

MEETING DATE: 03/11/21

PLANNING COMMISSION

**Case No. P21-07
790 N. Court St.**



CITY of MEDINA
Planning Commission
March 11, 2021 Meeting


Case No: P21-07

Address: 790 N. Court Street

Applicant: Jiffy Lube International Corporation

Subject: Site Plan Review – New 3,900 sqft Motor Vehicle Service use, building & site

Zoning: C-3, General Commercial

Submitted by: Jonathan Mendel, Community Development Director 

Site Location:

The property is located on the southeast corner of North Court Street and Harding Street. The property is adjacent to C-3 zoning on the north, south and west sides. It is adjacent to R-3 zoning on the east and southeast sides.

Project Introduction:

The applicant proposes demolishing the existing commercial building and residential buildings to redevelop the site for a new 3,900 sqft single tenant motor vehicle service building and associated site improvements. The building façade will be a combination of masonry and EIFS detailing and the site will be developed away from the residential to the east/southeast.

Additionally, the applicant proposes an Electronic Message Center as part of their proposed ground sign. EMCs require Conditional Sign Approval by the Planning Commission. The proposed ground sign is 8.2 feet tall and 48 sqft, which exceeds the maximum allowed 6 feet tall and 40 sqft for the subject property. The applicant has requested a variance for their proposed ground sign that will be reviewed by the Board of Zoning Appeals at the March 11, 2021 meeting.

Please find attached to this report:

1. Applicant's narrative and development plans received February 19, 2021
2. Aerial photograph

District Regulations – Section 1137:

A Motor Vehicle Service is a permitted use in C-3 district.

Site Plan and Improvement Plan Review:

Design Review Guidelines – Section 1109.04(c):

In reviewing the proposed retail building in relation to the applicable site plan design guidelines, the proposed building is consistent with the applicable guidelines and should appear harmonious to the surrounding built environment.

Parking and Circulation. The zoning code requires two spaces for each service bay. The project requires 8 parking spaces and the applicant proposes 13 spaces, which is a 5 space surplus.

Lighting: Planning and Zoning Code section 1145.09(C) requires exterior lighting for parking areas. The applicant submitted a compliant site lighting plan.

Landscaping: The buffering and screening requirements of Chapter 1149 for commercial development adjacent to residential districts applies. The proposed plan complies with the setback and vertical landscaping buffer requirements to the adjacent R-3 zoned properties to the east and southeast.

City Department Comments:

Police Department. No comment at this time.

Water/Backflow. No comment at this time.

Fire Department. No comment at this time.

Engineering Department. No comment at this time.

Economic Development. No comment at this time.

City Forester. No comment at this time.

Electronic Message Center Signs:

Section 1147.07(J) of the Planning and Zoning Code outlines several specific requirements for such signs which are copy change frequency, color and illumination:

(1) *Frequency. Copy change shall not be more frequently than once per thirty (30) seconds.*

(2) *Color. Copy can be single or full color.*

(3) *Illumination. The intensity of the lights used in the message center shall not constitute a visual hazard for vehicular or pedestrian traffic. The sign shall be equipped with and shall use photosensitive equipment which automatically adjusts the brightness and contrast of the sign in direct relation to the ambient outdoor illumination. The Planning Director shall utilize reasonable judgment in determining whether the lighting constitutes a visual hazard.*

Sign Area and Height:

Signs must conform to the sign regulations outlined in Chapter 1147. Section 1147.14(d) allows one permanent ground sign not exceeding 40 square feet in area and 6 feet tall. The proposed ground sign does not comply with these requirements and a variance will be reviewed by the Board of Zoning Appeals, but regardless of the decision on the variance the proposed EMC portion shouldn't be impacted substantively.

Conditional Sign Permit Review Guidelines:

- The Conditional Sign Permit Review guidelines state that the proposed sign must be compatible with the design and materials of the building on which the sign is to be placed.
- The guidelines state that the proposed sign must be harmonious and in accordance with the general character of the district.
- The guidelines also state that the proposed sign should not be detrimental to adjacent property or property in the immediate vicinity.

Staff Comments:

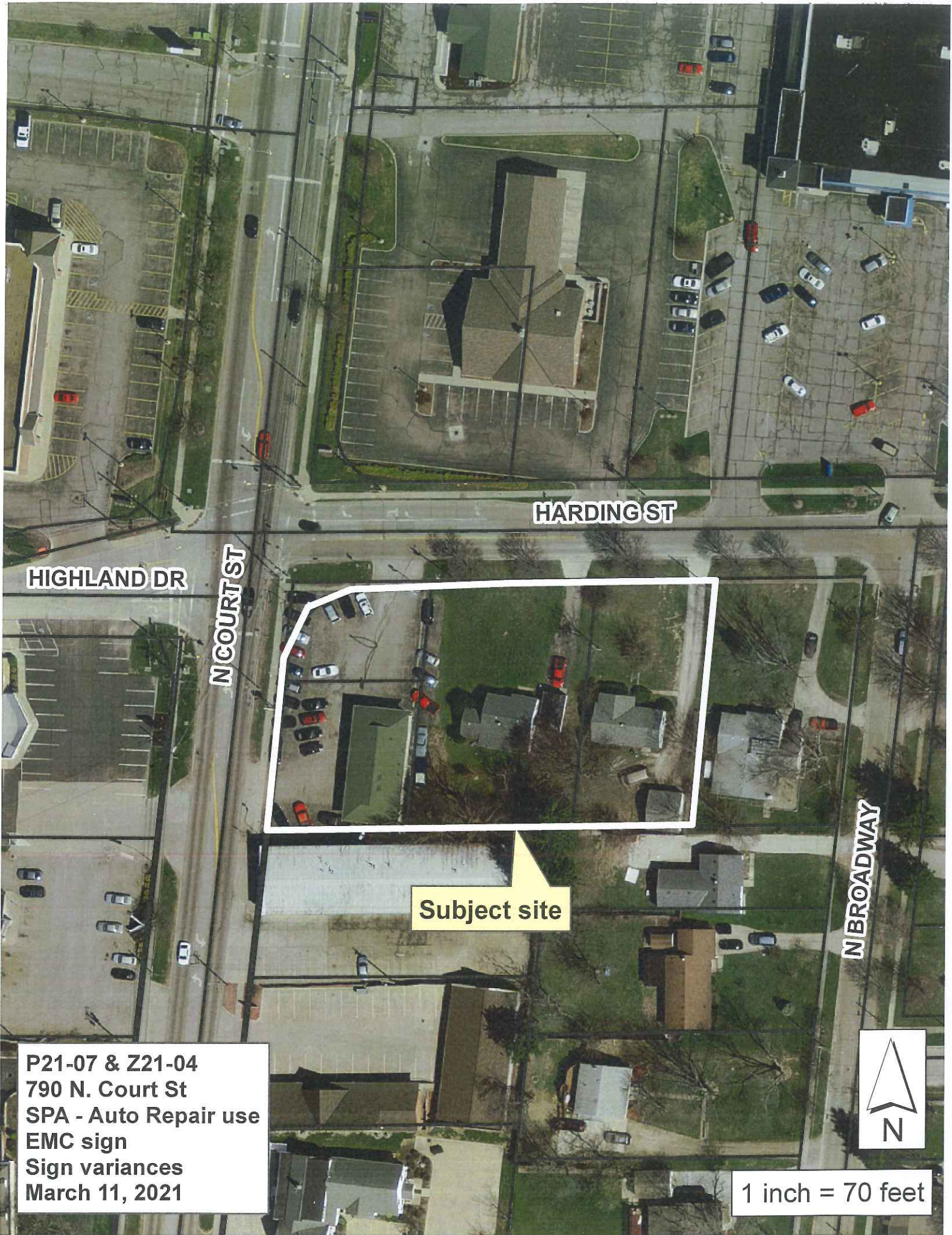
Upon completion, the proposed retail building will continue the positive reinvestment occurring recently in this City corridor and will be harmonious with the retail environment on N. Court Street.

The EMC portion of the proposed ground sign is consistent with the conditional sign guidelines as proposed, whether or not the applicant's proposed ground sign is approved by the Board of Zoning Appeals.

Recommendation:

Staff recommends the Planning Commission **approve** the Site Plan for the proposed Motor Vehicle Service use, building & site and Conditional Sign Approval for the Electronic Message Center portion of the site's ground sign with the following conditions.

1. Subject to review and approval of building permits by the City of Medina Building Department.
2. Subject to review and approval of site development plan by the City of Medina Engineering Department.



HARDING ST

HIGHLAND DR

N COURT ST

N BROADWAY

Subject site

P21-07 & Z21-04
790 N. Court St
SPA - Auto Repair use
EMC sign
Sign variances
March 11, 2021



1 inch = 70 feet

Jiffy Lube International, Inc.

City of Medina
Planning Department
132 North Elm Street
Medina, OH 44256

PROJECT SUMMARY:

Jiffy Lube International, Inc. ("Jiffy Lube") intends to develop a new Jiffy Lube Multi-Care facility located at the intersection of N Court Street and Harding Street, in the City of Medina, OH. The proposed development includes consolidating three existing commercial lots, demolishing the existing commercial and residential buildings, and constructing a 3,064 SF. Jiffy Lube Multi-Care facility. The proposed parcel is in the C3 – General Commercial District, which requires Site Plan and Variance approval for the proposed automotive use and signage.

Vehicular ingress and egress will be provided along both N Court Street and Harding Street, while two-way internal drive aisles will guide customer traffic around three sides of the proposed Jiffy Lube facility. Customers and staff will use one of the nine proposed parking spaces, as needed, during service hours only. Additional parking / stacking will be accommodated behind each of the four service bay stalls. Landscape screening will be provided around the perimeter of the proposed lot to shield from daily business operations. The proposed Jiffy Lube building will be accentuated by stone masonry and brick veneer finishes, in addition to stucco cornices and brick soldier courses.

BUSINESS OPERATIONS:

The proposed Jiffy Lube will be operated by a preferred Jiffy Lube franchisee who runs facilities nationwide and knows how to maintain these sites and buildings. Additional operational details are noted below.

- **ACTIVITIES & SERVICES:**
 - Typical Services:
 - Oil Changes
 - Vehicle Inspections
 - Filters (air, cabin, etc.)
 - Fluids
 - Battery replacement
 - Brakes
 - Exterior Glass
 - Suspension
 - Focus is on oil change, inspections, in-and-out minor auto service.
 - Typical services last around 30-120 minutes.
 - No outdoor storage.
- **HOURS OF OPERATION:**
 - Jiffy Lube locations operate between the hours of 7AM to 8PM daily.
 - Peak hours are typically Saturday afternoons.
- **EMPLOYEES:**
 - There are 4 to 6 employees per shift, one being the location Manager.

RECEIVED
FEB 19 2021

- **SOUND:**

- Biggest noise generator is the compressor which is stored in the basement to minimize the effects.
- Impact wrenches generate noise but are not continuous.
- The work can be conducted with the rear doors shut if there is a problem.
- Our separation distance from the neighbors east and west, as well as the proposed landscaping will lessen the noise impact from this operation.

- **LIGHTING:**

- Building and yard lights provided are intended to be the minimum necessary for safety and access on the site. The hours of operation and restricted overnight parking allow for this.
- The lighting as proposed meets the City ordinance.

Sincerely,

John Sinnette

614-519-3921

john.sinnette@sevansolutions.com

FEB 19 2021



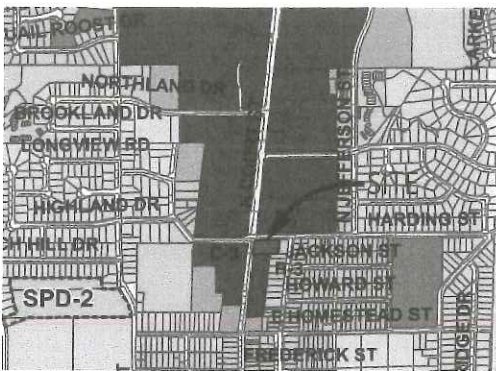
JIFFY LUBE - MEDINA
MULTICARE SERVICES
SITE PLAN

790 NORTH COURT STREET
MEDINA, OH 44212

MEDINA COUNTY



LOCATION MAP
SCALE: NTS



SITE AERIAL/ZONING MAP
SCALE: NTS

PROJECT DESCRIPTION
CONSTRUCTION OF A RETAIL AUTOMOTIVE QUICK OIL CHANGE FACILITY ON AN EXISTING PARCEL...

BUILDING CODE REVIEW
ACCESSIBILITY CODE: ANSI/ICC A117.1 - 2009
BUILDING CODE: 2017 OHIO BUILDING CODE

BULK REGULATIONS
ITEM: LOT REQUIREMENTS, BUILDING REQUIREMENTS, SETBACK REQUIREMENTS

SIGNS: MONUMENT SIGN: ALLOWED: YES
AREA: 48 S.F., HEIGHT: 6'-0", SETBACK: 5.0' FROM PROPERTY LINE

VARIANCE REQUEST
1. RELIEF FROM SECTION 1147.14(D) FOR NUMBER OF WALL SIGNS...
2. RELIEF FROM SECTION 1147.14(D) FOR AREA OF WALL SIGNS...

PROJECT DIRECTORY
OWNER/DEVELOPER: JIFFY LUBE INTERNATIONAL - SHELL LUBRICANTS...
PROJECT MANAGER: SEVAN MULTI-SITE SOLUTIONS...
SURVEYOR: DLZ INDUSTRIAL SURVEYING, INC.

SHEET INDEX
GENERAL: COVER SHEET, GENERAL NOTES
SURVEY: ALTA/NSPS LAND TITLE SURVEY
CIVIL: DEMOLITION SITE PLAN, SOIL EROSION AND SEDIMENTATION CONTROL PLAN

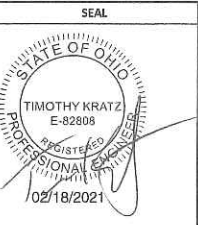
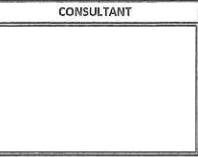


Regional Office: 37704 Hills Tech Drive
Farmington Hills, MI 48331

Corporate Office: 3025 Highland Parkway, Suite 850
Downers Grove, IL 60515

REVISIONS

REVISIONS table with columns: NO., DATE, DESCRIPTION



PROJECT DESCRIPTION: JIFFY LUBE MULTI-CARE SERVICES

PROJECT LOCATION: 790 NORTH COURT STREET
MEDINA, OH 44212

SHEET TITLE: COVER SHEET

SHEET MANAGEMENT: PROJECT NO.: MEDINA, OH
DATE:
CRITERIA: V2020.10-134
PROJECT MANAGER: M. PISKO

SHEET NUMBER: G0.01

REC'D FEB 19 2021

P21-07

FILE NAME: \\Share\clients\jiffy_lube\Projects\3136_Medina_Chi\02_Contract\G0.01.dwg LAST SAVED BY: kmz, Tim LAST SAVED DT: 2/17/2021 2:59 PM PLOT DT: 2/18/2021 12:47 AM



GENERAL NOTES:

- 1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KNOW ALL OBSERVABLE CONDITIONS AND TO CONFORM TO ALL APPLICABLE CODES. THE GENERAL CONTRACTOR SHALL INFORM THE OWNER'S REPRESENTATIVE OF ANY NECESSARY OR APPROPRIATE QUESTIONS OR CLARIFICATIONS. THE GENERAL CONTRACTOR SHALL INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND STANDARDS, INCLUDING FEDERAL ADR REQUIREMENTS.
2. THE DRAWINGS AND PROJECT MANUAL (INCLUDING ASSOCIATED STUDIES, DRAWINGS, SHOP DRAWINGS AND SIMILAR INSTRUMENTS AS APPLICABLE) CONSTITUTE THE GUIDELINES FOR THE PROJECT AND SHALL BE USED IN CONJUNCTION WITH THE AFORESAID ENTIRE BODY OF PROJECT INFORMATION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE COMPLETE INFORMATION TO ALL JURISDICTIONAL AUTHORITIES, SUBCONTRACTORS, ALLIED CONSULTANTS, HIRES, AND ASSIGNS.
3. ALL CONSTRUCTION SHALL COMPLY WITH THE DRAWINGS, PROJECT MANUAL, CODES AND STANDARDS OF THE JURISDICTIONAL AUTHORITY OR AUTHORITIES. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS. IN CASE OF DISCREPANCIES, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
4. THE GENERAL CONTRACTOR PERFORMING THE WORK SHALL MAINTAIN A GENERAL "A" LICENSE WITH HAZ MAT CERTIFICATION FROM THE CONTRACTOR'S STATE LICENSE BOARD AND/OR OTHER JURISDICTIONAL AUTHORITY.
5. THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES FOUND DURING THE INVESTIGATION OF EXISTING UTILITIES AND TOPOGRAPHY AND/OR DURING THE CONSTRUCTION PHASE.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES AND LICENSE FEES. THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL REQUIRED WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE ALL TRAFFIC CONTROL NECESSARY FOR THIS WORK.
7. WORK SHALL CONFORM TO THE REQUIREMENTS OF THE GOVERNING AGENCY OR AGENCIES HAVING JURISDICTION. GRADING, PAVING, AND MATERIALS SHALL COMPLY WITH THE JURISDICTIONAL ROADWAY AUTHORITY OR AUTHORITIES (E.G., DEPARTMENT OF TRANSPORTATION) STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, ATTAIN CLARIFICATION FROM THE OWNER'S REPRESENTATIVE.
8. THE GENERAL CONTRACTOR SHALL ENSURE ALL SITE INSPECTIONS REQUIRED BY CITY AND/OR STATE AGENCIES, AND/OR OTHER JURISDICTIONAL AUTHORITY ARE TO BE SCHEDULED A MINIMUM OF FIVE WORKING DAYS IN ADVANCE OF REQUESTED INSPECTION DATE.
9. THE GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER'S REPRESENTATIVE IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE DRAWINGS, PROJECT MANUAL AND/OR FIELD CONDITIONS SO THAT APPROPRIATE ADJUSTMENTS AND/OR REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICTS BETWEEN THE DRAWINGS AND PROJECT MANUAL SHALL BE IDENTIFIED BY THE GENERAL CONTRACTOR AND CONFIRMED WITH THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING.
10. MATERIAL TESTING SHALL BE SUPPLIED BY THE OWNER'S REPRESENTATIVE. THE GENERAL CONTRACTOR SHALL COORDINATE WITH TESTING FIRM. ALL RE-TESTING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
11. SOIL SAMPLES MAY BE REQUIRED TO BE TAKEN FOR TESTING AT THE DIRECTION OF HAZ MAT, OTHER JURISDICTIONAL AUTHORITY, OR THE OWNER'S REPRESENTATIVE.
12. THE GENERAL CONTRACTOR SHALL MAINTAIN A CLEAN WORK AREA. TRASH AND WASTE MATERIALS SHALL BE COLLECTED AT A SAFE POINT, AWAY FROM FLAMES OR OTHER FIRE SOURCES. THE GENERAL CONTRACTOR SHALL PREVENT ANY LEAKS OR DRIPS OF HYDRAULIC FLUID, MOTOR OIL, MOTOR FUELS, SOLVENTS, AND OTHER HYDROCARBONS FROM CONTAMINATING THE GROUND. SUCH SPILLS SHALL BE IMMEDIATELY COVERED WITH AN OIL ABSORBING MEDIUM (E.G. "OIL DRY") AND REMOVED FROM THE SITE IN A LEGAL AND ENVIRONMENTALLY SOUND MANNER. TRASH SHALL BE PROPERLY DISPOSED OF DAILY, UNLESS A COVERED DUMPSTER IS PROVIDED AND ITS LOCATION APPROVED BY THE OWNER'S REPRESENTATIVE.
13. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS AND ORGANIC MATERIAL IN A LAWFUL MANNER.
14. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS, OTHER OPENINGS, AND HAZARDOUS AREAS TO KEEP OUT UNAUTHORIZED PERSONS, FOR PUBLIC SAFETY, AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES, SUCH AS JERSEY BARRIERS, LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND FOR DEWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND TO PERFORM REQUIRED COMPACTION OPERATIONS. DEWATERING SHALL NOT DISCHARGE TO ANY SANITARY SEWER SYSTEM OR BE PUMPED ONTO ANY PUBLIC ROADWAY.
16. PROMPTLY REMOVE ALL DEMOLITIONS, PROJECT DISCARDS, RUBBISH, AND DEBRIS FROM THE LIMITS OF THE OWNER'S PROPERTY AND/OR EFFECTIVE PROJECT LIMITS, AND DISPOSE IN A LEGAL MANNER.
17. ALL EQUIPMENT TO BE INSTALLED SHALL BE UL APPROVED.
18. THE GENERAL CONTRACTOR SHALL PROVIDE A TRAFFIC SEQUENCING AND SCHEDULING PLAN AT THE ON-SITE PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVES AND APPLICABLE LANDLORD'S REPRESENTATIVE(S).
19. THE GENERAL CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF AFFECTED OWNER(S), JURISDICTIONAL AUTHORITY, AND/OR AUTHORITIES, AS APPLICABLE.
20. ALL CONSTRUCTION SHALL BE CONDUCTED TO CAUSE MINIMAL INTERFERENCE WITH STREETS, DRIVES OR WALKS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF TRAFFIC AND SHALL NOT CAUSE THE CLOSURE OR OBSTRUCTION OF STREETS, DRIVES, WALKS OR USER FACILITIES WITHOUT PERMISSION FROM THE OWNER'S REPRESENTATIVE.
21. THE GENERAL CONTRACTOR SHALL PHASE CONSTRUCTION IN SUCH A WAY AS TO MAINTAIN AN ACCESS ROUTE FROM AN ENTRANCE DRIVE TO TRUCK DOCKS AND/OR LOADING AREA(S) AT ALL TIMES.
22. CONTRACTOR SHALL KEEP EXISTING STREETS, ROADS AND DRIVES CLEAR OF DIRT, DEBRIS AND EQUIPMENT.
23. THE GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE FOR PARKING AND STORAGE OF EQUIPMENT. THIS AREA, AS WELL AS THE JOB SITE, SHALL BE ENCLOSED IN CHAIN LINK FENCING. A TRAFFIC LANE SHALL BE DESIGNATED FOR INGRESS AND EGRESS FROM THE WORK AREA. IF REQUIRED, FLAG MEN SHALL BE PROVIDED TO PROVIDE FOR SAFE AND EFFICIENT MOVEMENT OF VEHICLES. NO CHANGES TO THE WORK AREA OR TO THE AGREED TRAFFIC PATTERN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE; THE OWNER'S REPRESENTATIVE WILL SECURE APPROVAL FOR SUCH CHANGES, IF APPLICABLE.
24. NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED WITHIN THE ROAD RIGHT-OF-WAY.
25. FOR THE DURATION OF CONSTRUCTION OPERATIONS, EMPLOYEES WILL PARK IN A LOCATION DESIGNATED BY THE OWNER'S REPRESENTATIVE.
26. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS AND TO THE SATISFACTION OF AFFECTED OWNER(S), JURISDICTIONAL AUTHORITY, AND/OR AUTHORITIES, AS APPLICABLE.
27. PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS, UNLESS HEREON EXPRESSLY INDICATED OTHERWISE.
28. WRITTEN DIMENSIONS SHALL PREVAIL. NO DIMENSION MAY BE SCALED. REFER ANY UNCLEAR ITEMS TO THE OWNER'S REPRESENTATIVE FOR INTERPRETATION.
29. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED DIMENSIONS FOR BUILDINGS, WALLS, CONCRETE SLABS, UTILITY SERVICE POINT CONNECTIONS, ETC., AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.

