARE NOT TO BE INCLUDED IN BAZE BID.
8. PLANT QUANTITIES ON PLANT SCHEDULE ARE FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL PLANTING SHOWN ON THIS PLAN.

**REFERENCE NOTES SCHEDULE**

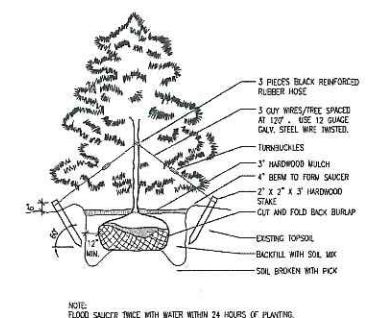
SYMBOL	DESCRIPTION	QTY
①	4" ALUMINUM LANDSCAPE EDGING	144 LF
②	FESQUC SOIL	2,834 SF
③	FRESHWATER MULCH	31,42 CY

**PLANT SCHEDULE**

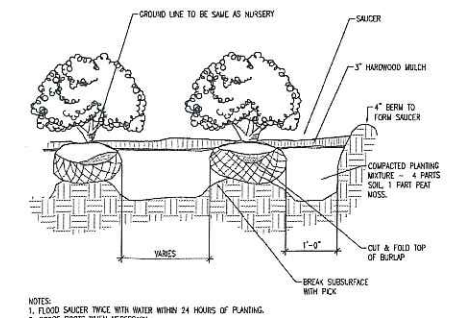
TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CANOPY	QTY	DETAIL	REMARKS
AC	AC	Acer saccharum 'Carnegieana' / Commemoration Sugar Maple	2.5" Cal.	BBB	3		
GA	GA	Ginkgo biloba 'Autumn Gold' TM / Autumn Gold Waterhail Tree	2.5" Cal.	BBB	1		
GS	GS	Gleditsia triacanthos var. 'Shademaster' / ShadeMaster Honey Locust	2.5" Cal.	BBB	1		
MA	MA	Maackia amurensis / Amur Maackia	2.5" Cal.	BBB	2		
QA	QA	Quercus acutissima / Sawtooth Oak	2.5" Cal.	BBB	2		
SI	SI	Syringa reticulata 'Very Sin' / Very Sin Japanese Tree Lilac	2.5" Cal.	BBB	1		
TH2	TH2	Thuja occidentalis 'Hemlock' / Hemlock Arborvitae	7" HL	BBB	12		
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CANOPY	QTY	DETAIL	REMARKS
CH	CH	Coronilla alba 'Tribute' TM / Ivory Halo Dogwood	#5	Pal	3		
DP	DP	Desmodium illinoense / Ivy-Scented Fern	#5	Pal	61		
HA2	HA2	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea	36"	BBB	4		
HA	HA	Hydrangea macrophylla 'All Summer Beauty' / All Summer Beauty Bigleaf Hydrangea	#5	Pal	18		
HL	HL	Hydrangea paniculata 'Limelight' / Limelight Hydrangea	36"	BBB	1		
IC	IC	Ilex glabra 'Cherokee' TM / Cherokee Holly	#5	Pal	4		
RD	RD	Rhodododendron x 'P.J.M. Elite' / P.J.M. Elite Rhododendron	#5	Pal	4		
TH	TH	Thuja x media 'Hicksii' / Hicks Tree	5" HL	BBB	18		
VA	VA	Viburnum dentatum 'Blackberry' / Blackberry Viburnum	#5	Pal	8		



**A1 DECIDUOUS TREE PLANTING**  
1/4" = 1'-0"  
P-CO-MCC-01



**A2 EVERGREEN TREE PLANTING**  
1/4" = 1'-0"  
P-CO-MCC-02



**A3 SHRUB PLANTING**  
3/4" = 1'-0"  
P-CO-MCC-03

Revisions:  
Issue Date: February 29, 2020

**Medina County  
Courthouse**  
93 Public Square  
Medina, Ohio 44256

Landscaping  
Plan

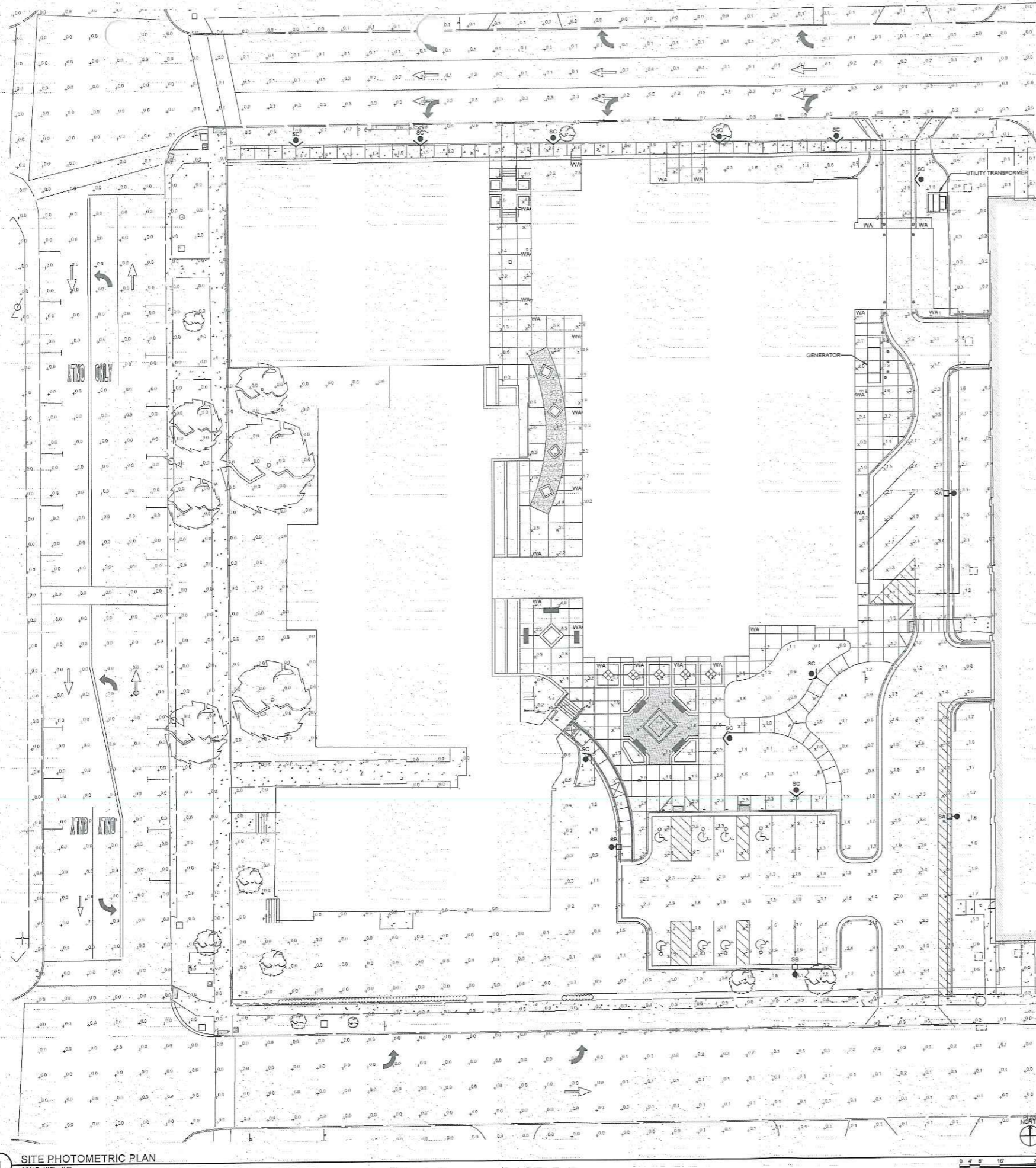
Project No.