DEMOLITION NOTES:

- 1. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY SITE DEMOLITION, EXCAVATION OR GRADING.
2. PERFORM CLEARING, STRUCTURE REMOVAL, PAVEMENT REMOVAL AND APPLICABLE STOCKPILING IN ACCORDANCE WITH THE PROJECT DRAWINGS AND PROJECT MANUAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE LAWFUL REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, ORGANIC MATERIAL, ETC. SEE GENERAL NOTES #13.
3. NO ATTEMPT IS MADE TO STIPULATE EACH ITEM TO BE REMOVED AND/OR DEMOLISHED, EITHER ON THE DRAWINGS OR IN THE PROJECT MANUAL. THE CONTRACTOR MUST VISIT THE SITE TO ASSESS EXISTING PHYSICAL CONDITIONS, AS WELL AS REVIEW THE DRAWINGS, AND ULTIMATELY DETERMINE WORK NECESSARY TO ACCOMPLISH INTENDED RESULTS DESCRIBED BY THE PROJECT DRAWINGS AND PROJECT MANUAL.
4. COMPLETELY RESTORE ALL DISTURBED AREAS TO CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION AND TO THE SATISFACTION OF AFFECTED OWNER(S) AND/OR GOVERNING AUTHORITY. ALL COSTS FOR CLEAN-UP, RESTORATION WORK AND OTHER RESTORATION OPERATIONS SUCH AS, BUT NOT LIMITED TO, CONSTRUCTION SIGNAGE, STREET SWEEPING AND MAINTAINING EXISTING UTILITIES SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY. RESTORATION WORK SHALL BE PERFORMED WITHIN FIVE (5) WORKING DAYS AFTER COMPLETION OF FINAL GRADING.
5. WHERE EXISTING PAVEMENT IS TO BE PARTIALLY REMOVED, SAWCUT PAVEMENT TO FULL DEPTH TO PROVIDE A SMOOTH JOINT WITH PROPOSED PAVEMENT.
6. ALL DEMOLITION WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITY.
7. IF APPROPRIATE, RETAIN SOIL SPOILS FROM CONSTRUCTION EXCAVATION AND STORE AT DESIGNATED LOCATION FOR RE-USE, IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, PROJECT DRAWINGS, AND OWNER'S REPRESENTATIVE APPROVAL(S).
8. THE CONTRACTOR SHALL MAINTAIN, AT THE JOB SITE, A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND MAKE THEM AVAILABLE TO THE OWNER'S REPRESENTATIVE, SUBCONTRACTORS, AND/OR ALLIED CONSULTANTS THROUGHOUT THE CONSTRUCTION PROCESS.
9. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE TIMELY COMPLETION OF ALL PHASES OF CONSTRUCTION. CONSTRUCTION PROJECT TO BE COMPLETED IN ACCORDANCE WITH ALL DRAWINGS AND PROJECT MANUAL, AND TURNED OVER TO THE OWNER'S REPRESENTATIVE IN FULLY OPERATIONAL CONDITION.
10. UPON COMPLETION OF THE WORK, THERE SHALL BE A FINAL INSPECTION OF THE PROJECT BY THE OWNER'S REPRESENTATIVE. ALL EQUIPMENT SHALL BE TESTED UNDER NORMAL OPERATING CONDITIONS. THE GENERAL CONTRACTOR SHALL HAVE AN ELECTRICIAN AVAILABLE DURING THE OPENING TO IMPLEMENT ANY APPROPRIATE OR REQUIRED ADJUSTMENTS TO THE EQUIPMENT.
11. AFTER ALL WORK HAS BEEN COMPLETED AND THE PROJECT HAS BEEN TESTED AND ACCEPTED, THE GENERAL CONTRACTOR SHALL SWEEP THE ENTIRE WORK AREA CLEAN AND REMOVE ALL DIRT, MUD, TRASH, WASTE MATERIAL, CONSTRUCTION EQUIPMENT, AND VEHICLES. DAMAGED PARKING STRIPES OR STAINED PAVEMENT SHALL BE REFINISHED TO ITS ORIGINAL CONDITION BY THE GENERAL CONTRACTOR.
12. SPECIAL CARE SHALL BE TAKEN DURING ALL TRENCING OPERATIONS. SHEETING AND BRACING, CRIBBING, ETC. MUST BE INSTALLED AS NECESSARY OR APPROPRIATE TO PROVIDE MAXIMUM SAFETY TO THE GENERAL CONTRACTOR'S WORKERS, AND SHALL BE IN FULL COMPLIANCE WITH OSHA REGULATIONS.
13. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AS NEEDED TO INSTALL NEW CONCRETE CURBING, WALKS, UNDERGROUND UTILITIES AND/OR NEW BUILDING(S) OR STRUCTURE(S). SAWCUTS SHALL BE MADE A MINIMUM OF 1" BEYOND THE ACTUAL NEW CURB OR WALK LIMITS.
14. REMOVE AND REPLACE EXISTING PAVEMENT AS NEEDED TO MATCH EXISTING AND PROPOSED GRADES.
15. PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK, THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS.
16. ALL PAVEMENTS, ASSOCIATED AGGREGATE MATERIALS AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH THE STATE DOT OR OTHER JURISDICTIONAL AUTHORITY SPECIFICATIONS AND STANDARD DETAILS UNLESS OTHERWISE EXPRESSLY SPECIFIED IN THE DRAWINGS AND PROJECT MANUAL.
17. PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS AND RAILINGS AS NECESSARY.
18. WHENEVER REQUIRED OR APPROPRIATE, THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS TO THE OWNER'S REPRESENTATIVE, ENGINEER AND JURISDICTIONAL AUTHORITY OR AUTHORITIES, AND SHALL ACQUIRE SHOP DRAWING APPROVAL PRIOR TO FABRICATION AND/OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW AND APPROVAL.
19. THE GENERAL CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING(S), ROOF DRAINS, RAISED CONCRETE SIDEWALKS, RAMPS, STAIRWAYS, ETC.
20. TRAFFIC CONTROL SIGNS SHALL CONFORM TO THE STATE DOT AND/OR OTHER JURISDICTIONAL AUTHORITY STANDARDS, AND TO THE MOST CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
21. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY, FIRE DEPARTMENT AND OTHER JURISDICTIONAL AUTHORITY REQUIREMENTS.
22. IF APPLICABLE, THE GENERAL CONTRACTOR SHALL REMOVE ON-SITE CONFLICTING PAVEMENT MARKINGS IN A METHOD APPROVED BY THE OWNER'S REPRESENTATIVE, STATE DOT AND OTHER JURISDICTIONAL AUTHORITY. THE GENERAL CONTRACTOR SHALL EXERCISE CARE TO AVOID INSTALLATION OF CONFLICTING SIGNS AND MARKINGS.
23. AGGREGATE AND BITUMINOUS PAVEMENT MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH STATE DOT AND/OR OTHER JURISDICTIONAL AUTHORITY STANDARDS. THE GENERAL CONTRACTOR SHALL SUBMIT AGGREGATE SIEVE ANALYSES AND JOB-MIX FORMULAS FOR AGGREGATE AND BITUMINOUS PAVEMENT TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO PAVEMENT INSTALLATION.
24. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED IN THE DRAWINGS AND PROJECT MANUAL MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE AND OTHER AFFECTED JURISDICTIONAL AUTHORITY PRIOR TO INSTALLATION.
25. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PLANS, SHOP DRAWINGS, LAYOUTS AND SURVEY INFORMATION, AND FOR EXECUTING ALL SURVEY FIELD WORK REQUIRED, TO PERFORM CONSTRUCTION IN ACCORDANCE WITH THE DRAWINGS AND PROJECT MANUAL.
26. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THOSE INDICATED IN THE DRAWINGS AND PROJECT MANUAL, PROVIDED THAT ANY ALTERNATE STANDARD COMPLIES WITH ALL JURISDICTIONAL AUTHORITY REQUIREMENTS, AND THAT THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.

BID NOTES:

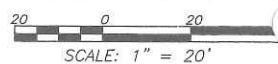
- 1. THE GENERAL CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL QUANTITIES.
3. THE GENERAL CONTRACTOR SHALL REFER TO GEOTECHNICAL ENGINEERING REPORT, DATED 06.15.2020 PREPARED BY PEA, PROJECT NUMBER 2020-0188.
4. COMPLETELY RESTORE ALL DISTURBED AREAS TO CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION AND TO THE SATISFACTION OF AFFECTED OWNER(S) AND/OR GOVERNING AUTHORITY. ALL COSTS FOR CLEAN-UP, RESTORATION WORK AND OTHER RESTORATION OPERATIONS SUCH AS, BUT NOT LIMITED TO, CONSTRUCTION SIGNAGE, STREET SWEEPING AND MAINTAINING EXISTING UTILITIES SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY. RESTORATION WORK SHALL BE PERFORMED WITHIN FIVE (5) WORKING DAYS AFTER COMPLETION OF FINAL GRADING.
5. WHERE EXISTING PAVEMENT IS TO BE PARTIALLY REMOVED, SAWCUT PAVEMENT TO FULL DEPTH TO PROVIDE A SMOOTH JOINT WITH PROPOSED PAVEMENT.
6. ALL DEMOLITION WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITY.
7. IF APPROPRIATE, RETAIN SOIL SPOILS FROM CONSTRUCTION EXCAVATION AND STORE AT DESIGNATED LOCATION FOR RE-USE, IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, PROJECT DRAWINGS, AND OWNER'S REPRESENTATIVE APPROVAL(S).
8. THE CONTRACTOR SHALL MAINTAIN, AT THE JOB SITE, A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND MAKE THEM AVAILABLE TO THE OWNER'S REPRESENTATIVE, SUBCONTRACTORS, AND/OR ALLIED CONSULTANTS THROUGHOUT THE CONSTRUCTION PROCESS.
9. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE TIMELY COMPLETION OF ALL PHASES OF CONSTRUCTION. CONSTRUCTION PROJECT TO BE COMPLETED IN ACCORDANCE WITH ALL DRAWINGS AND PROJECT MANUAL, AND TURNED OVER TO THE OWNER'S REPRESENTATIVE IN FULLY OPERATIONAL CONDITION.
10. UPON COMPLETION OF THE WORK, THERE SHALL BE A FINAL INSPECTION OF THE PROJECT BY THE OWNER'S REPRESENTATIVE. ALL EQUIPMENT SHALL BE TESTED UNDER NORMAL OPERATING CONDITIONS. THE GENERAL CONTRACTOR SHALL HAVE AN ELECTRICIAN AVAILABLE DURING THE OPENING TO IMPLEMENT ANY APPROPRIATE OR REQUIRED ADJUSTMENTS TO THE EQUIPMENT.
11. AFTER ALL WORK HAS BEEN COMPLETED AND THE PROJECT HAS BEEN TESTED AND ACCEPTED, THE GENERAL CONTRACTOR SHALL SWEEP THE ENTIRE WORK AREA CLEAN AND REMOVE ALL DIRT, MUD, TRASH, WASTE MATERIAL, CONSTRUCTION EQUIPMENT, AND VEHICLES. DAMAGED PARKING STRIPES OR STAINED PAVEMENT SHALL BE REFINISHED TO ITS ORIGINAL CONDITION BY THE GENERAL CONTRACTOR.
12. SPECIAL CARE SHALL BE TAKEN DURING ALL TRENCING OPERATIONS. SHEETING AND BRACING, CRIBBING, ETC. MUST BE INSTALLED AS NECESSARY OR APPROPRIATE TO PROVIDE MAXIMUM SAFETY TO THE GENERAL CONTRACTOR'S WORKERS, AND SHALL BE IN FULL COMPLIANCE WITH OSHA REGULATIONS.
13. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AS NEEDED TO INSTALL NEW CONCRETE CURBING, WALKS, UNDERGROUND UTILITIES AND/OR NEW BUILDING(S) OR STRUCTURE(S). SAWCUTS SHALL BE MADE A MINIMUM OF 1" BEYOND THE ACTUAL NEW CURB OR WALK LIMITS.
14. REMOVE AND REPLACE EXISTING PAVEMENT AS NEEDED TO MATCH EXISTING AND PROPOSED GRADES.
15. PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK, THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS.
16. ALL PAVEMENTS, ASSOCIATED AGGREGATE MATERIALS AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH THE STATE DOT OR OTHER JURISDICTIONAL AUTHORITY SPECIFICATIONS AND STANDARD DETAILS UNLESS OTHERWISE EXPRESSLY SPECIFIED IN THE DRAWINGS AND PROJECT MANUAL.
17. PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS AND RAILINGS AS NECESSARY.
18. WHENEVER REQUIRED OR APPROPRIATE, THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS TO THE OWNER'S REPRESENTATIVE, ENGINEER AND JURISDICTIONAL AUTHORITY OR AUTHORITIES, AND SHALL ACQUIRE SHOP DRAWING APPROVAL PRIOR TO FABRICATION AND/OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW AND APPROVAL.
19. THE GENERAL CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING(S), ROOF DRAINS, RAISED CONCRETE SIDEWALKS, RAMPS, STAIRWAYS, ETC.
20. TRAFFIC CONTROL SIGNS SHALL CONFORM TO THE STATE DOT AND/OR OTHER JURISDICTIONAL AUTHORITY STANDARDS, AND TO THE MOST CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
21. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY, FIRE DEPARTMENT AND OTHER JURISDICTIONAL AUTHORITY REQUIREMENTS.
22. IF APPLICABLE, THE GENERAL CONTRACTOR SHALL REMOVE ON-SITE CONFLICTING PAVEMENT MARKINGS IN A METHOD APPROVED BY THE OWNER'S REPRESENTATIVE, STATE DOT AND OTHER JURISDICTIONAL AUTHORITY. THE GENERAL CONTRACTOR SHALL EXERCISE CARE TO AVOID INSTALLATION OF CONFLICTING SIGNS AND MARKINGS.
23. AGGREGATE AND BITUMINOUS PAVEMENT MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH STATE DOT AND/OR OTHER JURISDICTIONAL AUTHORITY STANDARDS. THE GENERAL CONTRACTOR SHALL SUBMIT AGGREGATE SIEVE ANALYSES AND JOB-MIX FORMULAS FOR AGGREGATE AND BITUMINOUS PAVEMENT TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO PAVEMENT INSTALLATION.
24. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED IN THE DRAWINGS AND PROJECT MANUAL MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE AND OTHER AFFECTED JURISDICTIONAL AUTHORITY PRIOR TO INSTALLATION.
25. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PLANS, SHOP DRAWINGS, LAYOUTS AND SURVEY INFORMATION, AND FOR EXECUTING ALL SURVEY FIELD WORK REQUIRED, TO PERFORM CONSTRUCTION IN ACCORDANCE WITH THE DRAWINGS AND PROJECT MANUAL.
26. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THOSE INDICATED IN THE DRAWINGS AND PROJECT MANUAL, PROVIDED THAT ANY ALTERNATE STANDARD COMPLIES WITH ALL JURISDICTIONAL AUTHORITY REQUIREMENTS, AND THAT THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.

DISCLAIMERS:

- 1. THIS SET OF DRAWINGS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE TO BE USED IN CONJUNCTION WITH THE PROJECT MANUAL AND/OR SUPPLEMENTAL DATA TO BE PROVIDED BY THE OWNER'S REPRESENTATIVE. THEY MUST BE USED TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
2. EXISTING SITE INFORMATION HEREON IS PROVIDED BY THE OWNER, SURVEYOR, PLANS PREPARED BY OTHERS, AND/OR FIELD SURFACE EVIDENCE. ALL LOCATIONS ARE PRESUMED TO BE APPROXIMATE. SEVAN MULTI-SITE SOLUTIONS ASSUMES NO LIABILITY FOR INFORMATION REPRESENTING EXISTING CONDITIONS HEREON. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY REVIEW THESE DRAWINGS AND SUPPLEMENTAL OWNER PROVIDED DATA WITH ACTUAL SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTE ANY DISCREPANCIES IN THE DRAWINGS AND ACTUAL SITE CONDITIONS, WHETHER SHOWN ON THE PLANS OR NOT, WITH THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING AND CONSTRUCTION.
3. THE DRAWINGS AND PROJECT MANUAL ASSUME THERE ARE NO UNUSUAL SOIL CONDITIONS, UNKNOWN UNDERGROUND STRUCTURES OR IMPEDIMENTS, WIND LOADS, AND/OR SIMILAR UNFORESEEN CIRCUMSTANCES. UNUSUAL CONDITIONS DETECTED BY THE GENERAL CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S REPRESENTATIVE AND MAY REQUIRE SIGNIFICANT CHANGES TO THESE DRAWINGS.
4. THE DRAWINGS AND PROJECT MANUAL ARE AND SHALL REMAIN THE PROPERTY OF JIFFY LUBE INTERNATIONAL. REPRODUCTION OR ALTERATION WITHOUT THE EXPRESS WRITTEN PERMISSION OF JIFFY LUBE INTERNATIONAL IS PROHIBITED. (NOT PUBLISHED: ALL RIGHTS RESERVED).

sevan ENGINEERING, P.C. Regional Office: 37704 Hills Tech Drive Farmington Hills, MI 48331 734.507.4445 Telephone
Corporate Office: 3025 Highland Parkway, Suite 850 Downers Grove, IL 60515
info@sevanlubes.com www.sevanlubes.com
INTEGRITY | RESPECT | TEAMWORK | EXCELLENCE | CHAIRTY
REVISIONS
NO. DATE DESCRIPTION
0 09.09.2020 OWNER REVIEW
1 09.22.2020 PRELIMINARY REVIEW
2 02.16.2021 SITE PLAN & BZA SUBMITTAL
CONSULTANT
SEAL
TIMOTHY KRATZ E-82808 REGISTERED PROFESSIONAL ENGINEER STATE OF OHIO 02/18/2021
CUSTOMER
jiffylube
PROJECT DESCRIPTION
JIFFY LUBE MULTI-CARE SERVICES
PROJECT LOCATION
790 NORTH COURT STREET MEDINA, OH 44212 (MEDINA COUNTY)
SHEET TITLE
GENERAL NOTES
SHEET MANAGEMENT
PROJECT NO.: MEDINA, OH
DATE:
CRITERIA: V2020.10-13A
PROJECT MANAGER: M. PISKO
SHEET NUMBER
G0.02

FILE NAME: N:\Shared\Clients\Jiffy Lube\Projects\313E_Medina_Chill\Combes\G002.dwg LAST SAVED BY: kraz, Tim SAVED DATE: 2/17/2021 9:58 AM PLOTTED: 2/18/2021 12:47 AM

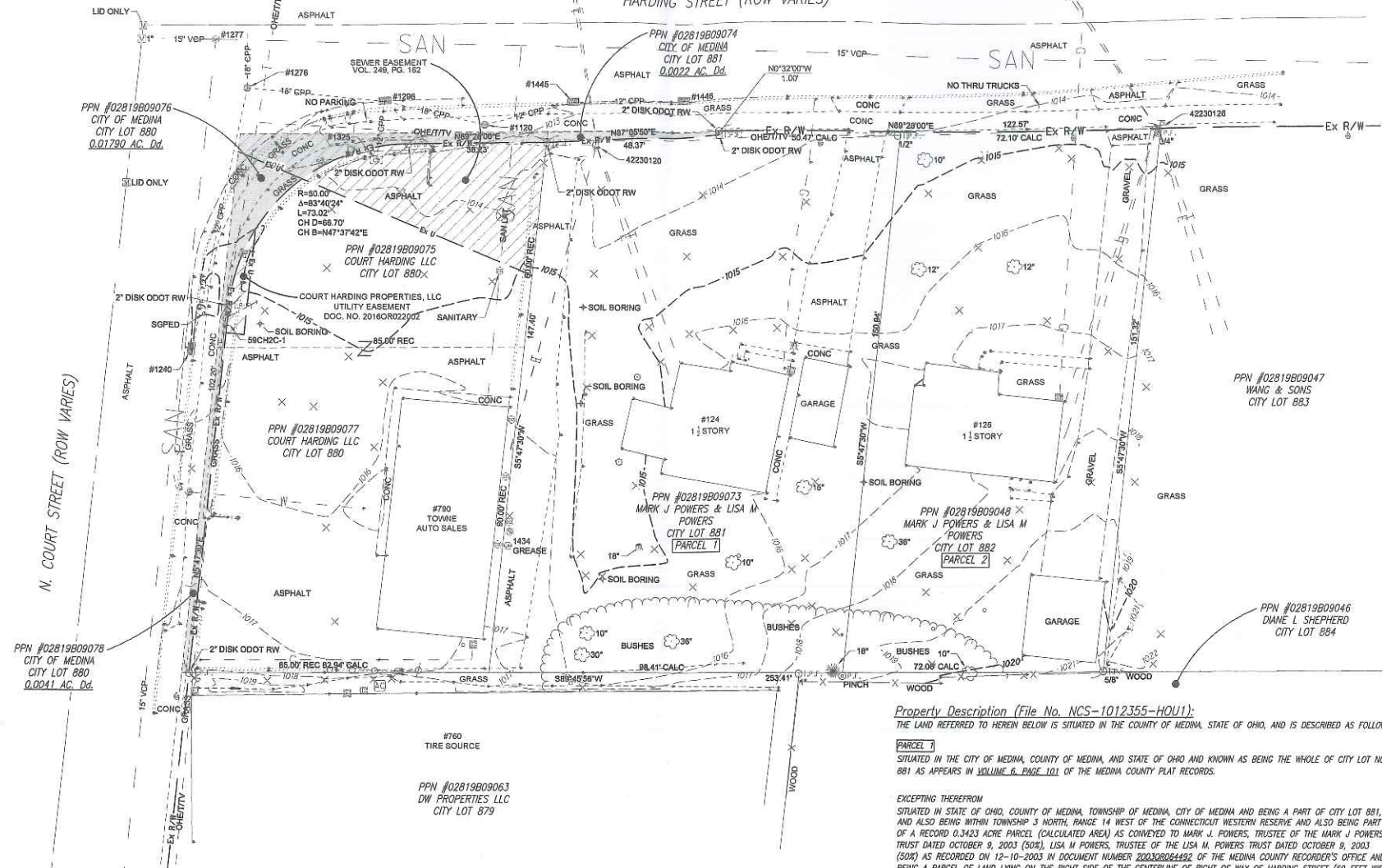


PROJECT CONTROL BASIS OF BEARINGS
 ALL HORIZONTAL COORDINATES AND BEARING AS SHOWN ARE PROJECT GROUND BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, AND REFERENCE THE NORTH AMERICAN DATUM OF 1983 AND THE 2011 ADJUSTMENT (NAD 83(2011)).
 ALL ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

ALTA/NSPS LAND TITLE SURVEY

SITUATED IN STATE OF OHIO, COUNTY OF MEDINA, CITY OF MEDINA AND BEING A PART OF CITY LOT 880, 881, AND 882 AS RECORDED IN PLAT VOLUME 6, PAGE 101 ON 10-21-1955 AND ALSO BEING WITHIN TOWNSHIP 3 NORTH, RANGE 14 WEST OF THE CONNECTICUT WESTERN RESERVE AND ALSO BEING PART OF A PARCEL CONVEYED TO COURT HARDING LLC AND MARK J. & LISA M. POWERS

HARDING STREET (ROW VARIES)



Property Description (File No. NCS-1012360-HOU1):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MEDINA, STATE OF OHIO, AND IS DESCRIBED AS FOLLOWS:
 SITUATED IN THE CITY OF MEDINA, COUNTY OF MEDINA, AND STATE OF OHIO, AND BEING THE NORTH PART OF SAID CITY LOT #880, BEGINNING AT AN IRON PIN SET AT THE NORTHWEST CORNER OF SAID CITY LOT #880,
 THENCE EASTERLY, ALONG THE SOUTH LINE OF HARDING STREET, A DISTANCE OF 85.00 FEET TO AN IRON PIN,
 THENCE SOUTHERLY A DISTANCE OF 60.00 FEET TO AN IRON PIN,
 THENCE WESTERLY, A DISTANCE OF 85.00 FEET TO AN IRON PIN SET IN THE EAST LINE OF COURT STREET;
 THENCE NORTHERLY, A DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING AND THIS BEING THE NORTH PART OF CITY LOT #880, AS SURVEYED IN AUGUST, 1959, BY ART ROEPKE, R.S. #2773

EXCEPTING THEREFROM THE LEGAL DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT AT THE GRANTOR'S NORTHEAST PROPERTY CORNER, THE NORTHEAST CORNER OF CITY LOT 880 AND THE NORTHWEST CORNER OF CITY LOT 881, SAID POINT ALSO BEING ON THE SOUTHERLY RIGHT OF WAY LINE OF HARDING STREET (80 FEET WIDE) AT STATION 21+12.65, 30.00 FEET RIGHT OF HARDING STREET CENTERLINE OF RIGHT OF WAY, SAID POINT BEING THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED;

1. THENCE, FOLLOWING THE GRANTOR'S EASTERLY PROPERTY LINE, THE EASTERLY LINE OF CITY LOT 880 AND THE WESTERLY LINE OF CITY LOT 881, SOUTH 05 DEGREES 47 MINUTES 30 SECONDS WEST A DISTANCE OF 3.02 FEET TO AN IRON PIN SET AT STATION 21+12.32, 33.00 FEET RIGHT OF HARDING STREET CENTERLINE OF RIGHT OF WAY;
2. THENCE, SOUTH 89 DEGREES 28 MINUTES 00 SECONDS WEST A DISTANCE OF 38.22 FEET TO AN IRON PIN SET AND A POINT OF CURVATURE AT STATION 20+74.08, 33.00 FEET RIGHT OF HARDING STREET CENTERLINE OF RIGHT OF WAY;
3. THENCE, ALONG THE ARC OF CURVE TO THE LEFT HAVING A RADIUS OF 50.00 FEET, AN ARC LENGTH OF 73.02 FEET, A CHORD BEARING SOUTH 47 DEGREES 37 MINUTES 45 SECONDS WEST, A CHORD LENGTH OF 66.70 FEET AND A DELTA OF 83 DEGREES 40 MINUTES 31 SECONDS TO AN IRON PIN SET AND A POINT OF TANGENCY AT STATION 93+52.51, 32.00 FEET RIGHT OF U.S. ROUTE 42 CENTERLINE OF RIGHT OF WAY;
4. THENCE, SOUTH 05 DEGREES 47 MINUTES 30 SECONDS WEST A DISTANCE OF 12.22 FEET TO AN IRON PIN SET AT STATION 93+40.29, 32.00 FEET RIGHT OF U.S. ROUTE 42 CENTERLINE OF RIGHT OF WAY, SAID IRON PIN SET BEING ON THE SOUTHERLY LINE OF THE GRANTOR'S PARCEL AND ON THE NORTHERLY LINE OF AN ADDITIONAL PARCEL CONVEYED TO COURT HARDING LLC AS RECORDED ON 11-15-2013 IN DOCUMENT NUMBER 201308030677 OF THE MEDINA COUNTY RECORDER'S OFFICE;
5. THENCE, FOLLOWING THE SOUTHERLY LINE OF THE GRANTOR'S PARCEL AND THE NORTHERLY LINE OF SAID ADDITIONAL PARCEL, SOUTH 89 DEGREES 28 MINUTES 00 SECONDS WEST A DISTANCE OF 2.01 FEET TO A POINT AT STATION 93+40.07, 30.00 FEET RIGHT OF U.S. ROUTE 42 CENTERLINE OF RIGHT OF WAY AND BEING A POINT ON THE GRANTOR'S NORTHWEST PROPERTY CORNER, THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF U.S. ROUTE 42 AND THE SOUTHERLY RIGHT OF WAY LINE OF HARDING STREET AND ALSO BEING THE NORTHWEST CORNER OF CITY LOT 880;
6. THENCE, FOLLOWING THE GRANTOR'S WESTERLY PROPERTY LINE, THE EASTERLY RIGHT OF WAY LINE OF U.S. ROUTE 42 AND THE WESTERLY LINE OF CITY LOT 880, NORTH 05 DEGREES 47 MINUTES 30 SECONDS EAST A DISTANCE OF 80.00 FEET TO A POINT AT STATION 34+00.07, 30.00 FEET RIGHT OF U.S. ROUTE 42 CENTERLINE OF RIGHT OF WAY AND AT STATION 20+27.65, 30.00 FEET RIGHT OF U.S. ROUTE 42 CENTERLINE OF RIGHT OF WAY AND BEING A POINT ON THE GRANTOR'S NORTHWEST PROPERTY CORNER, THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF U.S. ROUTE 42 AND THE SOUTHERLY RIGHT OF WAY LINE OF HARDING STREET AND ALSO BEING THE NORTHWEST CORNER OF CITY LOT 880;
7. THENCE, FOLLOWING THE GRANTOR'S NORTHERLY PROPERTY LINE, THE SOUTHERLY RIGHT OF WAY LINE OF HARDING STREET AND THE NORTHERLY LINE OF CITY LOT 880, NORTH 89 DEGREES 28 MINUTES 00 SECONDS EAST A DISTANCE OF 85.00 FEET TO THE TRUE POINT OF BEGINNING AND ENCLOSES AN AREA OF 0.0179 ACRES, MORE OR LESS OF WHICH THE PRESENT ROAD OCCUPIES 0.0000 ACRES, RESULTING IN A NET TAKE AREA 0.0179 ACRES AND IS FROM MEDINA COUNTY AUDITOR'S PARCEL NO.

THE IRON PINS SET ARE 3/4 INCH DIAMETER BY 30 INCH LONG REBAR WITH A 2 INCH DIAMETER ALUMINUM CAP MARKED "D007 R/W" AND "T. KAMINSKI S7207".
 THE BEARINGS REFERRED TO HEREIN ARE RELATIVE TO GRID NORTH OF THE OHIO STATE PLANE COORDINATES SYSTEM, NORTH ZONE NAD83 (2011) DATUM FROM GPS OBSERVATIONS AND ARE FOR THE PURPOSE OF DEFINING DIRECTIONAL VARIATIONS.
 THE STATIONS REFERRED TO HEREIN ARE FROM THE CENTERLINE OF RIGHT OF WAY OF U.S. ROUTE 42, AS FOUND ON O.D.D.T. RIGHT OF WAY PLAN MED-42-17.80.

THIS DESCRIPTION WAS PREPARED AND REVIEWED UNDER THE SUPERVISION OF TERIN J. KAMINSKI, P.S., REGISTERED SURVEYOR NO. 7207, AND IS BASED ON SURVEY MADE BY EUTHEMICS, INC., BETWEEN MAY 2013 AND JULY 2013 FOR THE OHIO DEPARTMENT OF TRANSPORTATION.
 AND
 SITUATED IN THE CITY OF MEDINA, COUNTY OF MEDINA, STATE OF OHIO, AND BEING THE SOUTH PART OF CITY LOT #880, BEGINNING AT AN IRON PIN SET IN THE WESTERLY LINE OF SAID LOT, A DISTANCE OF 60.00 FEET SOUTHERLY FROM THE NORTHWEST CORNER THEREOF;
 THENCE FROM SAID IRON PIN EASTERLY IN A LINE PARALLEL WITH THE NORTH LINE OF SAID LOT AND 60.00 FEET DISTANT THEREFROM, A DISTANCE OF 85.00 FEET TO AN IRON PIN IN THE EAST LINE OF SAID LOT;
 THENCE SOUTHERLY IN THE EAST LINE OF SAID LOT A DISTANCE OF 90.00 FEET TO AN IRON PIN IN THE SOUTHEAST CORNER OF SAID LOT;
 THENCE WESTERLY IN THE SOUTHERLY LINE OF SAID LOT A DISTANCE OF 85.00 FEET TO AN IRON PIN SET IN THE EAST LINE OF COURT STREET AT THE SOUTHWEST CORNER OF SAID LOT;
 THENCE NORTHERLY IN THE WEST LINE OF SAID LOT AND EAST LINE OF SAID COURT STREET, A DISTANCE OF 90.00 FEET TO THE POINT OF BEGINNING, AS SURVEYED IN AUGUST 1959, BY ART ROEPKE, R.S. #2733.

EXCEPTING THEREFROM THE LEGAL DESCRIBED AS FOLLOWS:
 SITUATED IN STATE OF OHIO, COUNTY OF MEDINA, CITY OF MEDINA AND BEING A PART OF CITY LOT 880 AS RECORDED IN PLAT VOLUME 6, PAGE 101 ON 10-21-1955 AND ALSO BEING WITHIN TOWNSHIP 3 NORTH, RANGE 14 WEST OF THE CONNECTICUT WESTERN RESERVE AND ALSO BEING PART OF A PARCEL CONVEYED TO COURT HARDING LLC (HEREIN CALLED THE GRANTOR) AS RECORDED ON 11-15-2013 IN DOCUMENT NUMBER 201308030677 OF THE MEDINA COUNTY RECORDER'S OFFICE AND BEING A PARCEL OF LAND LYING ON THE RIGHT SIDE OF THE CENTERLINE OF RIGHT OF WAY OF U.S. ROUTE 42 (63 FEET WIDE) FURTHER BOUNDED AND DESCRIBED AS FOLLOWS:
 COMMENCING AT A POINT AT THE GRANTOR'S SOUTHWEST PROPERTY CORNER, THE SOUTHWEST CORNER OF CITY LOT 880 AND THE NORTHWEST CORNER OF CITY LOT 879, SAID POINT ALSO BEING ON THE EASTERLY RIGHT OF WAY LINE OF U.S. ROUTE 42 AT STATION 93+50.07, 30.00 FEET RIGHT OF U.S. ROUTE 42 CENTERLINE OF RIGHT OF WAY, SAID POINT BEING THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED;

1. THENCE, FOLLOWING THE GRANTOR'S WESTERLY PROPERTY LINE, THE EASTERLY RIGHT OF WAY LINE OF U.S. ROUTE 42 AND THE WESTERLY LINE OF CITY LOT 880, NORTH 05 DEGREES 47 MINUTES 30 SECONDS EAST A DISTANCE OF 90.00 FEET TO A POINT AT STATION 93+40.07, 30.00 FEET RIGHT OF U.S. ROUTE 42 CENTERLINE OF RIGHT OF WAY, SAID POINT BEING AT THE NORTHWEST CORNER OF THE GRANTOR'S PARCEL AND THE SOUTHWEST CORNER OF AN ADDITIONAL PARCEL CONVEYED TO COURT HARDING LLC AS RECORDED ON 11-15-2013 IN DOCUMENT NUMBER 201308030677 OF THE MEDINA COUNTY RECORDER'S OFFICE;

2. THENCE, FOLLOWING THE NORTHERLY LINE OF THE GRANTOR'S PARCEL AND THE SOUTHERLY LINE OF SAID ADDITIONAL PARCEL, NORTH 89 DEGREES 28 MINUTES 00 SECONDS EAST A DISTANCE OF 2.01 FEET TO AN IRON PIN SET AT STATION 93+40.29, 32.00 FEET RIGHT OF U.S. ROUTE 42 CENTERLINE OF RIGHT OF WAY;

3. THENCE, SOUTH 05 DEGREES 47 MINUTES 30 SECONDS WEST A DISTANCE OF 90.00 FEET TO AN IRON PIN SET AT STATION 93+50.29, 32.00 FEET RIGHT OF U.S. ROUTE 42 CENTERLINE OF RIGHT OF WAY, SAID IRON PIN SET BEING ON THE GRANTOR'S SOUTHERLY PROPERTY LINE, THE SOUTHERLY LINE OF CITY LOT 880, AND BEING ON THE NORTHERLY PROPERTY LINE OF A PARCEL CONVEYED TO DW PROPERTIES LLC, AN OHIO LIMITED LIABILITY COMPANY AS RECORDED ON 10-19-2008 IN DOCUMENT NUMBER 200808032981 OF THE MEDINA COUNTY RECORDER'S OFFICE, SAID NORTHERLY PROPERTY LINE ALSO BEING THE NORTHERLY LINE OF CITY LOT 879;

4. THENCE, FOLLOWING THE GRANTOR'S SOUTHERLY PROPERTY LINE, THE SOUTHERLY LINE OF CITY LOT 880, THE NORTHERLY LINE OF SAID DW PROPERTIES PARCEL AND THE NORTHERLY LINE OF CITY LOT 879, SOUTH 89 DEGREES 28 MINUTES 00 SECONDS WEST A DISTANCE OF 2.01 FEET TO THE TRUE POINT OF BEGINNING AND ENCLOSES AN AREA OF 0.0041 ACRES, MORE OR LESS OF WHICH THE PRESENT ROAD OCCUPIES 0.0000 ACRES, RESULTING IN A NET TAKE AREA 0.0041 ACRES AND IS FROM MEDINA COUNTY AUDITOR'S PARCEL NO. 028-198-09-051.

THE IRON PINS SET ARE 3/4 INCH DIAMETER BY 30 INCH LONG REBAR WITH A 2 INCH DIAMETER ALUMINUM CAP MARKED "D007 R/W" AND "T. KAMINSKI S7207".

THE BEARINGS REFERRED TO HEREIN ARE RELATIVE TO GRID NORTH OF THE OHIO STATE PLANE COORDINATES SYSTEM, NORTH ZONE NAD83 (2011) DATUM FROM GPS OBSERVATIONS AND ARE FOR THE PURPOSE OF DEFINING DIRECTIONAL VARIATIONS.
 THE STATIONS REFERRED TO HEREIN ARE FROM THE CENTERLINE OF RIGHT OF WAY OF U.S. ROUTE 42, AS FOUND ON O.D.D.T. RIGHT OF WAY PLAN MED-42-17.80.

THIS DESCRIPTION WAS PREPARED AND REVIEWED UNDER THE SUPERVISION OF TERIN J. KAMINSKI, P.S., REGISTERED SURVEYOR NO. 7207, AND IS BASED ON SURVEY MADE BY EUTHEMICS, INC., BETWEEN MAY 2013 AND JULY 2013 FOR THE OHIO DEPARTMENT OF TRANSPORTATION.

NOTE: THE COMPANY IS PROHIBITED FROM INSURING THE AREA OR QUANTITY OF THE LAND DESCRIBED HEREIN. ANY STATEMENT IN THE ABOVE LEGAL DESCRIPTION OF THE AREA OR QUANTITY OF LAND IS NOT A REPRESENTATION THAT SUCH AREA OR QUANTITY IS CORRECT, BUT IS MADE ONLY FOR INFORMATIONAL AND/OR IDENTIFICATION PURPOSES AND DOES NOT OVERRIDE ITEM 2 OF SCHEDULE B HEREOF.

LEGEND

- Dimension based on this survey
- Record Dimension
- (M) Measured Dimension
- Rebar Found
- Iron Pipe Found
- SM Storm Manhole
- SMH Sanitary Manhole
- DS Drainage Structure
- TEL Telephone Manhole
- UP Utility Pole
- WV Water Valve
- GV Gas Valve
- Bush
- Schedule "B" Items
- MB Mail Box
- (OH)--- Overhead Electric Line
- Fence

HATCH LEGEND

- EXISTING PUBLIC RIGHT OF WAY TAKES
- EXISTING EASEMENTS

Property Description (File No. NCS-1012355-HOU1):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MEDINA, STATE OF OHIO, AND IS DESCRIBED AS FOLLOWS:
 SITUATED IN THE CITY OF MEDINA, COUNTY OF MEDINA, AND STATE OF OHIO AND KNOWN AS BEING THE WHOLE OF CITY LOT NO. 881 AS APPEARS IN VOLUME 6, PAGE 101 OF THE MEDINA COUNTY PLAT RECORDS.

EXCEPTING THEREFROM

SITUATED IN STATE OF OHIO, COUNTY OF MEDINA, TOWNSHIP OF MEDINA, CITY OF MEDINA AND BEING A PART OF CITY LOT 881, THE NORTHEAST CORNER OF CITY LOT 880 AND THE NORTHEAST CORNER OF A RECORD 0.1746 ACRE PARCEL (CALCULATED AREA) AS CONVEYED TO COURT HARDING LLC AS RECORDED ON 11-15-2013 IN DOCUMENT NUMBER 201308030677 OF MEDINA COUNTY RECORDER'S OFFICE, SAID POINT ALSO BEING ON THE SOUTHERLY RIGHT OF WAY LINE OF HARDING STREET (80 FEET WIDE) AT STATION 21+12.65, 30.00 FEET LEFT OF HARDING STREET CENTERLINE OF RIGHT OF WAY, SAID POINT BEING THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED;

1. THENCE, FOLLOWING THE GRANTOR'S NORTHERLY PROPERTY LINE, THE NORTHERLY LINE OF CITY LOT 881 AND THE SOUTHERLY RIGHT OF WAY LINE OF HARDING STREET, NORTH 89 DEGREES 28 MINUTES 00 SECONDS EAST A DISTANCE OF 48.00 FEET TO AN IRON PIN SET AT STATION 21+80.65, 30.00 FEET RIGHT OF HARDING STREET CENTERLINE OF RIGHT OF WAY;
2. THENCE, SOUTH 00 DEGREES 32 MINUTES 00 SECONDS EAST A DISTANCE OF 1.00 FEET TO AN IRON PIN SET AT STATION 21+80.65, 31.00 FEET RIGHT OF HARDING STREET CENTERLINE OF RIGHT OF WAY;
3. THENCE, SOUTH 87 DEGREES 05 MINUTES 50 SECONDS WEST A DISTANCE OF 48.37 FEET TO AN IRON PIN SET AT STATION 21+12.32, 33.00 FEET RIGHT OF HARDING STREET CENTERLINE OF RIGHT OF WAY, SAID IRON PIN SET BEING ON THE GRANTOR'S WESTERLY PROPERTY LINE, THE WESTERLY LINE OF CITY LOT 881, THE EASTERLY LINE OF CITY LOT 880 AND THE EASTERLY LINE OF SAID RECORD 0.1746 ACRE PARCEL;
4. THENCE, FOLLOWING THE GRANTOR'S WESTERLY PROPERTY LINE, THE WESTERLY LINE OF CITY LOT 881, THE EASTERLY LINE OF CITY LOT 880 AND THE EASTERLY LINE OF SAID RECORD 0.1746 ACRE PARCEL, NORTH 05 DEGREES 47 MINUTES 30 SECONDS EAST A DISTANCE OF 3.02 FEET TO THE TRUE POINT OF BEGINNING AND ENCLOSES AN AREA OF 0.0022 ACRES, MORE OR LESS OF WHICH THE PRESENT ROAD OCCUPIES 0.0000 ACRES, RESULTING IN A NET TAKE AREA 0.0022 ACRES AND IS FROM MEDINA COUNTY AUDITOR'S PARCEL NO. 028-198-09-049.

THE IRON PINS SET ARE 3/4 INCH DIAMETER BY 30 INCH LONG REBAR WITH A 2 INCH DIAMETER ALUMINUM CAP MARKED "D007 R/W" AND "T. KAMINSKI S7207". THE BEARINGS REFERRED TO HEREIN ARE RELATIVE TO GRID NORTH OF THE OHIO STATE PLANE COORDINATES SYSTEM, NORTH ZONE NAD83 (2011) DATUM FROM GPS OBSERVATIONS AND ARE FOR THE PURPOSE OF DEFINING DIRECTIONAL VARIATIONS.
 THE STATIONS REFERRED TO HEREIN ARE FROM THE CENTERLINE OF RIGHT OF WAY OF U.S. ROUTE 42, AS FOUND ON O.D.D.T. RIGHT OF WAY PLAN MED-42-17.80.

THIS DESCRIPTION WAS PREPARED AND REVIEWED UNDER THE SUPERVISION OF TERIN J. KAMINSKI, P.S., REGISTERED SURVEYOR NO. 7207, AND IS BASED ON SURVEY MADE BY EUTHEMICS, INC., BETWEEN MAY 2013 AND JULY 2013 FOR THE OHIO DEPARTMENT OF TRANSPORTATION.

NOTE: THE COMPANY IS PROHIBITED FROM INSURING THE AREA OR QUANTITY OF THE LAND DESCRIBED HEREIN. ANY STATEMENT IN THE ABOVE LEGAL DESCRIPTION OF THE AREA OR QUANTITY OF LAND IS NOT A REPRESENTATION THAT SUCH AREA OR QUANTITY IS CORRECT, BUT IS MADE ONLY FOR INFORMATIONAL AND/OR IDENTIFICATION PURPOSES AND DOES NOT OVERRIDE ITEM 2 OF SCHEDULE B HEREOF.

THIS DESCRIPTION WAS PREPARED AND REVIEWED UNDER THE SUPERVISION OF TERIN J. KAMINSKI, P.S., REGISTERED SURVEYOR NO. 7207, AND IS BASED ON SURVEY MADE BY EUTHEMICS, INC., BETWEEN MAY 2013 AND JULY 2013 FOR THE OHIO DEPARTMENT OF TRANSPORTATION.

PARCEL 2

SITUATED IN THE CITY OF MEDINA, COUNTY OF MEDINA, AND STATE OF OHIO AND KNOWN AS BEING THE WHOLE OF CITY LOT NO. 882 IN SAID CITY OF MEDINA, BE THE SAME MORE OR LESS.

Notes Corresponding to Schedule "B-2"
 The commitment for title insurance issued by First American Title Insurance Company, Commitment No. NCS-1012360-HOU1 and NCS-1012355-HOU1 both with a Commitment Date of May 1, 2020 at 7:59am, contains the following exceptions which are survey matters:

COMMITMENT NO. NCS-1012360-HOU1:
 11. DEED OF AN EASEMENT FROM JOHN GORDON KISNER AND PAULA KISNER TO THE CITY OF MEDINA, OHIO RECORDED JULY 26, 1957 IN/AS VOLUME 249, PAGE 162 OF MEDINA COUNTY RECORDS.
 ~AFFECTS PPN #02819809074, CITY LOT 881 PLOTTED AND SHOWN HERIN

12. RECITALS SHOWN ON DOCUMENT RECORDED SEPTEMBER 30, 2016 IN/AS INSTRUMENT NO. 201608022002 OF MEDINA COUNTY RECORDS.
 ~AFFECTS PPN #02819809075, CITY LOT 80 PLOTTED AND SHOWN HERIN

COMMITMENT NO. NCS-1012355-HOU1:
 11. DEED OF AN EASEMENT FROM JOHN GORDON KISNER AND PAULA KISNER TO THE CITY OF MEDINA, OHIO RECORDED JULY 26, 1957 IN/AS VOLUME 249, PAGE 162 OF MEDINA COUNTY RECORDS.
 ~AFFECTS PPN #02819809075, CITY LOT 80 PLOTTED AND SHOWN HERIN

12. RECITALS SHOWN ON DOCUMENT RECORDED SEPTEMBER 30, 2016 IN/AS INSTRUMENT NO. 201608022002 OF MEDINA COUNTY RECORDS.
 ~AFFECTS PPN #02819809076, CITY LOT 880 & PPN #02819809078, CITY LOT 880 PLOTTED AND SHOWN HERIN

Additional or abatements which may hereafter be made by legally constituted authorities as provided for in Chapter 5713 and 5715 of the Ohio Revised Code.

STORM AND SANITARY INVERT INFORMATION	
#1120 (STORM MANHOLE) RIM EL=1012.79 INV 12" CPP E (TO #1445)=1007.34 INV 18" CPP W (TO #1298)=1007.04	#1296 (CURB INLET) RIM EL=1012.07 INV 18" CPP E (TO #1120)=1008.82 INV 18" CPP W (TO #1276)=1008.82 INV 12" CPP S (TO #1325)=1008.77
#1234 (SANITARY MANHOLE) RIM EL=1021.28 INV 15" VCP S=1014.08 INV 15" VCP N (TO #1277)=1014.08	#1325 (SQUARE CATCH BASIN) RIM EL=1013.78 INV 12" CPP N (TO #1298)=1009.28
#1278 (STORM MANHOLE) RIM EL=1013.17 INV 18" CPP E (TO #1298)=1005.77 INV 18" CPP W=1005.67 INV 12" CPP S (TO #1240)=1008.22	#1445 (CURB INLET) RIM EL=1012.53 INV 12" CPP W (TO #1446)=1007.73 INV 12" CPP W (TO #1120)=1007.73
#1277 (SANITARY MANHOLE) RIM EL=1012.92 INV 15" VCP W=1002.62 DEPTH READING IS APPROXIMATE QUESTIONABLE SIZE AND MATERIAL QUESTIONABLE CONNECTION	#1446 (CURB INLET) RIM EL=1012.79 INV 12" CPP W (TO #1445)=1008.09
#1276 (STORM MANHOLE) RIM EL=1013.17 INV 15" VCP E (TO #1523)=1002.82 DEPTH READING IS APPROXIMATE QUESTIONABLE SIZE AND MATERIAL QUESTIONABLE CONNECTION	#1523 (SANITARY MANHOLE) RIM EL=1012.31 INV 15" VCP W (TO #1277)=998.81 QUESTIONABLE SIZE, MATERIAL, AND CONNECTION

ALTA/NSPS Land Title Survey Table "A" Items:

1. Found and set monuments are shown hereon.
2. Per the County GIS, the current address of the surveyed parcel is 3753 Center Road.
3. The accuracy of any flood hazard data shown on this plat is subject to map scale uncertainty and to any other uncertainty in location or elevation on the Flood Insurance Rate Map, (FIRM), The Parcel shown and described on this plat appears to lie within Flood Hazard Zone Unshaded "X" as said tract plots by scale on Map Number 39103001630 of the FIRM for the Medina County, City of Medina, dated 8-4-2008. This statement does not guarantee that the surveyed parcel will or will not flood.
4. The Gross Land Area of the surveyed parcel was calculated to be XXXX acres, more or less.
5. The 1-foot contours and elevations shown hereon are based on a ground survey of the surveyed parcel and are referenced to the North American Vertical Datum of 1988 as derived from Network RTK GPS observations of the primary site control from the ODOT CORS Network. The site benchmark shown hereon was trigonometrically leveled from the primary control and are described as follows:
 6(b). A Zoning Report or Letter was not provided to the surveyor.
8. Only improvements which were visible from above ground at the time of survey and through a normal search and walk through of the site are shown.
9. There are 0 existing parking spaces and 0 handicap spaces. Towne Auto Sales has a large parking lot with no organized parking spaces.
11. The locations of utilities, as shown hereon, are based on above ground structures, any markings observed in the course of the field survey. No excavations were made to locate buried utilities or structures. Additional utilities may be encountered.
13. Names of adjoining owners were obtained from record documents or the Medina County Auditors office.
17. The Medina Engineering Department was contacted as part of this project.
18. No welland markers were observed during the course of this survey.
21. Five soil borings were observed during the course of this survey.