**L-100**

19068



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PHOTOMETRIC LUMINAIRE SCHEDULE							
FIXTURE TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMPS	VOLTAGE	WATTS	REMARKS
SA	14"W x 27"L x 3"H (NOMINAL) LED SITE LUMINAIRE WITH DIE-CAST ALUMINUM HOUSING, INTEGRAL MOTION SENSOR, INTEGRAL 0-10V DIMMING LED DRIVER, AND UL LISTED FOR WET LOCATIONS. SINGLE LUMINAIRE ASSEMBLY WITH TYPE II BACKLIGHT CONTROL OPTICS MOUNTED ON A 25'-0" ROUND ALUMINUM POLE.	LUMARK	PREVAIL LED SERIES	13,000 LUMEN (NOMINAL) LED MODULE TCORL 4000K	277 V	96 W	LUMINAIRE SHALL DIM TO 50% AFTER (15) MINUTES OF INACTIVITY.
SB	14"W x 27"L x 3"H (NOMINAL) LED SITE LUMINAIRE WITH DIE-CAST ALUMINUM HOUSING, INTEGRAL MOTION SENSOR, INTEGRAL 0-10V DIMMING LED DRIVER, AND UL LISTED FOR WET LOCATIONS. SINGLE LUMINAIRE ASSEMBLY WITH TYPE IV BACKLIGHT CONTROL OPTICS MOUNTED ON A 25'-0" ROUND ALUMINUM POLE.	LUMARK	PREVAIL LED SERIES	13,000 LUMEN (NOMINAL) LED MODULE TCORL 4000K	277 V	96 W	LUMINAIRE SHALL DIM TO 50% AFTER (15) MINUTES OF INACTIVITY.
SC	18" DIA. x 45" H (NOMINAL) LED DECORATIVE SITE LUMINAIRE WITH DIE-CAST ALUMINUM HOUSING, INTEGRAL MOTION PHOTO SENSOR, INTEGRAL 0-10V DIMMING LED DRIVER, AND UL LISTED FOR WET LOCATIONS. SINGLE LUMINAIRE ASSEMBLY WITH TYPE II OPTICS MOUNTED ON A 16'-0" DECORATIVE ALUMINUM POLE.	HOLOPHANE	WASHINGTON POSTLUPE LED3 SERIES	3,200 LUMEN (NOMINAL) LED MODULE TCORL 4000K	277 V	22 W	COORDINATE CAGE FINAL AND RIB TYPE WITH OWNER AND ARCHITECT AT PICTURE SUBMITTAL
WA	6"W x 77" x 4"D (NOMINAL) EXTERIOR WALL PACK LUMINAIRE WITH DIE-CAST ALUMINUM HOUSING, INTEGRAL LED DRIVER, AND UL LISTED FOR WET LOCATIONS.	LUMARK	GROSTOUR LED SERIES	2,100 LUMEN (NOMINAL) LED MODULE TCORL 4000K	277 V	16 W	MOUNT AT 8'-0" AFT. COORDINATE EXACT HEIGHT WITH BLOCK COURSING.

**SITE PHOTOMETRIC SHEET NOTES:**

1. REFER TO STATISTICS ON THIS SHEET FOR MINIMUM VALUE AND AVERAGE TO MINIMUM VALUE OF PEDESTRIAN AND DRIVEWAY/PARKING AREAS.

1 - DRIVE (EAST)	Average	2.2	fc
	Maximum	4.2	fc
	Minimum	0.8	fc
	Max/Min	5.3:1	
	Average/Min	2.8:1	
1 - DRIVE (NORTH EAST)	Average	2.4	fc
	Maximum	4.3	fc
	Minimum	1.5	fc
	Max/Min	2.9:1	
	Average/Min	1.6:1	
1 - PARKING LOT (SOUTH)	Average	1.9	fc
	Maximum	2.6	fc
	Minimum	1.3	fc
	Max/Min	2.0:1	
	Average/Min	1.5:1	
1 - PLAZA	Average	2.9	fc
	Maximum	10.8	fc
	Minimum	0.6	fc
	Max/Min	18.0:1	
	Average/Min	4.8:1	
1 - SIDEWALK (NORTH)	Average	2.4	fc
	Maximum	7.8	fc
	Minimum	0.8	fc
	Max/Min	9.8:1	
	Average/Min	3.0:1	
1 - WALKWAY (EAST)	Average	1.2	fc
	Maximum	1.4	fc
	Minimum	0.8	fc
	Max/Min	1.8:1	
	Average/Min	1.5:1	
1 - WALKWAY (WEST)	Average	2.1	fc
	Maximum	3.2	fc
	Minimum	1.0	fc
	Max/Min	3.2:1	
	Average/Min	2.1:1	