SURVEYOR'S CERTIFICATE:

To: First American Title Insurance Company, Jiffy Lube International, Inc.
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 7(b)(2), 8, 9, 11, 13, 17, 18, 20 and 21 of Table "A" thereof. The field work was completed on June 12, 2020.

Date of Plat or Map: July 1, 2020

Michael J. Hudik, P.S.
 Michael J. Hudik, P.S. Registered Ohio Surveyor No. 6789
 Email: mhudik@dlz.com
 www.dlz.com



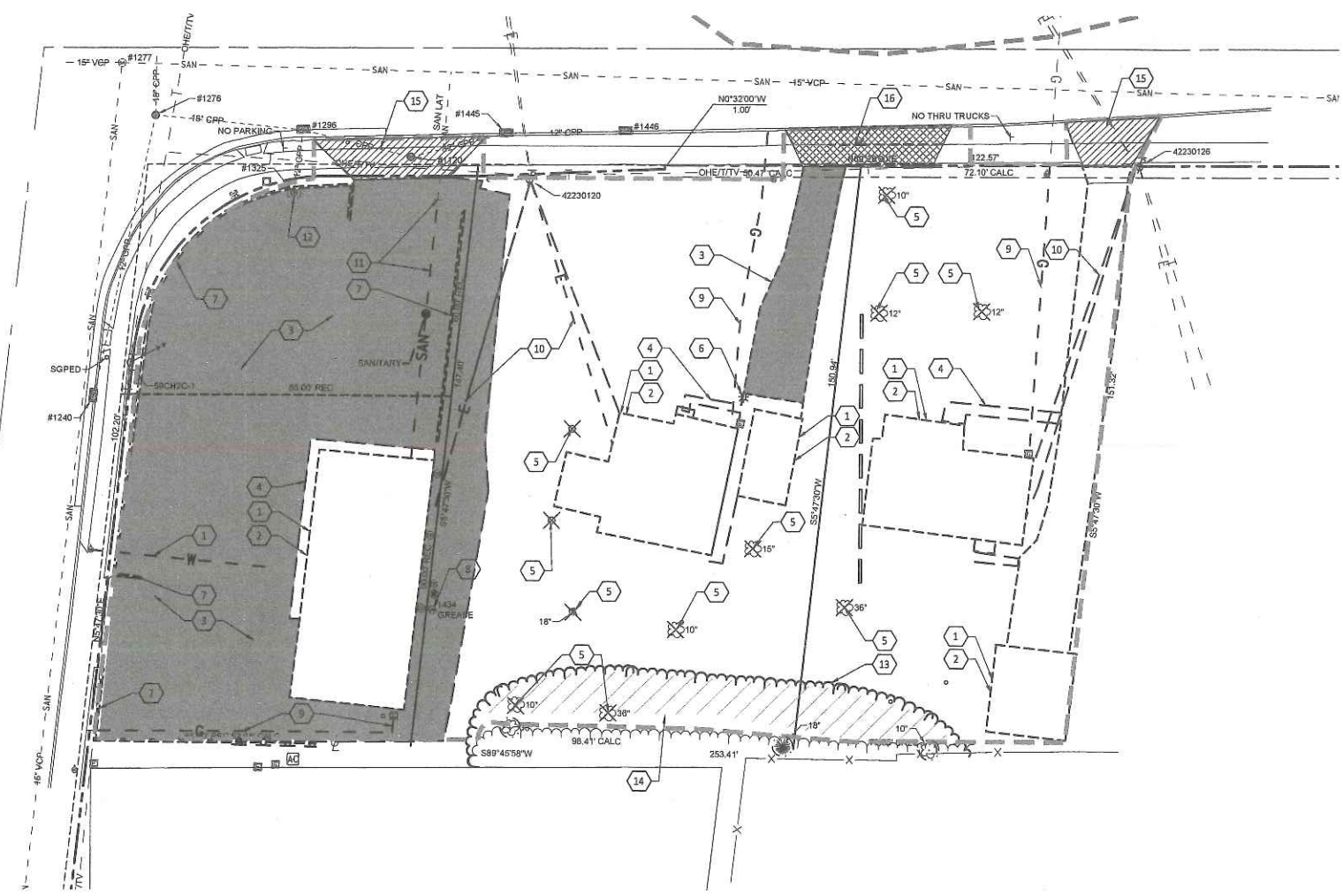
MEDINA OHIO
 ALTA/NSPS LAND TITLE SURVEY
 790 NORTH COURT STREET, OHIO
 CITY OF MEDINA AND
 BEING A PART OF CITY LOT 880
 FOR: SEVAN MULTI-SITE SOLUTIONS, LLC.

DRAWN: MR	CHK'D.	NO.	REVISION	BY	DATE
DESIGNED: APPRV'D:		▲	FIRST SUBMITTAL	MR	6/12/20
DATE: 6/12/2020		▲	REVISION #1	MR	6/29/20
SCALE: 1"=20'		▲	FINAL	MR	7/1/20
		▲	FINAL	MR	7/15/20
PROJECT NUMBER		▲			
2011-0111-70		▲			

SHEET	1
OF	1
DRAWING NUMBER	2011011170

FILE NAME: Y:\Shared\Clients\Jiffy_Lube\Projects\136_Medina_OH\2_Civil\Drawings\136_10.dwg LAST SAVED BY: katz, Tim SAVED DATE: 2/17/2021 5:30 PM PLOTTED: 2/18/2021 12:47 AM

DEMOLITION SITE PLAN
SCALE: 1" = 20'-0"



- DEMOLITION SITE PLAN KEYNOTES:**
- 1 DISCONNECT AND TERMINATE ALL BUILDING UTILITIES AS REQUIRED BY CODE PRIOR TO STARTING DEMOLITION ACTIVITIES.
 - 2 REMOVE AND DISPOSE OF BUILDING AND FOUNDATIONS AS REQUIRED TO ALLOW FOR NEW CONSTRUCTION.
 - 3 SAWCUT, REMOVE AND DISPOSE OF SITE PAVEMENT AS REQUIRED TO ALLOW FOR NEW CONSTRUCTION.
 - 4 SAWCUT, REMOVE AND DISPOSE OF CONCRETE WALK.
 - 5 REMOVE AND DISPOSE OF TREE, STUMP, AND ROOT BALL.
 - 6 DISCONNECT, REMOVE AND DISPOSE OF LIGHT FIXTURE, POLE AND FOUNDATION, TERMINATE UTILITIES AS REQUIRED BY CODE.
 - 7 REMOVE AND DISPOSE OF CONCRETE CURB.
 - 8 REMOVE EXISTING GREASE TRAP IN ACCORDANCE WITH LOCAL, STATE, FEDERAL ORDINANCES AND LAWS.
 - 9 REMOVE EXISTING GAS SERVICE AND CAP AT PROPERTY LINE. COORDINATE REMOVAL WITH UTILITY PROVIDER.
 - 10 DISCONNECT, REMOVE AND DISPOSE OF CONDUIT AND WIRING FROM POLE TO BUILDING.
 - 11 BEGINNING 6' SOUTH OF THE PROPERTY LINE, REMOVE AND DISPOSE OF PORTION OF SANITARY LINE TO EXISTING BUILDING. PROTECT EXISTING LINE, VERIFY PIPE INVERT, AND STAKE LOCATION FOR RE-USE IN NEW CONSTRUCTION.
 - 12 REMOVE AND DISPOSE OF STORM STRUCTURE.
 - 13 TRIM EXISTING TREE AND BRUSH LINE TO THE LIMITS SHOWN.
 - 14 EXISTING BRUSH AND TREE MATERIALS TO REMAIN.
 - 15 EXISTING CURB CUT APRON AND ADJACENT CURBING TO BE REMOVED.
 - 16 EXISTING CURB CUT APRON AND ADJACENT CURBING TO BE REMOVED. CURBING ALONG ROAD EDGE AND TO BE REMOVED FOR INSTALLATION OF PROPOSED CURB CUT.

sevan
ENGINEERING, P.C.

Regional Office:
37704 Hills Tech Drive
Farmington Hills, MI 48331
734.367.4445 Telephone

Corporate Office:
3025 Highland Parkway, Suite 850
Downers Grove, IL 60515
Info@sevan.com www.sevan.com

INTEGRITY | RESPECT | TEAMWORK | EXCELLENCE | CHAIRTY

REVISIONS

NO.	DATE	DESCRIPTION
0	09.09.2020	OWNER REVIEW
1	09.22.2020	PRELIMINARY REVIEW
2	02.16.2021	SITE PLAN & B2A SUBMITTAL

CONSULTANT

SEAL

STATE OF OHIO
TIMOTHY KRATZ
E-82808
PROFESSIONAL ENGINEER
02/18/2021

CUSTOMER

jiffylube

PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**790 NORTH COURT STREET
MEDINA, OH 44212**
(MEDINA COUNTY)

SHEET TITLE

**DEMOLITION
SITE PLAN**

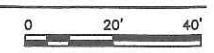
SHEET MANAGEMENT

PROJECT NO.: MEDINA, OH
DATE: -
CRITERIA: V2020.10-134
PROJECT MANAGER: M. PISKO

SHEET NUMBER

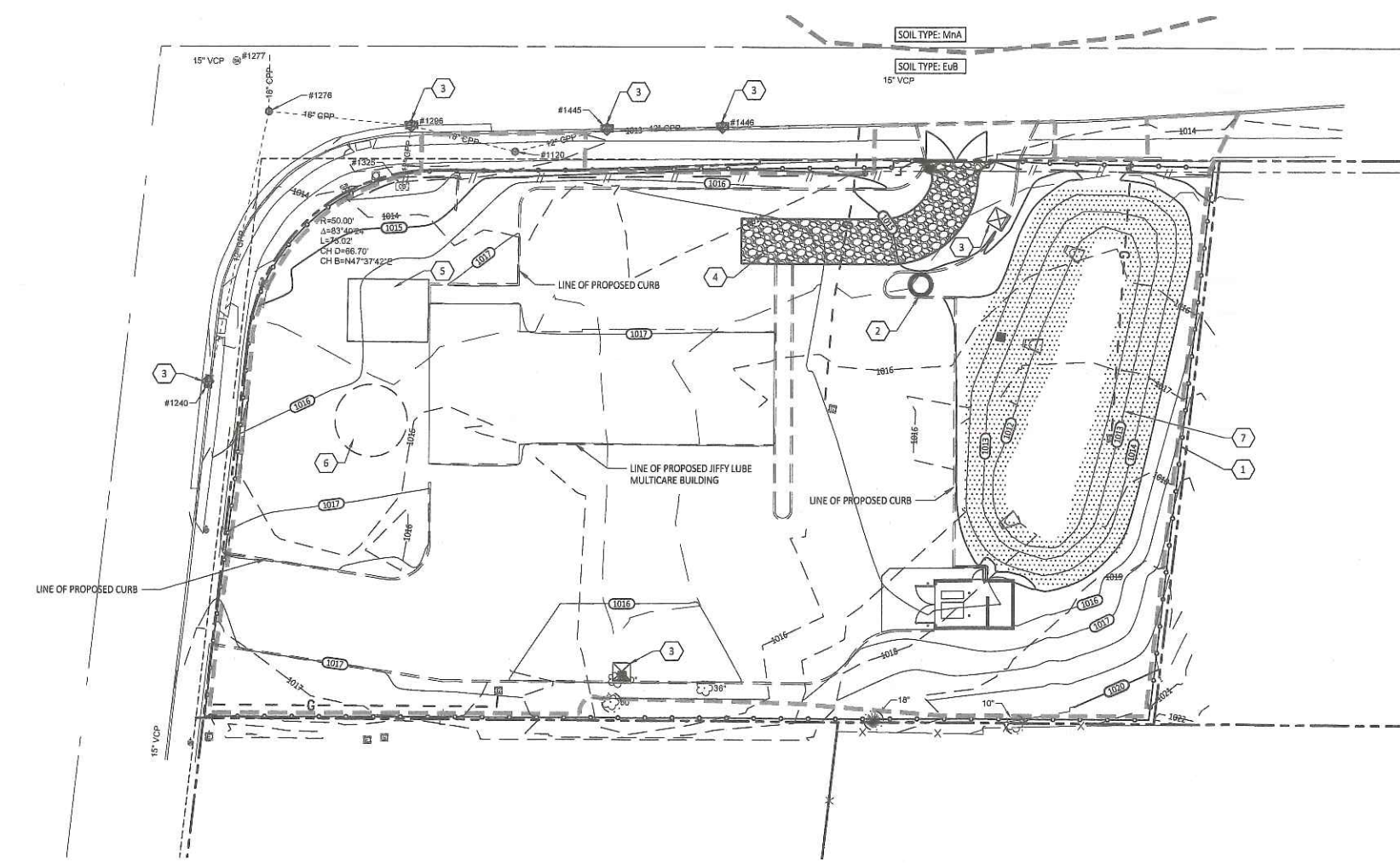
C1.10

- EXISTING:**
- xxx.xx - Dimension based on this survey
 - [xxx.xx] - Record Dimension
 - (M) - Measured Dimension
 - RBF - Rebar Found
 - IPF - Iron Pipe Found
 - SM - Storm Manhole
 - SM - Sanitary Manhole
 - CB - Drainage Structure
 - TM - Telephone Manhole
 - UP - Utility Pole
 - WV - Water Valve
 - GV - Gas Valve
 - B - Bush
 - S - Schedule "B" Signs
 - MB - Mail Box
 - OH - Overhead Electric Line
 - F - Fence
- LEGEND**



ADDITIONAL CONSTRUCTION SITE POLLUTION NOTES - OHIO EPA RAINWA... AND LAND DEVELOPMENT MANUAL:

- CONSTRUCTION PERSONNEL, INCLUDING SUBCONTRACTORS WHO MAY USE OR HANDLE HAZARDOUS OR TOXIC MATERIALS, SHALL BE MADE AWARE OF THE FOLLOWING GENERAL GUIDELINES REGARDING DISPOSAL AND HANDLING OF HAZARDOUS AND CONSTRUCTION WASTES:
 - PREVENT SPILLS
 - USE PRODUCTS UP
 - FOLLOW LABEL DIRECTIONS FOR DISPOSAL
 - REMOVE LIDS FROM EMPTY BOTTLES AND CANS WHEN DISPOSING IN TRASH
 - RECYCLE WASTES WHENEVER POSSIBLE
 - DON'T POUR INTO WATERWAYS, STORM DRAINS OR ONTO THE GROUND
 - DON'T POUR DOWN THE SINK, FLOOR DRAIN OR SEPTIC TANKS
 - DON'T BURY CHEMICALS OR CONTAINERS
 - DON'T BURN CHEMICALS OR CONTAINERS
 - DON'T MIX CHEMICALS TOGETHER
- CONTAINERS SHALL BE PROVIDED FOR THE PROPER COLLECTION OF ALL WASTE MATERIAL INCLUDING CONSTRUCTION DEBRIS, TRASH, PETROLEUM PRODUCTS AND ANY HAZARDOUS MATERIALS USED ON-SITE. CONTAINERS SHALL BE COVERED AND NOT LEAKING. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THAT MATERIAL. CONSTRUCTION DEMOLITION AND DEBRIS (CDD&D) WASTE MUST BE DISPOSED OF AT AN OHIO EPA APPROVED CDD&D LANDFILL.
- NO CONSTRUCTION RELATED WASTE MATERIALS ARE TO BE BURIED ON-SITE. BY EXCEPTION, CLEAN FILL (BRICKS, HARDENED CONCRETE, SOIL) MAY BE UTILIZED IN A WAY WHICH DOES NOT ENCRoACH UPON NATURAL WETLANDS, STREAMS OR FLOODPLAINS OR RESULT IN THE CONTAMINATION OF WATERS OF THE STATE.
- HANDLING CONSTRUCTION CHEMICALS, MIXING, PUMPING, TRANSFERRING OR OTHER HANDLING OF CONSTRUCTION CHEMICALS SUCH AS FERTILIZER, LIME, ASPHALT, CONCRETE DRYING COMPOUNDS, AND ALL OTHER POTENTIALLY HAZARDOUS MATERIALS SHALL BE PERFORMED IN AN AREA AWAY FROM ANY WATERCOURSE, DITCH OR STORM DRAIN.
- EQUIPMENT FUELING AND MAINTENANCE, OIL CHANGING, ETC., SHALL BE PERFORMED AWAY FROM WATERCOURSES, DITCHES OR STORM DRAINS, IN AN AREA DESIGNATED FOR THAT PURPOSE. THE DESIGNATED AREA SHALL BE EQUIPPED FOR RECYCLING OIL AND CATCHING SPILLS. SECONDARY CONTAINMENT SHALL BE PROVIDED FOR ALL FUEL OIL STORAGE TANKS. THESE AREAS MUST BE INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HRS. OF A 0.5 INCH OR GREATER RAIN EVENT TO ENSURE THERE ARE NO EXPOSED MATERIALS WHICH WOULD CONTAMINATE STORM WATER. SITE OPERATORS MUST BE AWARE THAT SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) REQUIREMENTS MAY APPLY. AN SPCC PLAN IS REQUIRED FOR SITES WITH ONE SINGLE ABOVE GROUND TANK OF 660 CHAPTER 8 POLLUTION/CONSTRUCTION 7 GALLONS OR MORE, ACCUMULATIVE ABOVE GROUND STORAGE OF 1330 GALLONS OR MORE, OR 42,000 GALLONS OF UNDERGROUND STORAGE. CONTAMINATED SOILS MUST BE DISPOSED OF IN ACCORDANCE WITH ITEM 8.
- CONCRETE WASH WATER SHALL NOT BE ALLOWED TO FLOW TO STREAMS, DITCHES, STORM DRAINS, OR ANY OTHER WATER CONVEYANCE. A SLUMP OR PIT WITH NO POTENTIAL FOR DISCHARGE SHALL BE CONSTRUCTED IF NEEDED TO CONTAIN CONCRETE WASH WATER. FIELD TILE OR OTHER SUBSURFACE DRAINAGE STRUCTURES WITHIN 10 FT. OF THE SLUMP SHALL BE CUT AND PLUGGED. FOR SMALL PROJECTS, TRUCK CHUTES MAY BE RINSED AWAY FROM ANY WATER CONVEYANCES.
- SPILL REPORTING REQUIREMENTS: SPILLS ON PAVEMENT SHALL BE ABSORBED WITH SAWDUST OR KITTY LITTER AND DISPOSED OF WITH THE TRASH AT A LICENSED SANITARY LANDFILL. HAZARDOUS OR INDUSTRIAL WASTES SUCH AS MOST SOLVENTS, GASOLINE, OIL-BASED PAINTS, AND CEMENT CURING COMPOUNDS REQUIRE SPECIAL HANDLING. SPILLS SHALL BE REPORTED TO OHIO EPA (1-800-282-9378). SPILLS OF 25 GALLONS OR MORE OF PETROLEUM PRODUCTS SHALL BE REPORTED TO OHIO EPA, THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MIN. OF THE DISCOVERY OF THE RELEASE. ALL SPILLS WHICH CONTACT WATERS OF THE STATE MUST BE REPORTED TO OHIO EPA.
- CONTAMINATED SOILS. IF SUBSTANCES SUCH AS OIL, DIESEL FUEL, HYDRAULIC FLUID, ANTIFREEZE, ETC. ARE SPILLED, LEAKED, OR RELEASED ONTO THE SOIL, THE SOIL SHOULD BE DUG UP AND DISPOSED OF AT LICENSED SANITARY LANDFILL OR OTHER APPROVED PETROLEUM CONTAMINATED SOIL REMEDIATION FACILITY. (NOT A CONSTRUCTION/DEMOLITION DEBRIS LANDFILL). NOTE THAT STORM WATER RUN OFF ASSOCIATED WITH CONTAMINATED SOILS ARE NOT BE AUTHORIZED UNDER OHIO EPA'S GENERAL STORM WATER PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- OPEN BURNING. NO MATERIALS CONTAINING RUBBER, GREASE, ASPHALT, OR PETROLEUM PRODUCTS, SUCH AS TIRES, AUTOPARTS, PLASTICS OR PLASTIC COATED WIRE MAY BE BURNED (OAC 3745-19). OPEN BURNING IS NOT ALLOWED IN RESTRICTED AREAS, WHICH ARE DEFINED AS: 1) WITHIN 1000 FEET OUTSIDE A MUNICIPAL CORPORATION HAVING A POPULATION OF 1000 TO 10,000; AND 2) A ONE MILE ZONE OUTSIDE OF A CORPORATION OF 10,000 OR MORE. OUTSIDE OF RESTRICTED AREAS, NO OPEN BURNING IS ALLOWED WITHIN A 1000 FEET OF AN UNHABITED BUILDING ON ANOTHER PROPERTY. OPEN BURNING IS PERMISSIBLE IN A RESTRICTED AREA FOR: HEATING TAR, WELDING, SMUDGE POTS AND SIMILAR OCCUPATIONAL NEEDS, AND HEATING FOR WARMTH OR OUTDOOR BARBECUES. OUTSIDE OF RESTRICTED AREAS, OPEN BURNING IS PERMISSIBLE FOR LANDSCAPE OR LAND-CLEARING WASTES (PLANT MATERIAL, WITH PRIOR WRITTEN PERMISSION FROM OHIO EPA), AND AGRICULTURAL WASTES, EXCLUDING BUILDINGS.
- DUST CONTROL OR DUST SUPPRESSANTS SHALL BE USED TO PREVENT NUISANCE CONDITIONS, IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND IN A MANNER, WHICH PREVENT A DISCHARGE TO WATERS OF THE STATE. SUFFICIENT DISTANCE MUST BE PROVIDED BETWEEN APPLICATIONS AND NEARBY BRIDGES, CATCH BASINS, AND OTHER WATERWAYS. APPLICATION (EXCLUDING WATER) MAY NOT OCCUR WHEN RAIN IS IMMINENT AS NOTED IN THE SHORT TERM FORECAST. USED OIL MAY NOT BE APPLIED FOR DUST CONTROL.
- OTHER AIR PERMITTING REQUIREMENTS: CERTAIN ACTIVITIES ASSOCIATED WITH CONSTRUCTION WILL REQUIRE AIR PERMITS INCLUDING BUT NOT LIMITED TO: MOBILE CONCRETE BATCH PLANTS, MOBILE ASPHALT PLANTS, CONCRETE CRUSHERS, LARGE GENERATORS, ETC. THESE ACTIVITIES WILL REQUIRE SPECIFIC OHIO EPA AIR PERMITS FOR INSTALLATION AND OPERATION. OPERATORS MUST SEEK AUTHORIZATION FROM THE CORRESPONDING DISTRICT OF OHIO EPA. FOR DEMOLITION OF ALL B CHAPTER 8 POLLUTION/CONSTRUCTION COMMERCIAL SITES, A NOTIFICATION FOR RESTORATION AND DEMOLITION MUST BE SUBMITTED TO OHIO EPA TO DETERMINE IF ASBESTOS CORRECTIVE ACTIONS ARE REQUIRED.
- PROCESS WASTE WATER/LEACHATE MANAGEMENT. OHIO EPA'S CONSTRUCTION GENERAL PERMIT ONLY ALLOWS THE DISCHARGE OF STORM WATER AND DOES NOT INCLUDE OTHER WASTE STREAMS/DISCHARGES SUCH AS VEHICLE AND/OR EQUIPMENT WASHING, ON-SITE SEPTIC LEACHATE CONCRETE WASH OUTS, WHICH ARE CONSIDERED PROCESS WASTEWATERS. ALL PROCESS WASTEWATERS MUST BE COLLECTED AND PROPERLY DISPOSED AT AN APPROVED DISPOSAL FACILITY. IN THE EVENT, LEACHATE OR SEPTAGE IS DISCHARGED, IT MUST BE ISOLATED FOR COLLECTION AND PROPER DISPOSAL AND CORRECTIVE ACTIONS TAKEN TO ELIMINATE THE SOURCE OF WASTE WATER.
- A PERMIT TO INSTALL (PTI) IS REQUIRED PRIOR TO THE CONSTRUCTION OF ALL CENTRALIZED SANITARY SYSTEMS, INCLUDING SEWER EXTENSIONS, AND SEWERAGE SYSTEMS (EXCEPT THOSE SERVING ONE, TWO, AND THREE FAMILY DWELLINGS) AND POTABLE WATER LINES. PLANS MUST BE SUBMITTED AND APPROVED BY OHIO EPA. ISSUANCE OF AN OHIO EPA CONSTRUCTION GENERAL STORM WATER PERMIT DOES NOT AUTHORIZE THE INSTALLATION OF ANY SEWERAGE SYSTEM WHERE OHIO EPA HAS NOT APPROVED A PTI.