SD PROGRESS SET



Revisions: NUMBER DATE DESCRIPTION  
Issue Date: 09/23/2020

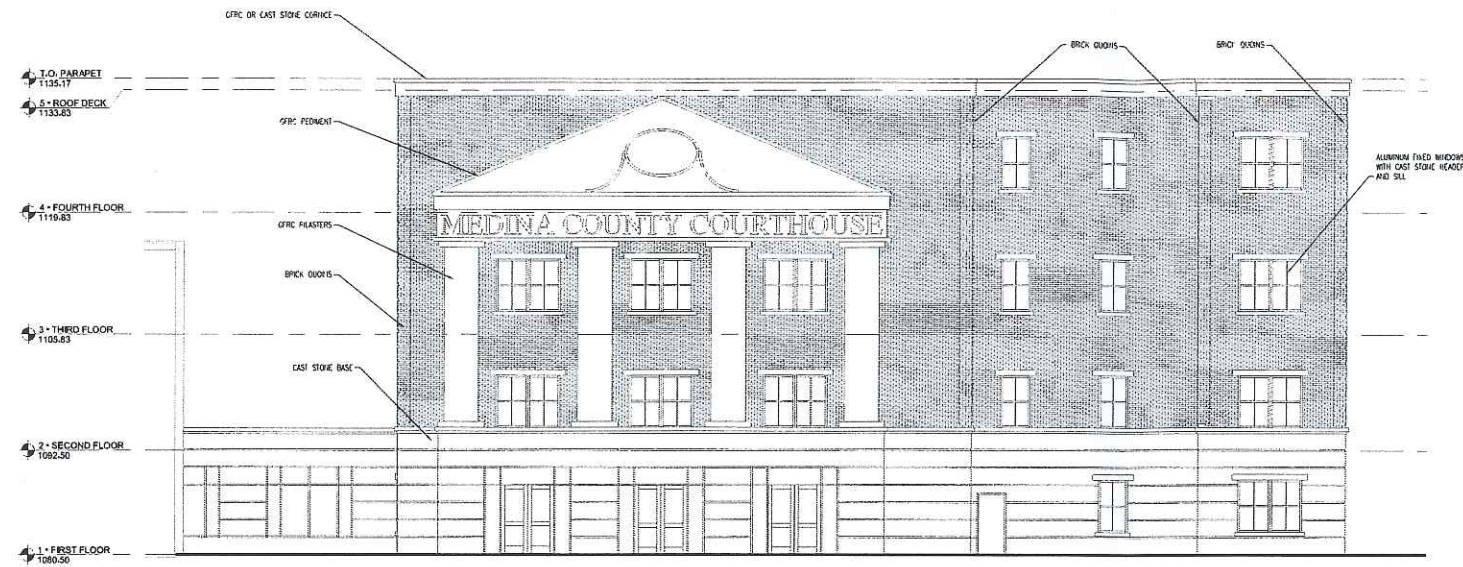
**MEDINA COUNTY COURTHOUSE Renovation**  
93 Public Square  
Medina Ohio 44256