SOIL EROSION AND SEDIMENTATION CONTROL PLAN
SCALE: 1" = 20'-0"

PROPOSED SITE IMPROVEMENTS

- INSTALL CONSTRUCTION FENCE. CONTRACTOR TO FIELD VERIFY AND COORDINATE LOCATION(S) OF CONSTRUCTION ACCESS GATE(S) WITH OWNER'S REPRESENTATIVE. INCLUDE SILT FENCE INSIDE OF CONSTRUCTION FENCE. SEE DETAIL 7/CS.00.
- PROVIDE AND INSTALL CONCRETE WASHOUT AREA. SEE DETAIL 6/CS.00.
- PROVIDE AND INSTALL INLET PROTECTION. SEE DETAIL 9/CS.00.
- PROVIDE, INSTALL, AND MAINTAIN CONSTRUCTION ENTRANCE. SEE DETAIL 5/CS.00. GC RESPONSIBLE TO DOCUMENT DEVIATIONS FROM THE APPROVED PLANS.
- STAGING AREA.
- SOIL STOCKPILE.
- EROSION CONTROL BLANKET. SEE DETAIL 10/CS.00.

CONSTRUCTION SITE DEWATERING NOTES

- TAKE CARE WHEN DEWATERING CONSTRUCTION SITES. DO NOT PUMP SEDIMENT-LADEN WATER DIRECTLY TO LAKES, STREAMS, COUNTY DRAINS, STORM DRAINS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS. THE PROPER WAY TO DEWATER A CONSTRUCTION SITE IS AS FOLLOWS:
- PLACE A GEOTEXTILE FILTER BAG OR GEOTUBE ON THE END OF THE DISCHARGE HOSE.
 - DISCHARGE DIRECTLY TO A SEDIMENT BASIN.
 - DISCHARGE TO A WELL VEGETATED AREA (NOT WETLANDS).
 - DISCHARGE INTO A CONSTRUCTED CONTAINMENT AREA.

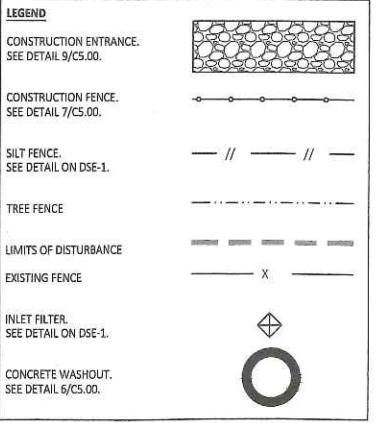
DISCHARGE ENERGY TO PREVENT SCOURING, AND INSPECT DEWATERING OPERATIONS SEVERAL TIMES DAILY.

CONSTRUCTION SEQUENCE:

- INSTALL TRAFFIC AND PEDESTRIAN SAFETY BARRICADES.
- INSTALL TEMPORARY EROSION CONTROL MEASURES. PROTECT ALL AREAS THAT COULD ALLOW SEDIMENT TO MIGRATE OFF-SITE VIA SURFACE RUNOFF. VIA ENCLOSED DRAINAGE SYSTEMS OR VIA TRACKING CAUSED BY CONSTRUCTION EQUIPMENT, ETC. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING ACTIVITIES.
- COMPLETE REQUIRED REMOVALS AND LEGALLY DISPOSE OF DEBRIS AND WASTE OFF-SITE.
- PERFORM MASS GRADING AND CONSTRUCT SITE IMPROVEMENTS.
- DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DITCHES, SILT FENCING, SEDIMENT TRAPS, ETC. SEED AND MULCH AS REQUIRED.
- INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES PER JURISDICTIONAL AUTHORITY REQUIREMENTS.
- REMOVE TEMPORARY EROSION CONTROL MEASURES WHEN SITE IS STABILIZED.

SOIL EROSION AND SEDIMENTATION CONTROL AND MAINTENANCE NOTES:

- A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT, OR SIMILAR PERMIT FROM THE JURISDICTIONAL AUTHORITY, MUST BE SECURED AND POSTED ON-SITE PRIOR TO ANY EARTH CHANGES.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL (SESC) WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITY.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAY INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- THE GENERAL CONTRACTOR SHALL STAGE ALL SOIL EROSION AND SEDIMENTATION CONTROL (SESC) WORK AS DIRECTED IN THE DRAWINGS AND PROJECT MANUAL, AND AS OTHERWISE NECESSARY OR APPROPRIATE TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF SESC DEVICES.
- THE GENERAL CONTRACTOR SHALL IMPLEMENT AND MAINTAIN THE SESC MEASURES AS SHOWN IN THE DRAWINGS AND PROJECT MANUAL BEFORE, AND AT ALL TIMES DURING, THE CONSTRUCTION OF THIS PROJECT. ANY MODIFICATIONS OR ADDITIONS TO SESC MEASURES DUE TO CONSTRUCTION OR CHANGED CONDITIONS SHALL BE COMPLIED WITH AS REQUIRED OR AS DIRECTED BY THE JURISDICTIONAL AUTHORITY.
- IF ANY OF THE SESC MEASURES ON THE SITE ARE DEEMED INADEQUATE OR INEFFECTIVE, THE JURISDICTIONAL AUTHORITY HAS THE RIGHT TO REQUIRE ADDITIONAL SESC MEASURES AT THE EXPENSE OF THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL INSPECT THE SESC DEVICES ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. A LOG OF INSPECTION REPORTS SHALL BE MAINTAINED AND ACCESSIBLE IN ACCORDANCE WITH NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. ANY REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
- INSTALL SILT FENCE AS INDICATED IN THE DRAWINGS AND PROJECT MANUAL, PER ATTACHED DETAILS, AND AT ADDITIONAL AFFECTED AREAS AS NECESSARY.
 - SILT FENCE SHALL BE INSPECTED ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
 - BUILD-UP OF SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATED TO 1/3 OF THE HEIGHT OF THE SILT FENCE.
 - IF SILT FENCE DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE SILT FENCE SHALL BE REPLACED PROMPTLY.
- INSTALL INLET FILTERS ON ALL PAVEMENT CATCH BASINS PER DETAIL.
 - INLET FILTERS SHALL BE INSPECTED ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
 - BUILD-UP OF SEDIMENT AND DEBRIS SHALL BE REMOVED PROMPTLY.
 - IF FILTER FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE FILTER FABRIC SHALL BE REPLACED PROMPTLY.
- INSTALL DRAIN GUARD ON ALL CATCH BASINS PER DETAIL, SEED OR SOD THE AREA BETWEEN THE SILT FENCE AND THE INLET.
 - DRAIN GUARDS SHALL BE INSPECTED ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT.
 - BUILD-UP OF SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE SILT FENCE.
 - IF FILTER FABRIC DECOMPOSES OR BECOME INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE FILTER FENCE SHALL BE REPLACED PROMPTLY.
- ALL STOCKPILED SOILS SHALL BE MAINTAINED IN SUCH A WAY AS TO PREVENT EROSION FROM LEAVING THE SITE. SILT FENCE MUST BE INSTALLED AROUND THE PERIMETER OF THE STOCKPILE. IF THE STOCKPILE WILL BE ON SITE FOR MORE THAN 30 DAYS, THE STOCKPILE MUST BE SEEDED.
 - IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDED AREAS WITH UNWEATHERED SMALL GRAIN STRAW, SPREAD UNIFORMLY AT THE RATE OF 1 TO 2 TONS PER ACRE OR 100 POUNDS (2-3 BALES) PER 1,000 SQUARE FEET.
 - THE MULCH SHOULD BE ANCHORED WITH DISC TYPE MULCH ANCHORING TOOL OR OTHER MEANS AS APPROVED BY THE JURISDICTIONAL AUTHORITY. MULCH MATTING MAY BE USED IN LIEU OF LOOSE MULCH.
- IF ANY PUMP-DRIVEN DEWATERING IS NEEDED, IT SHALL BE DISCHARGED THROUGH A FILTER BAG OVER A WELL-VEGETATED AREA. THE PUMP MUST DISCHARGE AT A NON-EROSIVE VELOCITY. IF NECESSARY, AN APPROVED ENERGY DISSIPATOR MAY BE USED. IF ANY DEWATERING IS NEEDED OR ANTICIPATED, CONTRACTOR SHALL SUBMIT A DEWATERING PLAN FOR REVIEW.
- CONSTRUCTION ACCESS TO BE FROM THE EXISTING APPROACH, OR OTHER EXPRESSLY DESIGNATED AREA. NO ACCESS SHOULD BE MADE FROM ADJACENT PROPERTIES WITHOUT PRIOR CONSENT.
- ALL MUD, DIRT, AND DEBRIS TRACKED ONTO ANY ROADWAY SHALL BE REMOVED IMMEDIATELY BY THE GENERAL CONTRACTOR.
- STREETS AND/OR PARKING AREAS WILL BE SCRAPPED AND SWEEP ON A DAILY BASIS BY THE GENERAL CONTRACTOR.
- ALL DISTURBED AREAS SHALL BE MAINTAINED FOR DUST CONTROL. SPRINKLING TANK TRUCKS SHALL BE AVAILABLE AT ALL TIMES AND USED ON HAUL ROADS, ON-SITE DISTURBED AREAS, AND OTHER AREAS WHERE DUST BECOMES A PROBLEM AS A RESULT OF CONSTRUCTION ACTIVITY.
- PERMANENT SESC MEASURES FOR ANY DISTURBED LAND AREA SHALL BE COMPLETED BY THE GENERAL CONTRACTOR WITHIN FIVE (5) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER EARTH CHANGE ACTIVITY CEASES, TEMPORARY SESC MEASURES SHALL BE IMPLEMENTED IMMEDIATELY. ALL TEMPORARY SESC MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SESC MEASURES ARE IMPLEMENTED.
- THE GENERAL CONTRACTOR SHALL FINAL GRADE, ESTABLISH VEGETATION, AND/OR LANDSCAPE ALL DISTURBED AREAS NOT BUILT OR PAVED UPON.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TEMPORARY SESC DEVICES AFTER PERMANENT STABILIZATION IS ESTABLISHED.
- 3-4" OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED.
- SLOPES STEEPER THAN 1V:3H (33%) SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS.
- EXISTING DRAINAGE OUTLET FOR SITE: OVERLAND FLOW TO HARDING ST ROW STORM WATER MANAGEMENT SYSTEM.
- PROPOSED DRAINAGE OUTLET FOR SITE: CAPTURE, TREAT, DETAIN, AND OUTLET AT A CONTROLLED RATE TO HARDING ST ROW STORM WATER MANAGEMENT SYSTEM.
- TOTAL AREA OF DISTURBANCE: 0.82 ± AC
- SOIL TYPE(S): EUB: ELLSWORTH-URBAN LAND COMPLEX, 2 TO 6 PERCENT SLOPES
MnA: MAHONING-URBAN LAND COMPLEX, 0 TO 2 PERCENT SLOPES
- NAME OF AND DISTANCE TO NEAREST LAKE, STREAM, OR DRAIN: BROADWAY CREEK, 1,550 FT.



CONSTRUCTION OPERATION TIME SCHEDULE	WEEK													
	2	4	6	8	10	12	14	16	18	20	22			
1. INSTALL SESC MEASURES														
2. DEMOLITION														
3. EXCAVATION														
4. BACKFILL														
5. SESC MEASURES INSPECTIONS AND MAINTENANCE														
6. COMPLETE EARTH MOVEMENTS														
7. FINAL GRADING, SEEDING AND MULCHING														

sevan
ENGINEERING, P.C.

Regional Office:
37704 Hills Tech Drive
Farmington Hills, MI 48331
734.357.4443 Telephone

Corporate Office:
3025 Highland Parkway, Suite 850
Downers Grove, IL 60515
Info@sevaninc.com www.sevaninc.com

INTEGRITY | RESPECT | TEAMWORK | EXCELLENCE | CHAIRTY

REVISIONS

NO.	DATE	DESCRIPTION
0	09.09.2020	OWNER REVIEW
1	09.22.2020	PRELIMINARY REVIEW
2	02.16.2021	SITE PLAN & B2A SUBMITTAL

CONSULTANT

STATE OF OHIO
TIMOTHY KRATZ
E-82808
PROFESSIONAL ENGINEER
02/18/2021

CUSTOMER

jiffylube

PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**790 NORTH COURT STREET
MEDINA, OH 44212**
(MEDINA COUNTY)

SHEET TITLE

SOIL EROSION AND SEDIMENTATION CONTROL PLAN

SHEET MANAGEMENT

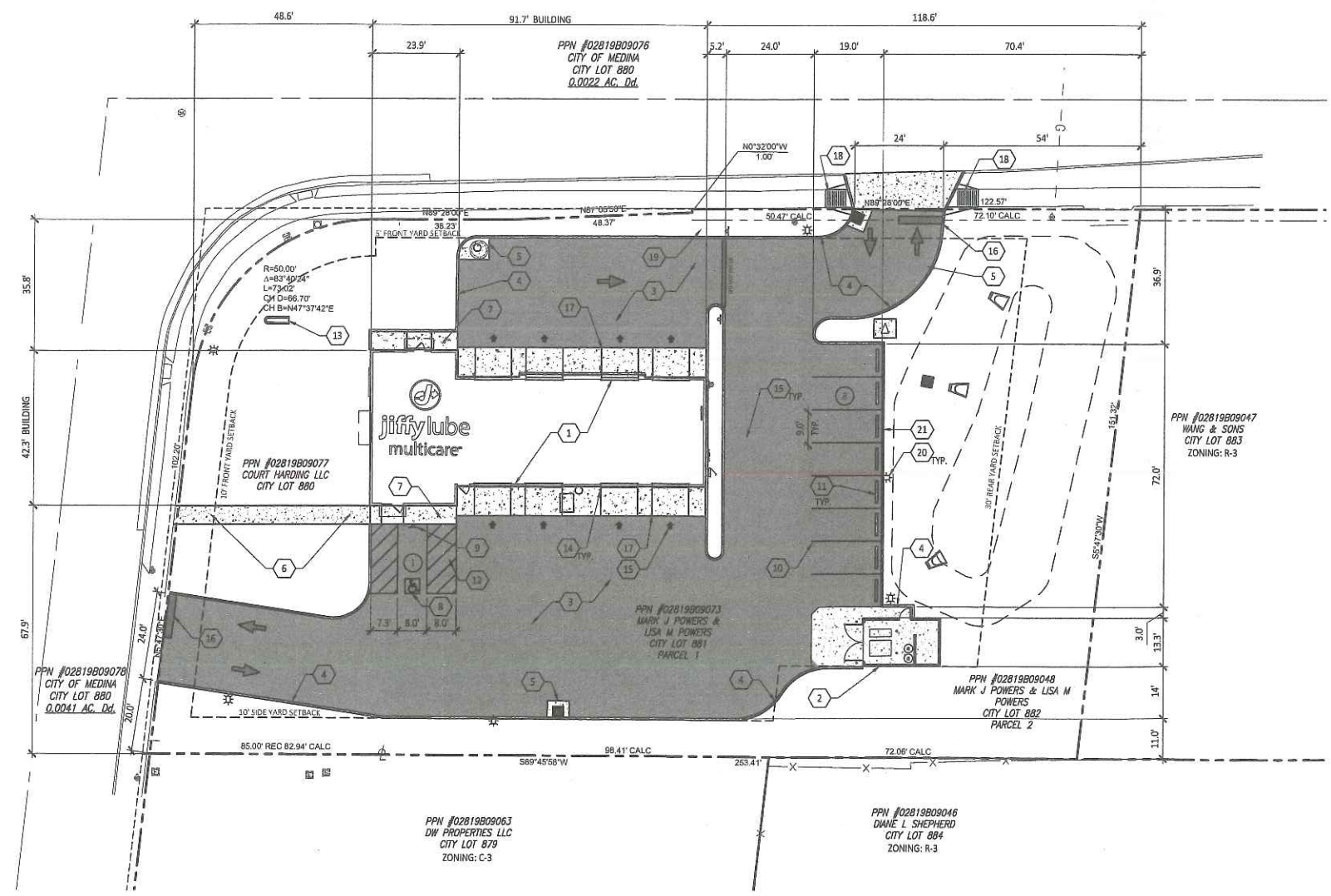
PROJECT NO.: MEDINA, OH
DATE: -
CRITERIA: V2020.10-314
PROJECT MANAGER: M. PISKO

SHEET NUMBER

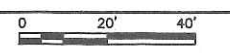
C1.11

FILE NAME: N:\Shared\Clients\Jiffy Lube\Projects\136_Medina\OH\2_Civil\ConDoc\C1.11.dwg LAST SAVED BY: Kartz, Tim. SAVED DATE: 2/17/2021 5:43 PM PLOTTED: 2/18/2021 12:52 AM

FILE NAME: Y:\Shared\Clients\Jiffy_Lube\Projects\136_Medina\OH02_Civil\Drawings\C1.20.dwg LAST SAVED BY: katz, Tim. SAVED DATE: 2/17/2021 6:06 PM PLOTTED: 2/18/2021 12:47 AM



DIMENSION CONTROL SITE PLAN
SCALE: 1" = 20'-0"



- PROPOSED SITE IMPROVEMENTS**
- JIFFY LUBE BUILDING. SEE ARCHITECTURAL DRAWINGS.
 - TRASH ENCLOSURE, CONCRETE PAD AND PIPE BOLLARDS. SEE ARCHITECTURAL DRAWINGS.
 - HEAVY DUTY BITUMINOUS PAVEMENT. SEE DETAIL 2/CS.00.
 - CONCRETE CURB. SEE DETAIL 3/CS.00.
 - CONCRETE MANHOLE OR CATCH BASIN COLLAR. SEE DETAIL 5/CS.01.
 - 5'0" WIDE ACCESSIBLE CONCRETE PUBLIC SIDEWALK PROVIDING ACCESS TO PUBLIC ROW. SEE DETAIL 2/CS.00.
 - CONCRETE BUILDING SIDEWALK. (WIDTH VARIES SEE PLAN).
 - VAN ACCESSIBLE PARKING SPACE WITH PAINTED PARKING SPACE SYMBOL. SEE DETAIL 1/CS.01.
 - BOLLARD MOUNTED VAN ACCESSIBLE PARKING SIGN MOUNTED AT 5.0' A.F.G. SEE DETAIL 4/CS.00.
 - 4" PAINTED PARKING STRIPE. COLOR: YELLOW.
 - CONCRETE WHEEL STOP.
 - PAINTED STRIPING
 - MONUMENT SIGN. SIGNS UNDER SEPARATE PERMIT.
 - PIPE BOLLARD. SEE ARCHITECTURAL DRAWINGS.
 - DIRECTIONAL ARROW. SEE DETAIL 1/CS.00.
 - PAINTED STOP BAR. SEE DETAIL 1/CS.00.
 - INTEGRAL COLOR CONCRETE APRON. SEE ARCHITECTURAL DRAWINGS.
 - HANDICAPPED ACCESSIBLE RAMP
 - TRANSFORMER AND CONCRETE PAD.
 - YARD LIGHT. REFER TO PHOTOMETRIC PLAN.
 - GRAVEL VERGE.

- GENERAL SITE NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - NOTIFY OWNER OF ANY DISCREPANCIES.
 - ALL LOT STRIPING TO BE WHITE REFLECTIVE PAINT AND TO CONFORM WITH STATE D.O.T. SPECIFICATIONS.
 - ALL WORK IN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND STANDARDS.
 - ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES, EASEMENTS AND LEGAL DESCRIPTION, ARE AS TAKEN FROM ALTA / NSP'S LAND TITLE SURVEY, AS PREPARED BY: DLZ, DATED 6/12/2020
 - PARKING SPACES TO THE EAST AND BUILDING ARE PARALLEL AND PERPENDICULAR TO PROPERTY LINE N89°28'00"E.
 - FOR ADDITIONAL INFORMATION RELATED TO BUILDING SIGNAGE, SEE SIGNAGE AND ARCHITECTURAL PLANS.
 - PROPOSED PARKING AND BUILDING ARE PARALLEL AND PERPENDICULAR TO THE NORTHERN PROPERTY LINE, N89°28'00"E.

sevan
ENGINEERING, P.C.

Regional Office:
37704 Hills Tech Drive
Farmington Hills, MI 48331
734.367.4445 Telephones

Corporate Office:
3025 Highland Parkway, Suite 850
Downers Grove, IL 60515
info@sevanohio.com www.sevanohio.com

INTEGRITY | RESPECT | TEAMWORK | EXCELLENCE | COURTESY

REVISIONS

NO.	DATE	DESCRIPTION
0	09.09.2020	OWNER REVIEW
1	09.22.2020	PRELIMINARY REVIEW
2	02.16.2021	SITE PLAN & B2A SUBMITTAL

CONSULTANT

SEAL

STATE OF OHIO

TIMOTHY KRATZ
E-82808
REGISTERED
PROFESSIONAL ENGINEER

02/18/2021

CUSTOMER

jiffylube

PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**790 NORTH COURT STREET
MEDINA, OH 44212**

(MEDINA COUNTY)

SHEET TITLE

**DIMENSION CONTROL
SITE PLAN**

SHEET MANAGEMENT

PROJECT NO.: MEDINA, OH
DATE: -
CRITERIA: V2020.10-114
PROJECT MANAGER: M. PISKO

THIS DOCUMENT AND THE DESIGN HEREIN ARE THE PROPERTY OF SEVAN ENGINEERING, P.C. NO PART OF THIS DOCUMENT OR THE DESIGN HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SEVAN ENGINEERING, P.C.