**SITE PHOTOMETRIC PLAN**

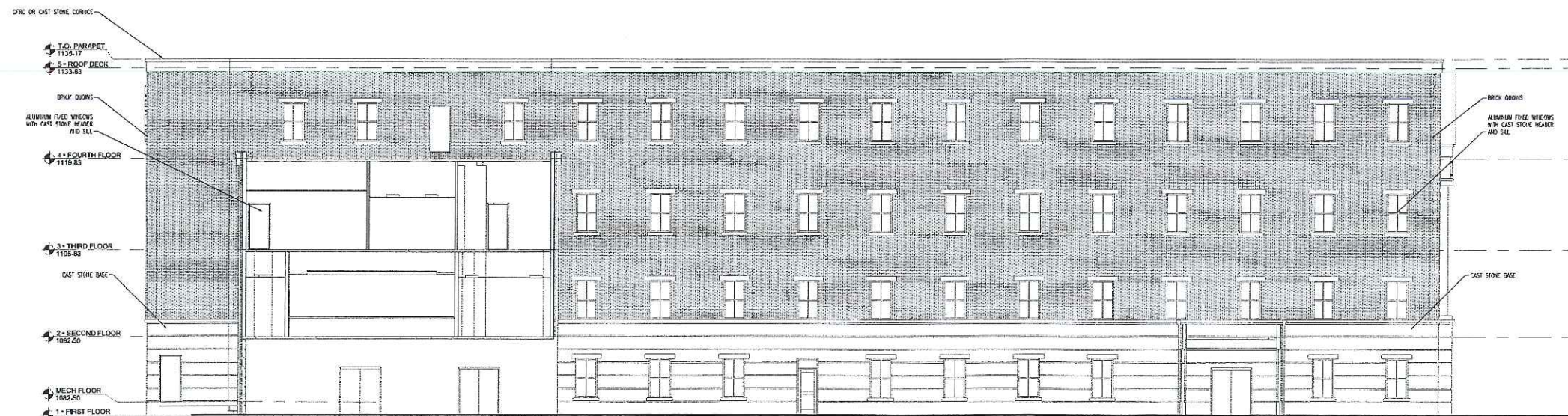
Project No. **E-100**  
19068

1 SITE PHOTOMETRIC PLAN  
SCALE: 1/16" = 1'-0"





1 SOUTH ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"

Revisions:	NUMBER	DATE	DESCRIPTION
1	02/18/2021	PLANNING AND DRAWING	
2	09/23/2020	OWNER SD PROLOG	

Issue Date:  
**MEDINA COUNTY  
COURTHOUSE**  
Renovation  
93 Public Square  
Medina Ohio 44256

**SOUTH AND WEST  
EXTERIOR ELEVATIONS**

Project No.