SHEET NUMBER

C1.20

FILE NAME: Y:\Shared\Clients\Jiffy Lube\Projects\105_Medina_OH\2_Civil\Conduct\C1.21.dwg LAST SAVED BY: katz, Tim. SAVED DATE: 2/17/2021 5:43 PM PLOTTED: 2/18/2021 12:47 AM

REVISIONS

NO.	DATE	DESCRIPTION
0	09.09.2020	OWNER REVIEW
1	09.22.2020	PRELIMINARY REVIEW
2	02.16.2021	SITE PLAN & BZA SUBMITTAL

CONSULTANT

SEAL

STATE OF OHIO
TIMOTHY KRATZ
E-82809
REGISTERED PROFESSIONAL ENGINEER
02/18/2021

CUSTOMER

jiffylube

PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**790 NORTH COURT STREET
MEDINA, OH 44212**
(MEDINA COUNTY)

SHEET TITLE

**TRUCK TURN
PLAN**

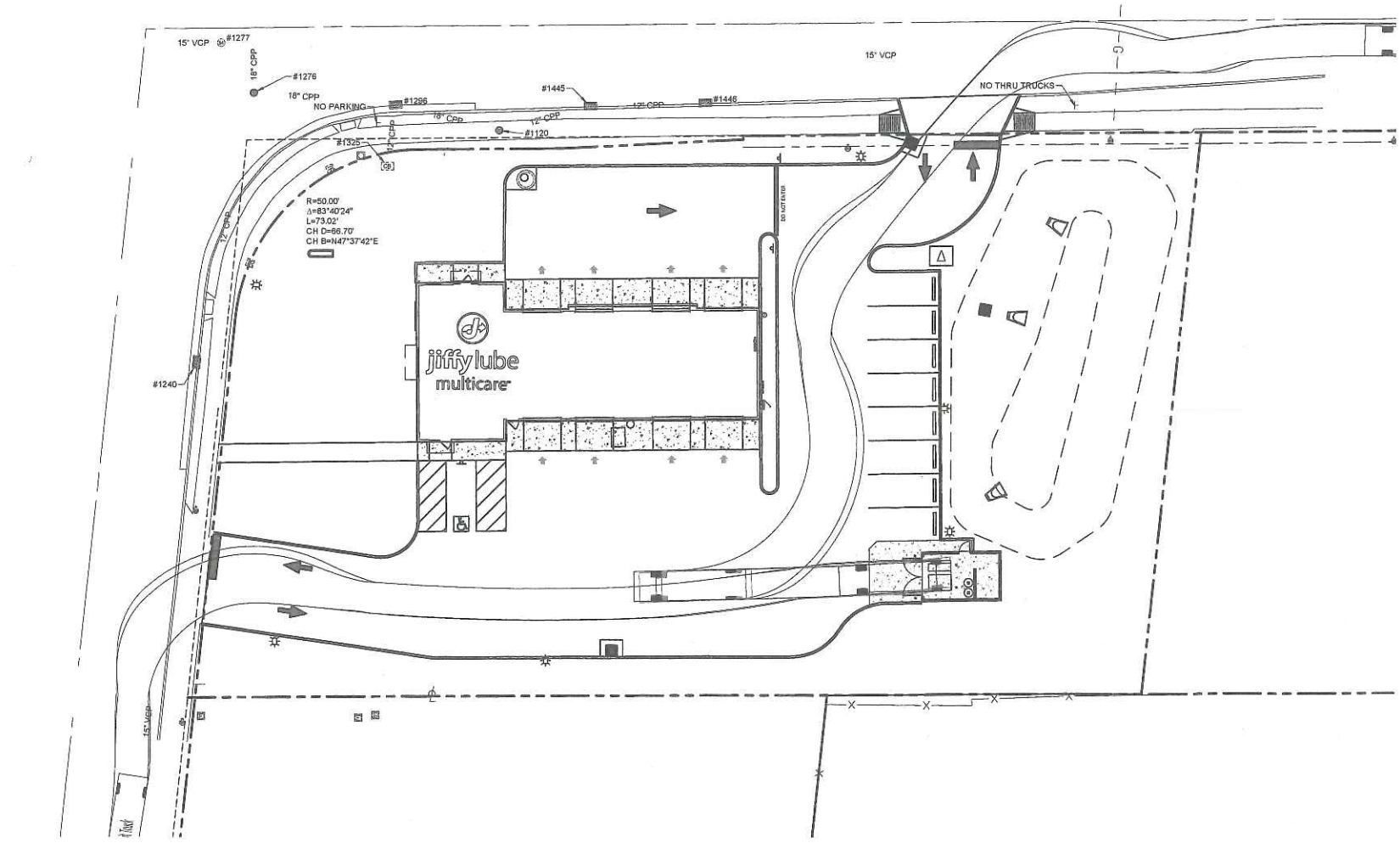
SHEET MANAGEMENT

PROJECT NO.: MEDINA, OH
DATE: -
CRITERIA: V2020.10-1/4
PROJECT MANAGER: M. PISKO

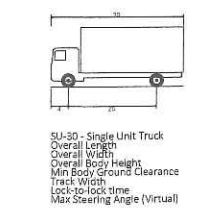
THE ENGINEER & ARCHITECT ASSUME THE LIABILITY OF THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ENGINEER & ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE ENGINEER & ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE ENGINEER & ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT.

SHEET NUMBER

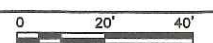
C1.21



TRUCK TURN PLAN
SCALE: 1" = 20'-0"



TRUCK PROFILE



REVISIONS

NO.	DATE	DESCRIPTION
0	09.09.2020	OWNER REVIEW
1	09.22.2020	PRELIMINARY REVIEW
2	02.16.2021	SITE PLAN & RZA SUBMITTAL

CONSULTANT

SEAL



CUSTOMER



PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**790 NORTH COURT STREET
MEDINA, OH 44212
(MEDINA COUNTY)**

SHEET TITLE

**LANDSCAPE PLAN,
NOTES, AND SCHEDULE**

SHEET MANAGEMENT

PROJECT NO.: MEDINA, OH
DATE: V2020.10-13-14
CRITERIA: M. FISKO
PROJECT MANAGER: M. FISKO

SHEET NUMBER

L1.20

PLANTING SCHEDULE				
SYMBOL	QUAN.	BOTANICAL NAME COMMON NAME	SIZE CONDITION	COMMENTS
	PN 21	PINUS NIGRA AUSTRIAN PINE	8' HT B & B	HARDY EVERGREEN TREE
	SB 12	SPIREA X. B. 'GOLD FLAME' GOLD FLAME SPIREA	18" HT/SPR CONT	YELLOW/ORANGE FOLIAGE
	TD 6	TAXUS X M. DENSIFORMIS DENSE YEW	24" HT/SPR B & B	PLANTED 4" O.C.
	PC 6	PRUNUS X CISTENA PURPLELEAF SANDCHERRY	48" HT/SP B & B	CRIMSON FOLIAGE WITH PINK FLOWERS
		PLANTING BED EDGE		SMOOTH HAND DUG EARTH EDGE
		HARDWOOD MULCH APPLIED AT 3" THICKNESS CHANGE MUST BE APPROVED BY OWNER REPRESENTATIVE.		SEE GENERAL NOTES
		ODOT ITEM 659 LAWN MIXTURE. INSTALLED AT 31 LBS/1,000 SF		SEE SEED/SOD NOTES SUPPLIER TO BE ODOT REGISTERED
		EXISTING TREE TO REMAIN. SEE TREE PROTECTION DETAIL		

SEEDING NOTES

SITE PREPARATION:

- SITE TO BE FINE GRADED BEFORE PERMANENT SEEDING OR SODDING.
- SOIL SHALL BE LOOSENED TO A DEPTH OF 4" INCHES BY DISCS, RAKING, ROTOTILLING OR OTHER ACCEPTABLE MEANS. AND RAKED SMOOTH AND FREE OF ROOTS AND STONES OVER 1"Ø.
- ENSURE PROPER DRAINAGE AND CHANNEL FLOW PROTECTION

SEED INSTALLATION

- APPLY STARTER FERTILIZER AT TIME OF SEEDING AT RATE RECOMMENDED BY MANUFACTURER. CONTRACTOR IS RESPONSIBLE FOR THE INITIAL WATERING.
- SEED WITH COMMERCIAL TURF BLEND FROM APPROVED DOT LIST OF MIXTURES
- MAXIMUM SEEDING DEPTH SHOULD BE 1/4" INCH ON CLAY SOILS AND 1/2" INCH ON SANDY SOILS. WHEN USING OTHER THAN HYDROSEEDER METHOD OF APPLICATION, STRAW MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING (NON HYDROSEEDING). AT A RATE OF 140 LBS.± (2 BALES) PER 1000 SF. MULCH MAY BE APPLIED BY HAND OR WITH A BLOWER.
- MULCH SHALL BE CLEAN, WELL SEASONED STRAW FREE OF SEEDS OR ROOTS OF NOXIOUS WEEDS
- IF HYDROSEEDING IS USED AND THE SEED, FERTILIZER AND MULCH ARE MIXED, THEY WILL BE MIXED ON SITE AND SEEDING SHALL BE IMMEDIATE WITHOUT INTERRUPTION. MULCH FOR HYDROSEEDING SHALL BE WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000 LBS. / ACRE.

MAINTENANCE:

- WATER 1 INCH MIN. WITHIN THE FIRST HOUR OF SOD OR SEED INSTALLATION BEGIN IRRIGATION SYSTEM DURING THE FOLLOWING 3 DAYS KEEPING THE SODDED OR SEEDED AREA MOIST.
- CONTINUED MAINTENANCE (MOWING, FERTILIZATION, WEEDING, ECT.) OF THE SODDED OR SEEDED AREA SHOULD BE PROVIDED BY A PROFESSIONAL LANDSCAPE MAINTENANCE CONTRACTOR.

LANDSCAPE ORDINANCE

BUFFER YARDS & SCREENING

- WHEREVER A COMMERCIAL USE ADJUTS ANY SINGLE FAMILY OF TWO FAMILY RESIDENTIAL DISTRICT A STRIP OF OPEN SPACE ALONG THE PROPERTY LINE AT LEAST 10 FEET IN WIDTH SHOULD BE ESTABLISHED. SUCH GREENBELT SHALL BE PLANTED AND MAINTAINED WITH SIGHT BLOCKING PLANT MATERIAL SUCH AS EVERGREENS OR HEDGE AT LEAST 6 FEET IN HEIGHT, TIGHTLY SITUATED AS TO PROVIDE AN EFFECTIVE AND PERMANENT VISUAL BUFFER. THE PORTION OF THE LANDSCAPED AREA NOT COVERED BY PLANTINGS SHALL BE KEPT IN A NEAT AND ORDERLY APPEARANCE.

*** AN EVERGREEN BARRIERS 6'-8" TALL IS PROPOSED ALONG THE EASTERN PROPERTY LINE. TREES 10' O.C.

- MINIMUM SIDE YARDS MUST INCLUDE 25 FEET OF LANDSCAPED AREA FOR SCREENING PURPOSE

*** A 30' SETBACK HAS BEEN PROVIDED ALONG EASTERN PROPERTY LINE ADJACENT TO RESIDENTIAL

PARKING LOTS

- IN ALL COMMERCIAL, MULTI-FAMILY, INDUSTRIAL AND PUBLIC FACILITIES DISTRICT AREAS, OPEN OFF-STREET PARKING MAY BE LOCATED IN A REQUIRED FRONT YARD PROVIDED A MINIMUM TEN (10) FOOT WIDE LANDSCAPED STRIP IS LOCATED BETWEEN THE PARKING AREA AND THE STREET RIGHT-OF-WAY LINE UNLESS A LESSER DEPTH IS PERMITTED BY THE PLANNING COMMISSION DUE TO SITE CONSTRAINTS. IN NO CASE SHALL THE LANDSCAPE STRIP BE LESS THAN FIVE (5) FEET. IN ALL DISTRICTS, OFF-STREET PARKING FACILITIES MAY OCCUPY THE REQUIRED SIDE AND REAR YARD.

*** VEHICULAR PARKING IS NOT WITHIN 10' OF R.O.W.

INTERIOR PARKING LOT LANDSCAPING:

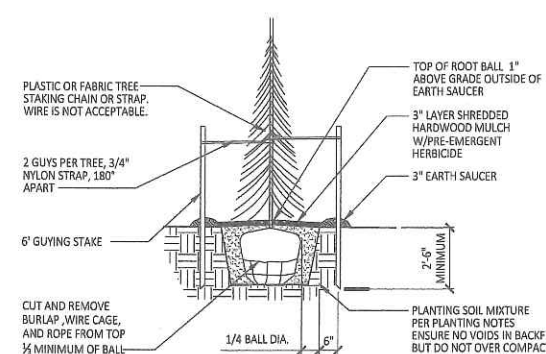
- THE MINIMUM LANDSCAPE AREA PERMITTED SHALL BE 64 SQUARE FEET WITH A 4' MINIMUM DIMENSION TO ALL TREES FROM EDGE OF PAVEMENT WHERE VEHICLES OVERHANG.

*** ALL INTERIOR LANDSCAPE AREAS ARE GREATER THAN 64 SF
ANY LANDSCAPED AREA PROVIDED UNDER THIS SECTION (PARKING LOT LANDSCAPING) SHALL BE COVERED WITH MULCH OR VEGETATIVE GROUND COVER.

*** SEE PLANTING NOTES AND SOD/SEED NOTES

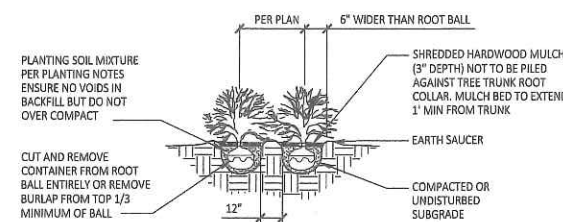
- NATURAL OR LANDSCAPED DETENTION BASINS MAY COUNT TOWARDS THE MINIMUM SQUARE FOOTAGE LANDSCAPING REQUIREMENTS WHERE THE BASINS ARE IN THE FRONT OR SIDE YARD.

*** NOT APPLICABLE



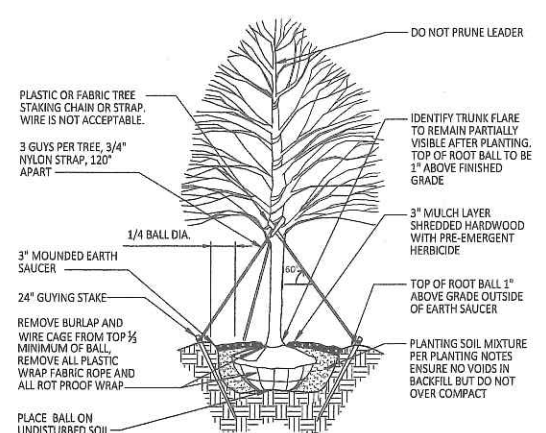
4 EVERGREEN TREE PLANTING

SCALE: NO SCALE



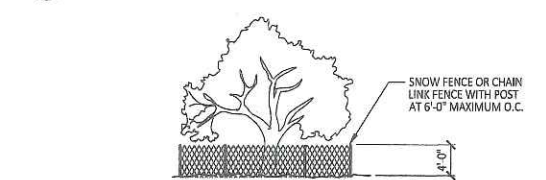
3 TYPICAL SHRUB PLANTING

SCALE: NO SCALE



2 DECIDUOUS TREE PLANTING

SCALE: NO SCALE



1 TREE PROTECTION FENCING

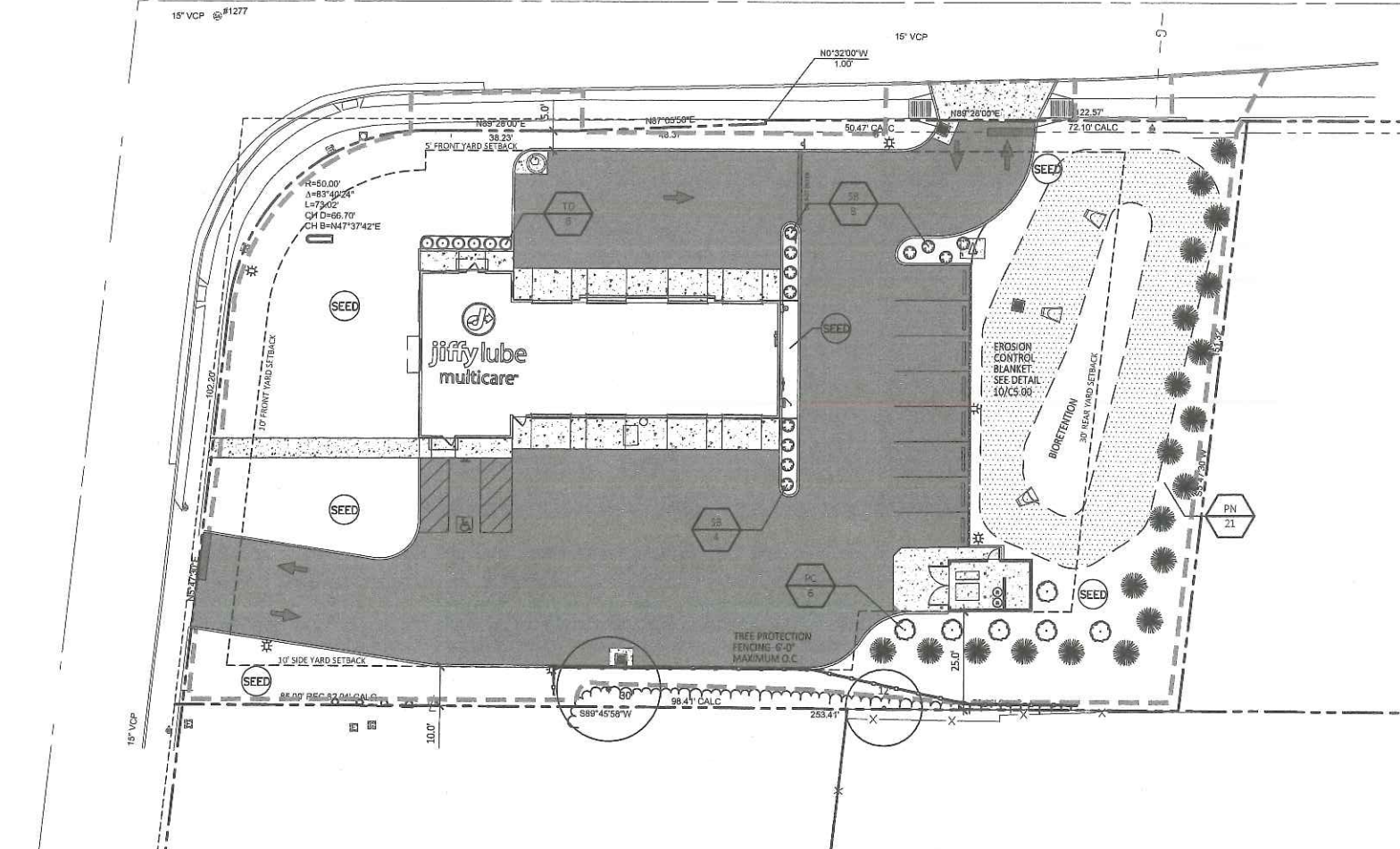
SCALE: NO SCALE

GENERAL NOTES

- AT THE TIME OF SITE PREPARATION, CONTRACTOR TEAM (GENERAL, GRADING & LANDSCAPE) TO REVIEW ALL EXISTING VEGETATION, AND TAG MATERIALS TO BE SAVED OR RELOCATED.
- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.
- IF THE LANDSCAPE CONTRACTOR OBSERVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO PROCUREMENT AND/OR INSTALLATION.
- LOCATE ALL UTILITIES PRIOR TO DIGGING, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES. DO NOT PLANT TREES, EVERGREENS, AND SHRUBS OVER ANY EXISTING OR PROPOSED UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. ANY ITEM OR AREAS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO ITS ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE.
- ALL PLANTING BEDS TO RECEIVE 6" MIN. OF PREPARED BACKFILL MIX. ALL INDIVIDUALLY PLANTED TREES AND SHRUBS TO BE BACKFILLED WITH PREPARED BACKFILL MIX. PREPARED BACKFILL MIXTURES SHALL BE MIXED ON SITE, CONSISTING OF ONE PART TOPSOIL, ONE PART SOIL AMENDMENT, ONE PART SOIL FROM EXCAVATION.
- PLANT BEDS TO DRESSED WITH PRE-EMERGENT HERBICIDE AND MULCHED WITH 3" OF SHREDDED HARDWOOD WITH. SEE DETAIL THIS SHEET.
- ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS. BEDS TO BE LAID OUT AND APPROVED BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO PLANTING. LAWN TREES TO BE MULCHED WITH 4" DIAMETER BED WITH 3" MULCH RING
- SEED OR SOD ALL AREAS, WITHIN CONTRACT LIMITS, NOT COVERED BY PAVING, BUILDINGS OR PLANTING BEDS UNLESS OTHERWISE NOTED. SODDING SHALL NOT BEGIN UNTIL AREA HAS RECEIVED A FINISHED GRADE. SEE SOD/SEED NOTES.
- SUBSTITUTIONS SHALL BE PERMITTED WITH NOTIFICATION AND WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. SUBSTITUTED MATERIAL SHALL BE THE NEAREST EQUIVALENT SIZE, CONDITION AND GROWTH HABIT HAVING THE SAME ESSENTIAL CHARACTERISTICS WITH AN EQUITABLE ADJUSTMENT IN WHOLESALE PRICE.
- LANDSCAPING TO COMPLY WITH ALL APPLICABLE ZONING REGULATIONS OF THE CITY/COUNTY OF MEDINA.

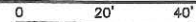
PLANTING NOTES

- ALL TREES AND SHRUBS SHALL BE STAKED IN THE FIELD PER PROVIDED DETAILS
- PLANT MATERIAL SHALL CONFORM TO THE PLANT LIST AND KEYS ON THE DRAWINGS AND TO THE QUALITY STANDARDS OF AMERICAN STANDARD FOR NURSERY STOCK. ALL PLANTS SHALL EQUAL OR EXCEED THE MEASUREMENTS AND SIZES SPECIFIED IN THE SCHEDULE.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THEN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS, AND PARKING STALLS:
A. SHADE TREES: 5 FEET
B. ORNAMENTAL AND EVERGREEN TREES: 10 FEET (CRAB, PINE, SPRUCE, ETC.)
C. SHRUBS: 4 FEET
- ALL SHRUB PLANTINGS WITHIN SITE TRIANGLE AREAS TO BE MAXIMUM HEIGHT OF 30", AND FIRST BRANCHING FOR PROPOSED TREES TO BE MINIMUM OF 7' ABOVE PROPOSED GRADES.
- PLANTINGS SHALL BE FERTILIZED UPON INSTALLATION WITH A SLOW RELEASE GRANULAR COMMERCIAL TREE/SHRUB FERTILIZER. RATE PER MANUFACTURES INSTRUCTIONS. FERTILIZER TO MIXED WITH BACKFILL PREVIOUSLY DESCRIBED. FERTILIZER TABLETS ARE NOT ACCEPTABLE. PLANTING BEDS SHALL BE COVERED WITH PRE-EMERGENT HERBICIDE APPLIED AT PRODUCT SPECIFIED RATE UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. UNACCEPTABLE PLANT MATERIAL THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOM OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR.



LANDSCAPE PLAN, NOTES, AND SCHEDULE

SCALE: 1" = 20'-0"



Evolve™ LED Wall Pack
5500K 40W

Evolve™ LED Area Light
5500K 40W/60W/80W

current

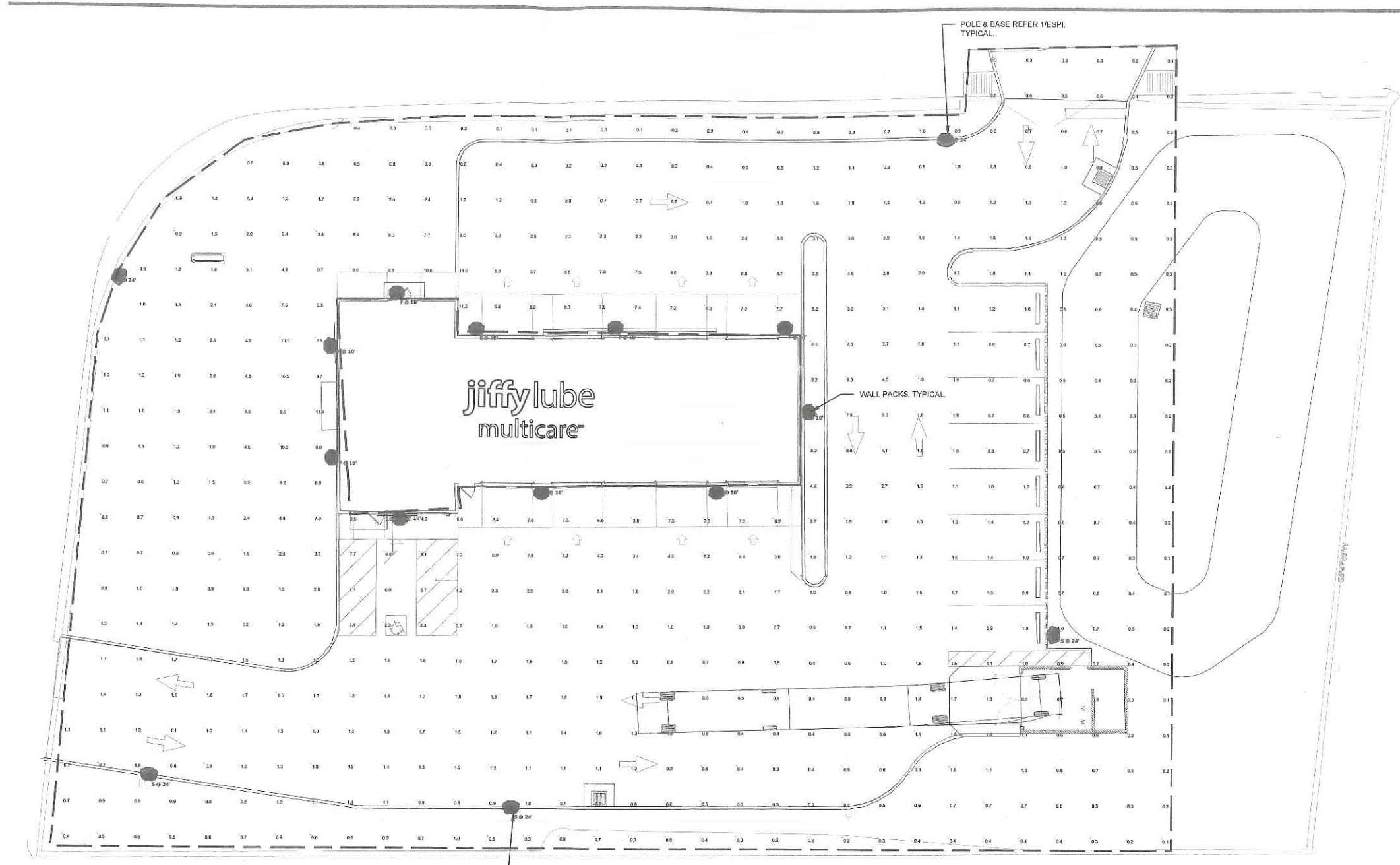
Notes:

1. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
3. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE (IEC) AND ALL APPLICABLE LOCAL CODES.
4. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ILLUMINATION REQUIREMENTS (IIR) AND ALL APPLICABLE LOCAL CODES.
5. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENCY ACT (IEEA) AND ALL APPLICABLE LOCAL CODES.
6. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS SUSTAINABLE BUILDING DESIGN ACT (SBD) AND ALL APPLICABLE LOCAL CODES.
7. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS GREEN BUILDING ACT (IGBA) AND ALL APPLICABLE LOCAL CODES.
8. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS LEED GREEN BUILDING CERTIFICATION (LEED) AND ALL APPLICABLE LOCAL CODES.
9. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY STAR PROGRAM AND ALL APPLICABLE LOCAL CODES.
10. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
11. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
12. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
13. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
14. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
15. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
16. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
17. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
18. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
19. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
20. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.

Manufacturer:

Notes:

1. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
3. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE (IEC) AND ALL APPLICABLE LOCAL CODES.
4. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ILLUMINATION REQUIREMENTS (IIR) AND ALL APPLICABLE LOCAL CODES.
5. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENCY ACT (IEEA) AND ALL APPLICABLE LOCAL CODES.
6. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS SUSTAINABLE BUILDING DESIGN ACT (SBD) AND ALL APPLICABLE LOCAL CODES.
7. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS GREEN BUILDING ACT (IGBA) AND ALL APPLICABLE LOCAL CODES.
8. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS LEED GREEN BUILDING CERTIFICATION (LEED) AND ALL APPLICABLE LOCAL CODES.
9. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY STAR PROGRAM AND ALL APPLICABLE LOCAL CODES.
10. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
11. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
12. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
13. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
14. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
15. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
16. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
17. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
18. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
19. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.
20. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ENERGY EFFICIENT BLDG. ACT AND ALL APPLICABLE LOCAL CODES.



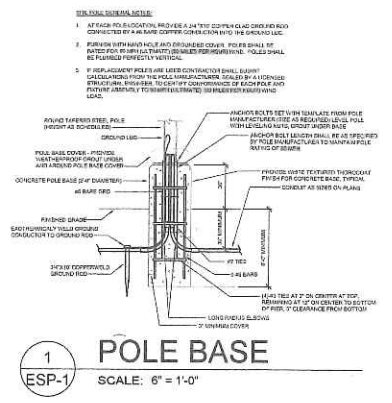
A SITE PHOTOMETRICS
SCALE: 6" = 1'-0"

Plan View
Scale - 1" = 10'

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Footcandle	Lumens Per Lamp	Light Loss Factor	Wattage
S	S	5	GE LIGHTING SOLUTIONS	ESMDA3FS9D	EVOLVE SCALABLE AREA HORIZONTAL AREA LARGE	1: 57W HBLE, CLEAR SHI, VIB	1	Type P Wallpack.IES	5100	1	62
F	F	10	GE LIGHTING SOLUTIONS	EWNL3740	EVOLVE LED WALLPACK - EWNL	LED	1	Type S Pole Light.IES	4600	1	44

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.0 fC	11.6 fC	0.1 fC	116.0:1	20.0:1



1 POLE BASE
SCALE: 6" = 1'-0"

THIS DOCUMENT IS THE PROPERTY OF CASCO. IT IS TO BE USED ONLY FOR THE PROJECT AND NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF CASCO, THIS DOCUMENT IS TO BE DESTROYED AND NOT REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

jiffylube®

MULTI-CARE SERVICES
CRITERIA V2020.10-134
MEDINA, OH
790 N. COURT RD., 44256

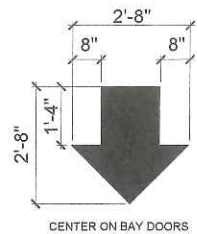
REVISIONS
REVISED PACKAGE 2/16/2021

PROFESSIONAL OF RECORD
HARRY J. AUMAN
License No. 116827
Expiration Date 12/31/21
PROFESSIONAL OF RECORD
PHONE: 314-821-1100

Drawn/Checked By: XXX / XXX
Project Number 920397
Owner Date XX-XX-XX
Permit Date XX-XX-XX
Bid Date XX-XX-XX

SITE PHOTOMETRICS
ESP-1

CASCO
12 Sumner Drive, Suite 100, St. Louis, MO 63145 T: 314-821-1100

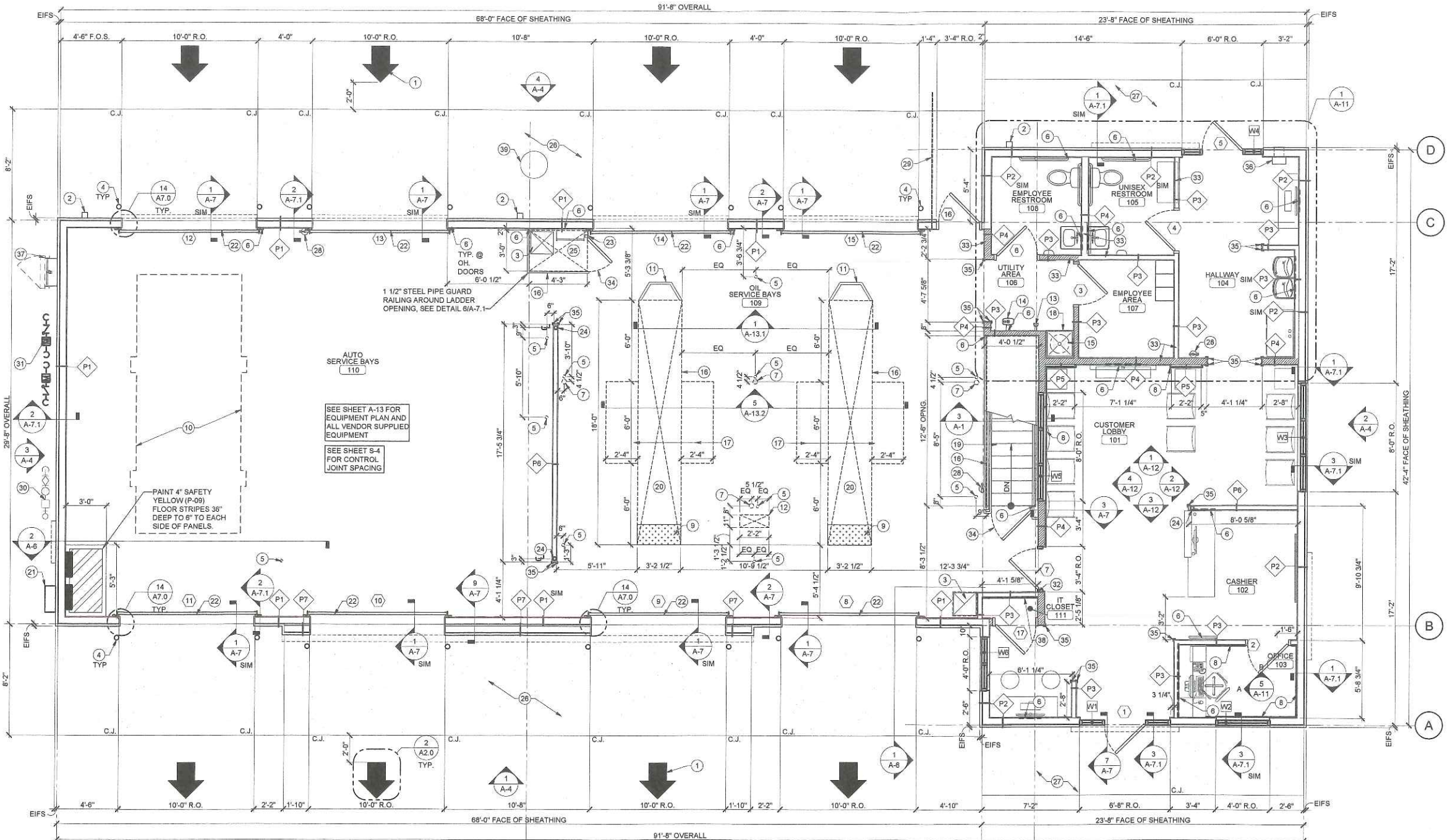


2 DIRECTIONAL ARROW

SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
1. ALL INTERIOR DIMENSIONS ARE TO FACE STUD, UNLESS NOTED OTHERWISE.
 2. COORDINATE CONCRETE WALKS AND STOOPS WITH CIVIL PLANS.
 3. PROVIDE BLOCKING AND JUNCTION BOX WITH ACCESS FOR SIGN INSTALLATION AT EACH LOCATION. COORDINATE WITH NATIONAL SIGN VENDORS (AGI - JODY MUNSEY, PHONE: 885-692-1242 OR ICON - JON LUCAS, PHONE: 281-693-7646) FOR SIGN SPECIFICATIONS. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
 4. ALL HATCHED INTERIOR PARTITIONS BETWEEN GRID LINES '1' AND '3' SHOULD EXTEND FULL HEIGHT TO UNDERSIDE OF DECK. ALL NON-HATCHED PARTITIONS SHOULD STOP 6" ABOVE CEILING.

- PLAN KEY NOTES**
1. PAINTED ARROW BOTH SIDES (PAINT P-09)
 2. DOWNSPOUT - SEE SHEET A-3 FOR MORE INFORMATION
 3. SLAB OPENINGS FOR DUCT, COORDINATE WITH STRUCTURAL AND MECHANICAL DRAWINGS
 4. PIPE BOLLARD - SEE DETAIL 6/A-13.2 FOR MORE INFORMATION
 5. 2-1/2" SLEEVED OPENING FOR AIR BELOW, COORDINATE FINAL LOCATION WITH EQUIPMENT INSTALLER
 6. GC TO PROVIDE BLOCKING IN WALL FOR MOUNTING OF EQUIPMENT AND FIXTURES
 7. 4" DIA. PVC SLEEVED OPENING FOR VACUUM, COORDINATE FINAL LOCATION WITH EQUIPMENT INSTALLER
 8. CHAIR RAIL - INPRO 2500 CHAIR RAIL (TAUPE 0113) - GC TO CONFIRM MOUNTING HEIGHT IS ADJUSTED TO PREVENT BACK OF CHAIR FROM HITTING WALL
 9. DIAMOND PLATE, TYP OF (2), SEE DETAIL 1/A-13.2
 10. RECESSED SLAB FOR ALIGNMENT LIFT, SEE STRUCT. AND DETAIL 3/A-13.2
 11. WHEEL GUARD, TYP OF (2), SEE DETAIL 1/A-13.2
 12. BLOCKOUT FOR PRODUCT DISPENSE CONSOLE, VERIFY WITH OWNER'S REP
 13. EYEWASH STATION - SEE PLUMBING DRAWINGS
 14. WATER BUBBLER - SEE PLUMBING DRAWINGS
 15. WATER HEATER LOCATED ABOVE, - SEE PLUMBING DRAWINGS
 16. EXPOSED STEEL PLATE TOE KICK ALONG BASE OF GUARDRAIL (4") AND PIT OPENING (2"), SEE STRUCTURAL
 17. RECESSED VEHICLE LIFT - PROVIDE BLOCKOUT FOR LIFT. SEE DETAIL 5/A-13.2
 18. MOP SINK - SEAL PERIMETER OF MOP SINK TO WALL ON THREE WALLED SIDES.-SEE PLUMBING DRAWINGS.
 19. STAIR - SEE A-1 AND A-6 FOR DETAILS
 20. SLAB OPENING FOR SERVICE
 21. DISCONNECT AND METER SYSTEM, SEE ELECTRICAL
 22. REFER TO STRUCTURAL FOR DOOR RECESS AT ALL OVERHEAD DOOR LOCATIONS.
 23. 2 1/2" STEEL POST WELD TO BOTTOM OF FLOOR BEAM AND PERIMETER ANGLE, PROVIDE ANGLE BRACKET BACK TO WALL AT TOP, TO SUPPORT SAFETY GATE.
 24. STEEL POST SUPPORTS IN LOW WALL TYP., SEE DETAIL 9/A-7.1
 25. FLOOR ACCESS LADDER FROM LOWER BAY AREA, SEE DETAIL 6/A-7.1
 26. CONCRETE APRON. FINISH TO BE F04, SEE A-10 FOR FINISH SCHEDULE. SEE STRUCTURAL FOR REINFORCEMENT
 27. SIDEWALK - SEE CIVIL-VERIFY 2% ADA SLOPE.
 28. FIRE EXTINGUISHER (BY GC), VERIFY EXACT LOCATION WITH FIRE MARSHAL (MOUNT 48" AFF. MAX. TO COMPLY WITH ADA)
 29. PROVIDE 1" CONDUIT UNDER SLAB ALONG CURB. DAYLIGHT THROUGH CURB AT DIRECTION OF JJI REP.
 30. GAS METER - SEE PLUMBING DRAWINGS
 31. DOMESTIC & IRRIGATION WATER SERVICES - SEE PLUMBING DRAWINGS
 32. SET CLOSET WALL TO ALLOW GYP. BD. BEHIND DOOR JAMB.
 33. PROVIDE SOUND BATTS IN THIS WALL
 34. PROVIDE YELLOW SAFETY GATE. SEE A-1 FOR ADDITIONAL INFORMATION.
 35. PROVIDE 1 1/2" X 60" TALL (48" IN LOBBY) STAINLESS STEEL CORNER GUARDS AT LOCATIONS NOTED. SECURE WITH 3 M HEAVY DUTY DOUBLE STICK CARPET TAPE, MODIFY AT SHORT WALL.
 36. KEY DROP BOX WDC-160 PROTEX WALL DROP BOX WITH ADJUSTABLE CHUTE, SEE A-4 & 5/A-7.1
 37. ROOF ACCESS LADDER - SEE 4/A-7.1
 38. 3/4" x 4'-0" x 8'-0" FR. PLYWOOD AT REAR OF CLOSET, SEE ELECTRICAL FOR MORE INFORMATION.
 39. APPROXIMATE SUMP PUMP LOCATION - SEE PLUMBING FOR MORE INFORMATION.



1 UPPER BAY FLOOR PLAN

SCALE: 1/4" = 1'-0"

- PARTITION LEGEND**
- P1: 2 X 6 WOOD STUDS WITH R21 BATT INSULATION IN CAVITIES, WITH 1/2" SHEATHING & 2" EIFS ON EXTERIOR SIDE, 1/2" PLYWOOD W/ FRP TO 96" A.F.F. & GYP ABOVE INSIDE. (SEE STRUCTURAL)
 - P2: 2 X 6 WOOD STUDS WITH R21 BATT INSULATION IN CAVITIES, WITH 1/2" SHEATHING AND 2" EIFS ON EXTERIOR SIDE, 5/8" GYP BD. ON INTERIOR SIDE. (SEE STRUCT. FOR STUD SPACING)
 - P3: 2 X 4 WOOD STUDS @ 16" O.C., WITH 5/8" GYP BD. EA. SIDE. SEE GENERAL NOTE #33. PROVIDE M.R. GYP BOARD IN WET AREAS.
 - P4: 2 X 6 WOOD STUDS @ 16" O.C., WITH SOUND BATT INSULATION IN CAVITIES, WITH 5/8" GYP BD. EA. SIDE. PROVIDE M.R. GYP BOARD IN WET AREAS. ON DEMISING WALL BETWEEN CUSTOMER LOBBY ROOM AND OIL SERVICE BAYS, PROVIDE 1/2" PLYWOOD W/ FRP TO 96" A.F.F. ON SERVICE BAY SIDE ONLY.
 - P5: 1 1/2" WALL FURRING STRIPS @ 24" O.C. FLAT FRAMED WITH 5/8" GYP BD. EA. SIDE.
 - P6: LOW WALL 42" HIGH, 2 X 4 WOOD STUDS @ 16" O.C., SEE DETAIL 9/A-7.1 FOR STEEL POST WALL REINFORCEMENT. (SERVICE AREA) FRP OVER 1/2" PLYWOOD. EACH SIDE. CAP WITH 2x6 PAINTED P01. (LOBBY) 5/8" GYP. BD. PAINTED. CAP WITH MELAMINE WRAPPED 1X6 BY MILLWORK VENDOR.
 - P7: 2 X 6 WOOD STUDS ON HORIZONTAL 2X BRIDGING WITH 1/2" SHEATHING & 2" EIFS ON EXTERIOR SIDE OVER WALL TYPE 'P1'. (SEE STRUCTURAL)



jiffylube
 MULTI-CARE SERVICES
 CRITERIA V2020.10-1X4
 MEDINA, OH
 790 N. COURT RD., 44256

REVISIONS
 REVISED PACKAGE 2/16/2021

Professional Architect Seal
 STATE OF OHIO
 MARK S. BROMMEIER
 1115327
 REGISTERED ARCHITECT
 2/17/21

Brommer, Mark S.
 LIC. NO. 1115327
 EXP. DATE 12/31/21
 PROFESSIONAL OF RECORD
 PHONE: 314-823-1100

Drawn/Checked By: XXX/XXX
 Project Number 920397
 Owner Date XX-XX-XX
 Permit Date XX-XX-XX
 Bid Date XX-XX-XX

FLOOR PLAN - UPPER BAY
A-2

JIFFY LUBE INTERNATIONAL 2013 (ALL RIGHTS RESERVED) FOR WHICH THESE DOCUMENTS AND ALL DATA, PLANS, SPECIFICATIONS AND OTHER INFORMATION ARE THE PROPERTY OF JIFFY LUBE INTERNATIONAL. ANY UNAUTHORIZED USE OF THESE DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF JIFFY LUBE INTERNATIONAL OR CASCO IS STRICTLY PROHIBITED. THESE DRAWINGS SHALL BE REVIEWED AND SEALED BY A SUCCEEDING PROJECT IS TO BE CONSTRUCTED.

Jiffy lube®
MULTI-CARE SERVICES
CRITERIA V2020.10-1X4
MEDINA, OH
750 N. COURT RD., 44256

REVISIONS
REVISED PACKAGE 2/16/2021

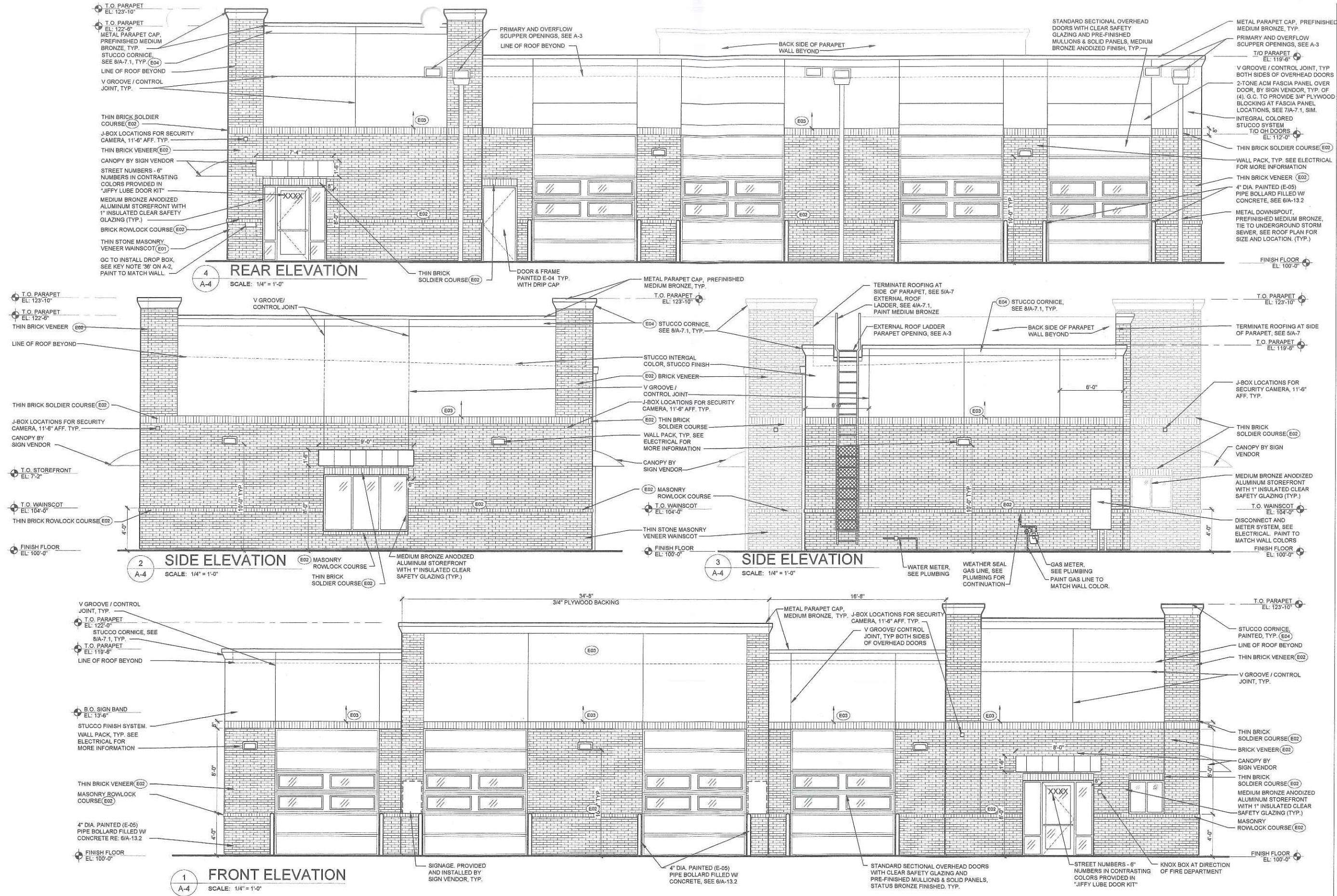
STATE OF OHIO
REGISTERED ARCHITECT
MARK S. BROMEIER
1115327
2/17/21

Bromeier, Mark S.
Lic. No. 1115327
Exp. Date 12/31/21
PROFESSIONAL OF RECORD
PHONE: 314-821-1100

Drawn/Checked By: XXX/XXX
Project Number: 920397
Owner Date: XX-XX-XX
Permit Date: XX-XX-XX
Bid Date: XX-XX-XX

EXTERIOR ELEVATIONS

A-4



MARK	EXTERIOR FINISH SCHEDULE:	MATERIAL	MFR #	COLOR
E01	NOT USED			
E02	EXT. WALLS: THIN BRICK VENEER	ACME THIN BRICK VENEER	DVP615	RED COLORADO RUMBLD - NO BLACK
E03	EXT. WALLS: INTEGRAL COLOR STUCCO TO MATCH	PAINT (SEMI-GLOSS)	SW7005	PURE WHITE
E04	EXT. WALLS: CORNICE / MAN-DOORS	PAINT (SEMI-GLOSS)	SW2827	COLONIAL REVIVAL STONE
E05	EXT. WALLS: TRAFFIC BOLLARDS	PAINT (SEMI-GLOSS)	SW2905	CARMINE
E06	EXT. WALLS: APPLY OVER CARMINE COLOR ABOVE	PAINT (SEMI-GLOSS)	CLEAR COAT	SHER-CLEAR

NOTE:
ALL COLOR NAMES INDICATED ARE FOR SELECTION PURPOSES ONLY. SEE PAINT SPECS FOR SPECIFIC REQUIREMENTS. DESCRIPTION: ALL "SHERWIN WILLIAMS" NUMBERS "SW" COLORS.
APPLY CLEAR COAT (E06) OVER CARMINE (E05) ON EXTERIOR APPLICATIONS.