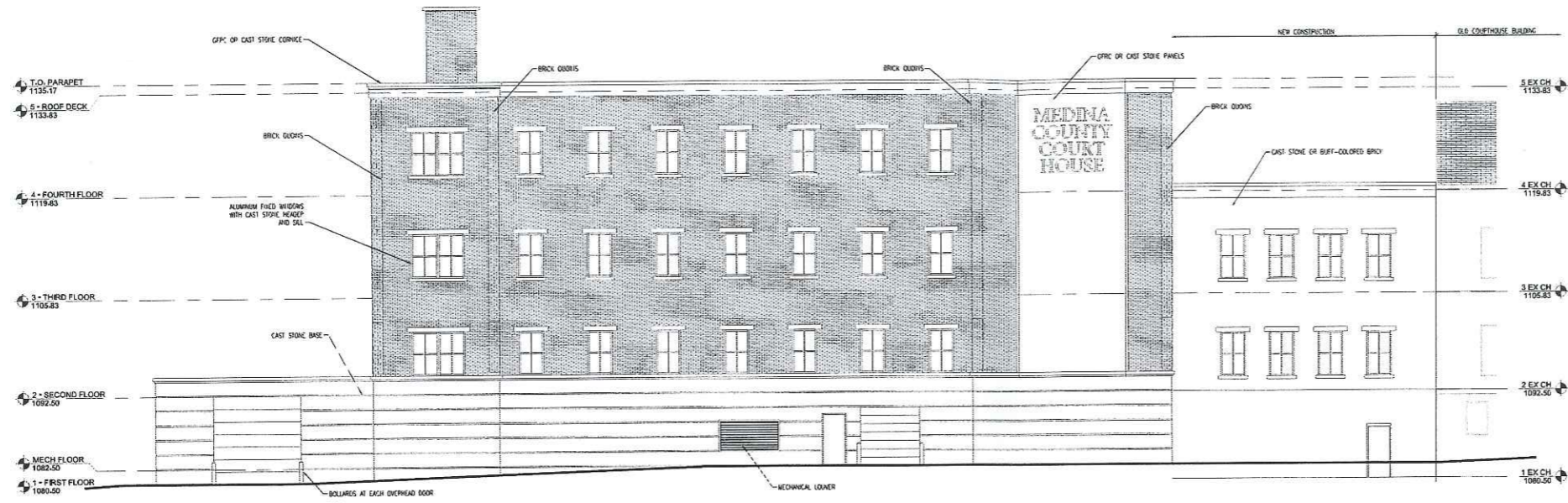
19068

**A-202**

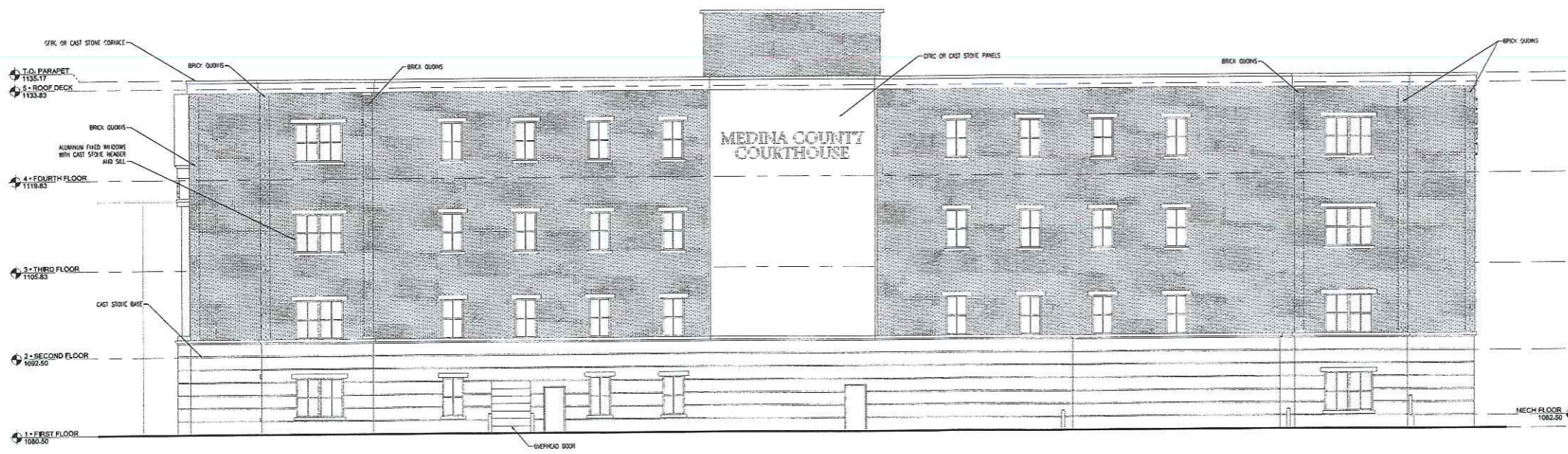


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2-17-21 PROGRESS SET



1 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

Revisions:	NUMBER	DATE	DESCRIPTION
2	02/18/2021	PLANNING AND TONING	
1	07/23/2020	GLASS SD Packings	

Issue Date:

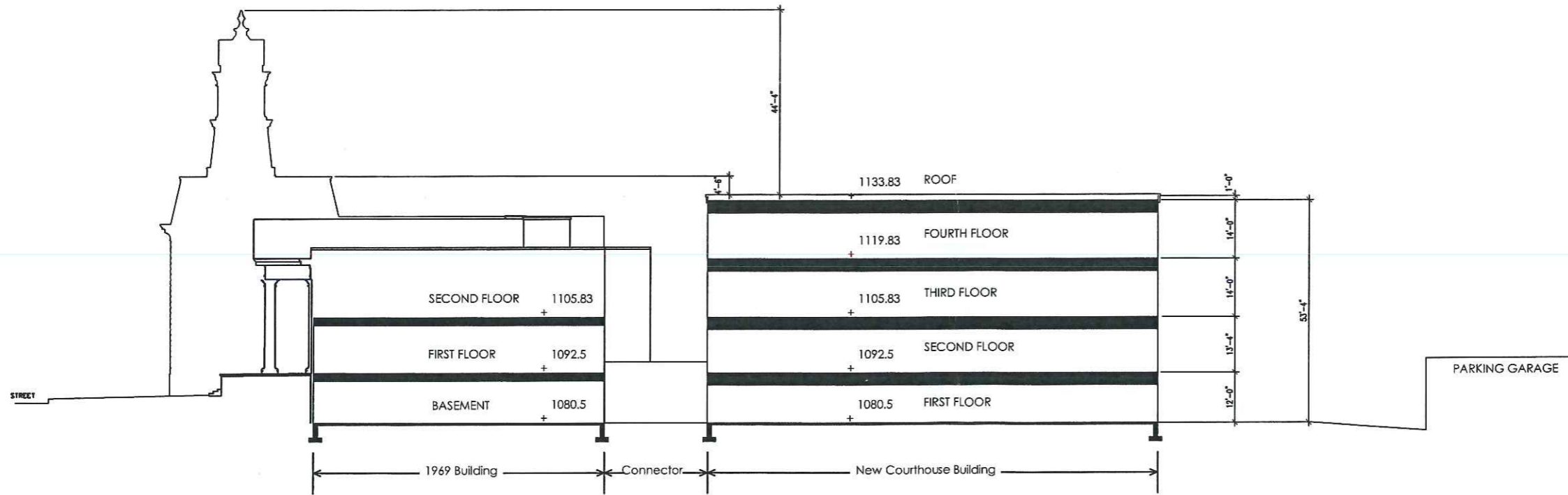
**MEDINA COUNTY  
COURTHOUSE**  
Renovation  
93 Public Square  
Medina Ohio 44256

NORTH AND EAST  
EXTERIOR ELEVATIONS

Project No. 19068

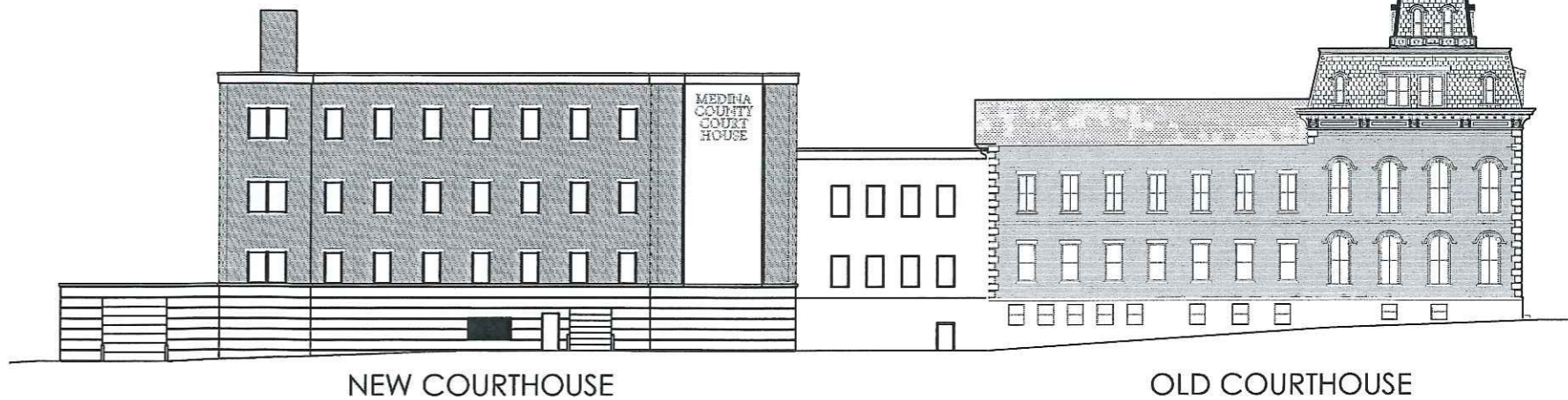
A-201



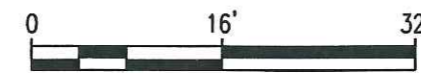


**CONTEXT BUILDING SECTION**





**NORTH CONTEXT ELEVATION**



**MEDINA COUNTY COURTHOUSE**  
02-18-2021





Old Courthouse  
99 Public Square



1969 Courthouse  
93 Public Square



72 Public Square



Old Courthouse  
North Side - E. Liberty Street



72 Public Square  
South Side - E. Washington Street





Courthouse Block - East Side



Parking Garage - West Side





VIEW LOOKING NORTH  
FROM E. WASHINGTON STREET

**MEDINA COUNTY COURTHOUSE**  
**02-18-2021**

RECEIVED  
FEB 19 2021





VIEW LOOKING SOUTHWEST  
FROM E. LIBERTY STREET

**MEDINA COUNTY COURTHOUSE**  
**02-18-2021**





VIEW LOOKING SOUTHEAST  
FROM E. LIBERTY STREET





OVERHEAD VIEW LOOKING NORTHEAST





View of site from E. Liberty Street





View of site from E. Washington Street





VIEW LOOKING EAST  
FROM PUBLIC SQUARE

**MEDINA COUNTY COURTHOUSE**  
**02-19-2021**