JIFFY LUBE INTERNATIONAL 2023 (ALL RIGHTS RESERVED) AND ITS AFFILIATED COMPANIES AND ALL DATA, PLANS, SPECIFICATIONS AND OTHER DOCUMENTS ARE THE PROPERTY OF JIFFY LUBE INTERNATIONAL. ANY UNAUTHORIZED USE OF THESE DOCUMENTS OR REPRODUCTION THEREOF BE AT THE USER'S SOLE RISK, WITHOUT LIABILITY AND SUBJECT TO REASONABLE COMPENSATION BY THE USER TO JIFFY LUBE INTERNATIONAL. AS A CONDITION OF SALE, ALL INFORMATION IS PROVIDED AS IS. JIFFY LUBE INTERNATIONAL MAKES NO WARRANTY, REPRESENTATION OR GUARANTEE FOR A SPECIFIC PROJECT. THESE DRAWINGS SHALL BE USED ONLY FOR THE PROJECT AND SHALL BE REVIEWED AND SEALED BY A SUCCEEDING PROJECT IS TO BE CONSTRUCTED.

Jiffy lube
MULTI-CARE SERVICES
CRITERIA V2020.10-1X4
MEDINA, OH
790 N. COURT RD., 44256

REVISIONS
REVISED PACKAGE 2/16/2021

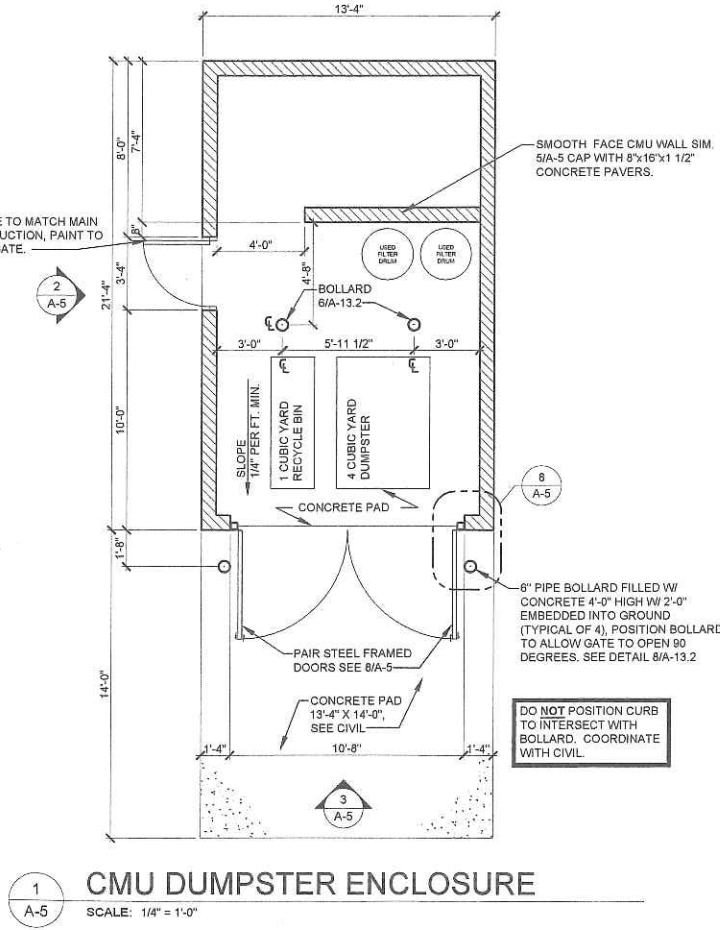
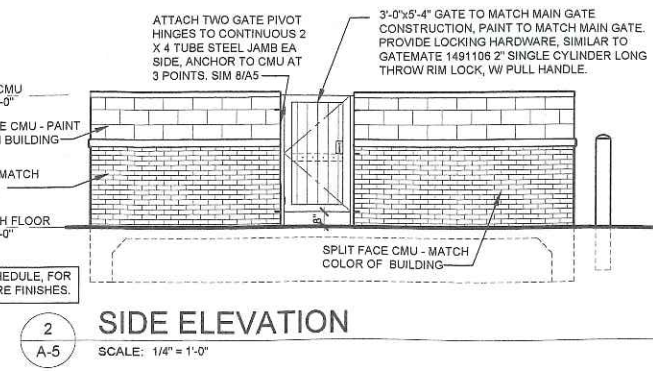
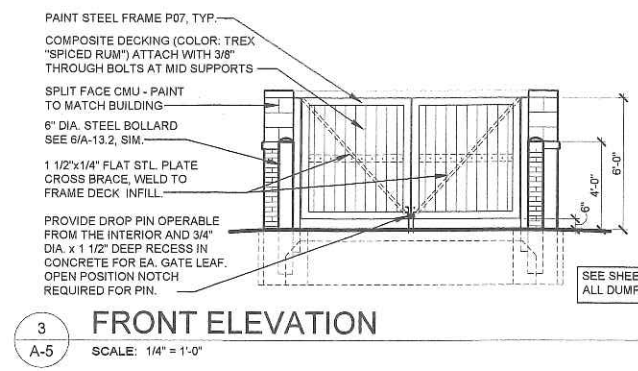
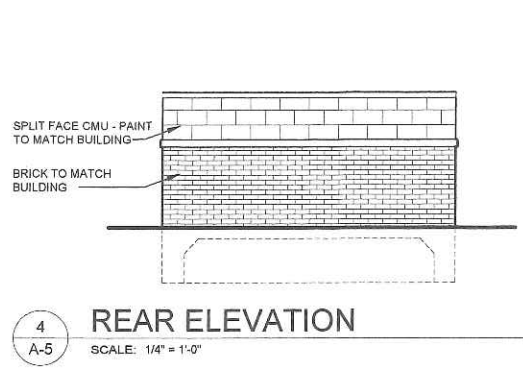
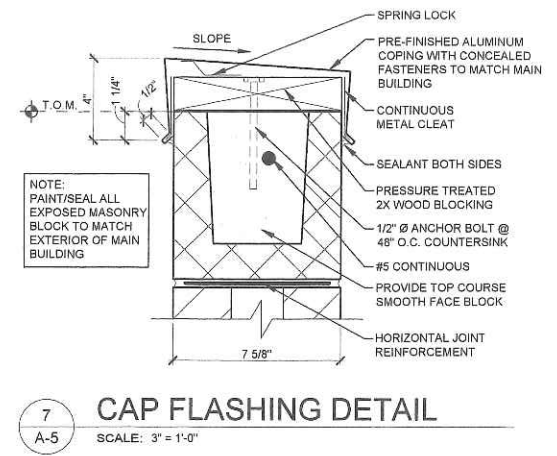
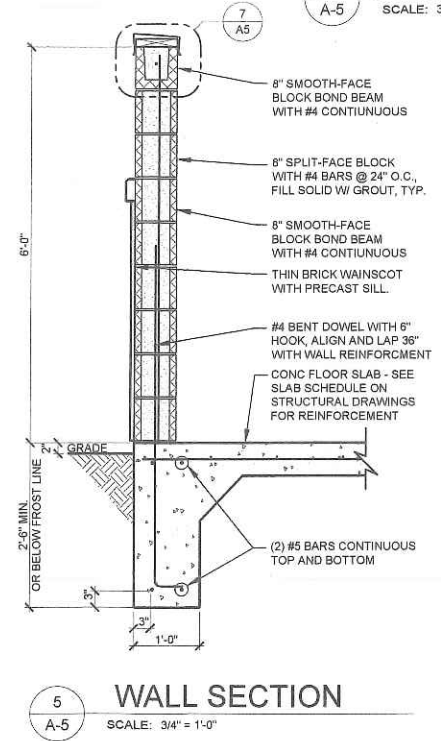
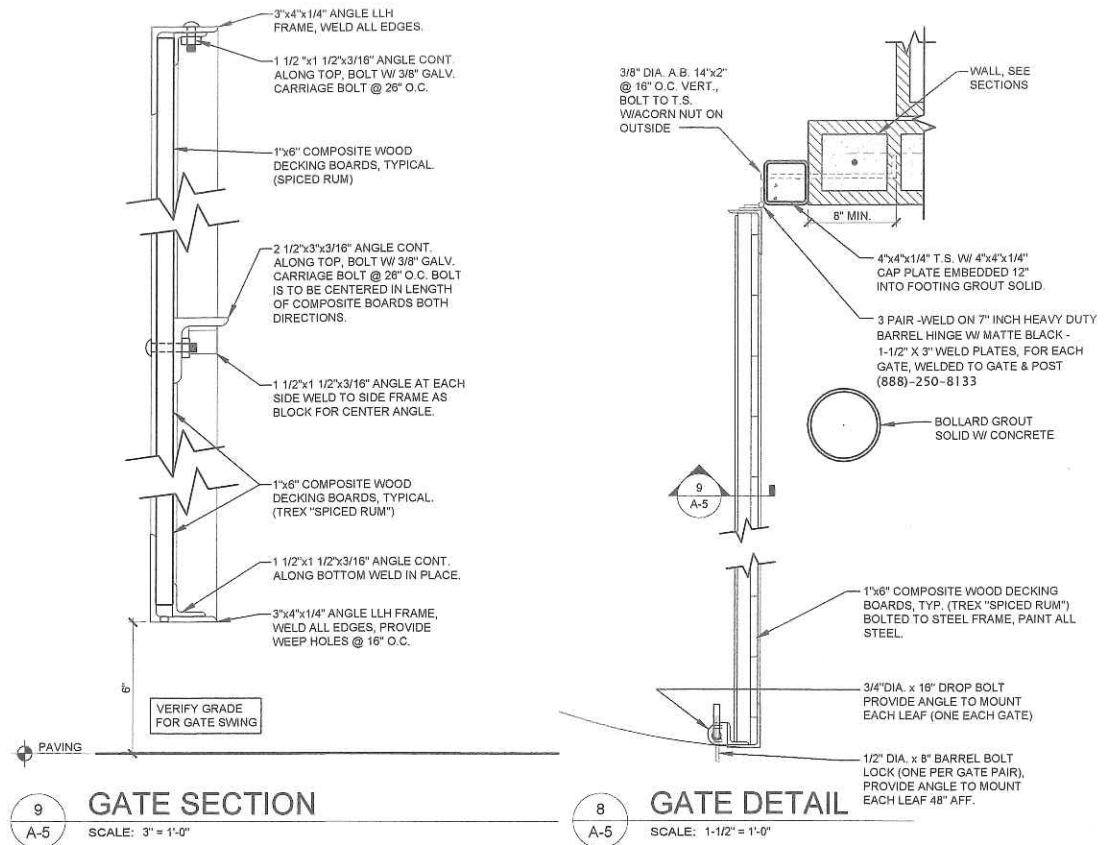
STATE OF OHIO
REGISTERED ARCHITECT
MARK S. BROMEIER
1115327
2/17/21

Bromier, Mark S.
LIC. NO. 1115327
EXP. DATE 12/31/21
PROFESSIONAL OF RECORD
PHONE: 314-821-1300

Drawn/Checked By: XXX/XXX
Project Number: 920397
Owner Date: XX-XX-XX
Permit Date: XX-XX-XX
Bid Date: XX-XX-XX

DUMPSTER ENCLOSURE

A-5



REVISIONS

NO.	DATE	DESCRIPTION
0	09.09.2020	OWNER REVIEW
1	09.22.2020	PRELIMINARY REVIEW
2	02.16.2021	SITE PLAN & B2A SUBMITTAL

CONSULTANT

SEAL



CUSTOMER



PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**790 NORTH COURT STREET
MEDINA, OH 44222**
(MEDINA COUNTY)

SHEET TITLE

SITE PLAN - SIGNS

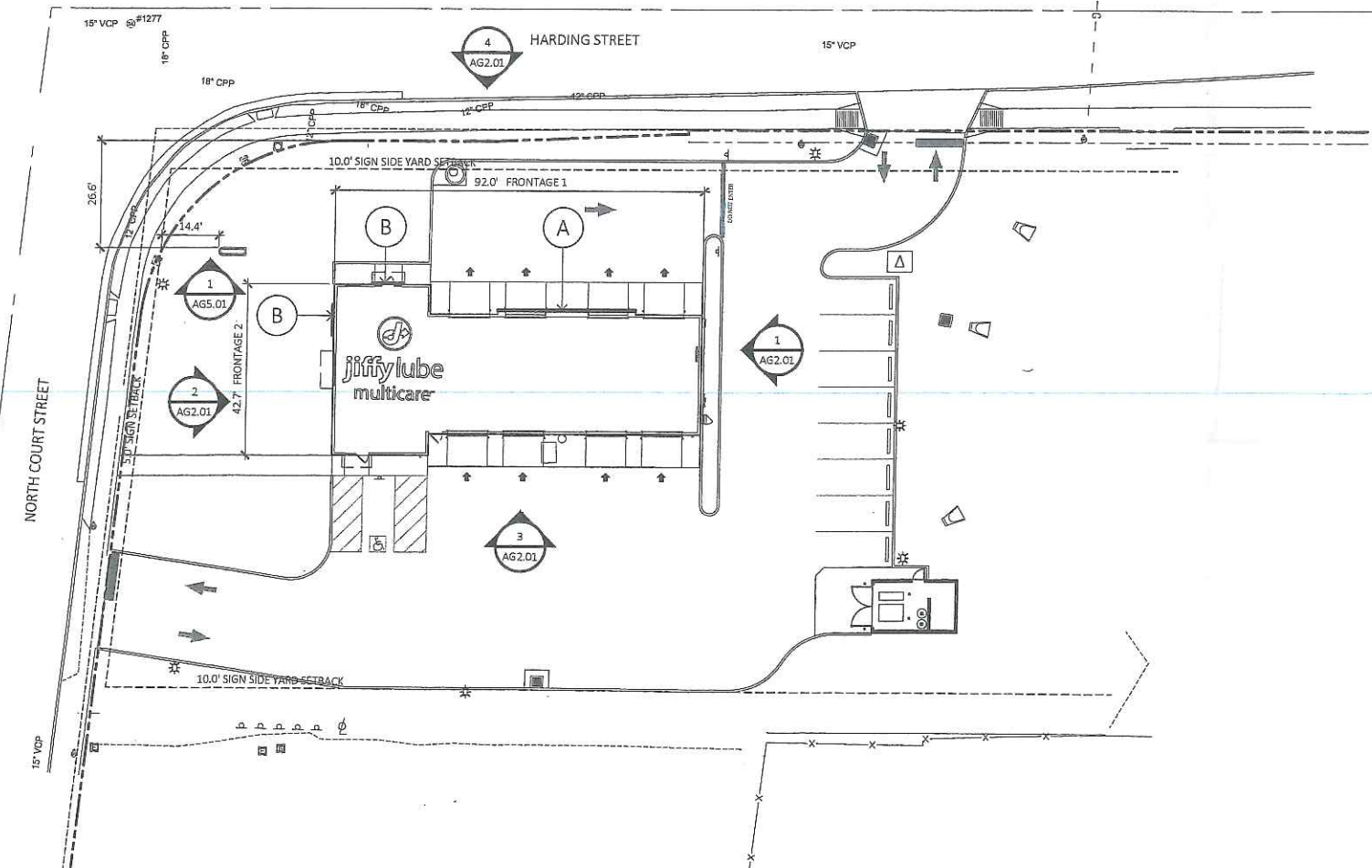
SHEET MANAGEMENT

PROJECT NO.: MEDINA, OH
DATE: -
CRITERIA: V2020.10-234
PROJECT MANAGER: M. PISKO

THIS DOCUMENT IS AN ORIGINAL AND SHALL REMAIN THE PROPERTY OF SEVAN ENGINEERING, P.C. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SEVAN ENGINEERING, P.C.

SHEET NUMBER

AG1.01



FEB 19 2021

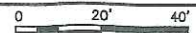
SIGNS:			
MONUMENT SIGN- ALLOWED: YES			
	MAXIMUM:	PROVIDED:	CODE:
AREA:	48 S.F.	37 S.F. PER SIGN FACE	1147.14(b)
HEIGHT:	6'-0"	5'-11"	
SETBACK:	5.0' FROM PROPERTY LINE	14.4'	1147.07 (a)
CHANGEABLE MESSAGE SIGN	N/A		1147.07(j)
BUILDING SIGNS: ALLOWED: YES			
FRONT ELEVATION: (NORTH) FACES HARDING STREET	1 S.F. PER LINEAR FOOT = 92 S.F. (BUILDING 92.0')	66 S.F.	1147.14(D)
RIGHT ELEVATION: (WEST) FACES NORTH COURT STREET- FRONTAGE 2	1 S.F. PER 4 LINEAR FEET OF BUILDING = 42.7' / 4 = 10.6 S.F.	31 S.F. *	
LEFT ELEVATION: (EAST)	0 S.F.	0 S.F.	
REAR ELEVATION: (SOUTH)	0 S.F.	0 S.F.	
	NUMBER OF SIGNS: 0	0	
	NUMBER OF SIGNS: 0	0	

* VARIANCE REQUIRED

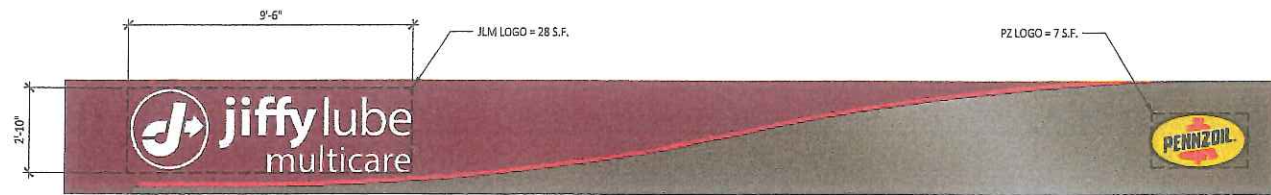
(X) - SEE SHEET CS.01 FOR SIGN DETAILS

FILE NAME: Y:\Shared\Clients\Jiffy Lube\Projects\138_Medina OH\Jiffy Lube_Civil\Condos\AG1.01.dwg, LAST SAVED BY: kratz, Tim, SAVED DATE: 2/17/2021 8:36 AM, PLOTTED: 2/18/2021 11:50 AM

SITE PLAN - SIGNS
SCALE: 1" = 20'-0"



JIFFY LUBE MULTICARE SIGN TY



Jiffy Lube Multicare Fascia

FASCIA SIZES	Length (D)	JLM Logo SF	PZ Logo SF
Front Street Facing Elevation			
Jiffy Lube FF 48 (6")	34'-8"	28	7



Jiffy Lube Multicare - Vertical Channel Letters

TYPE	C	D	SQ FT
JLM-CL-R-S-25	6'-0 9/16"	5'-1 3/4"	31

- 1. FIREWORKS RED SW 6667
- 2. COLONIAL REVIVAL SW 2827
- 3. PURE WHITE SW 7005
- 4. CARMINE RED SW 2905

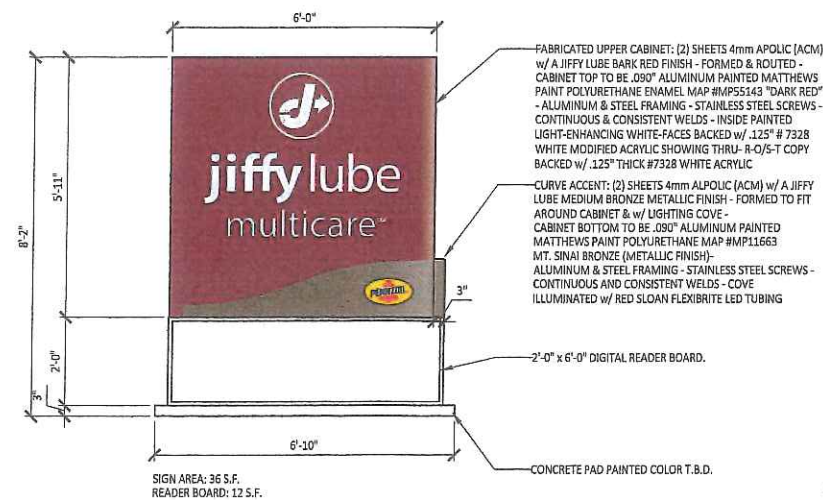
G SIGN COLORS

sevan
ENGINEERING, P.C.
Regional Office:
37704 Hills Tech Drive
Farmington Hills, MI 48331
734.597.4445 Telephone
Corporate Office:
3025 Highland Parkway, Suite 850
Downers Grove, IL 60515
info@sevanohio.com www.sevanohio.com
INTEGRITY | RESPECT | TEAMWORK | EXCELLENCE | COURTY

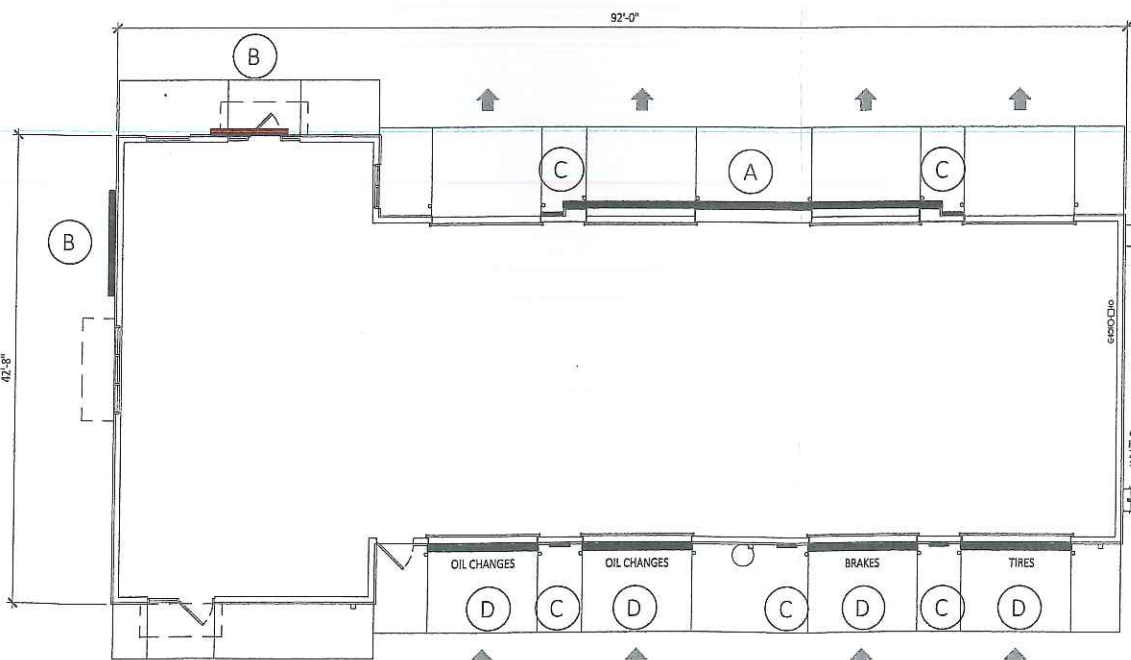
REVISIONS

NO.	DATE	DESCRIPTION
0	09.09.2020	OWNER REVIEW
1	09.22.2020	PRELIMINARY REVIEW
2	02.16.2021	SITE PLAN & BZA SUBMITTAL

A FASCIA PANEL



B JIFFY LUBE MULTICARE - VERTICAL CHANNEL LETTERS



SIGN KEY PLAN
SCALE: 1/8" = 1'-0"

1 MONUMENT SIGN

AGS.01

SAFETY/SERVICE SIGNS



Entry/ Exit Signs
1'-9" x 3'-0 1/2"

AREA: 5.26 S.F.

4" - Min. lower case text height
8" - Max. lower case text height

Bay Panel* - Example
(Varies with text)

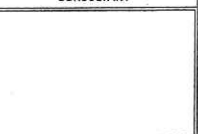
STATE INSPECTIONS: 3.2 S.F.
OIL CHANGES: 2.4 S.F.
BRAKES: 1.0 S.F.
TIRES: 0.70 S.F.

D BAY PANELS WITH DIRECTIONAL TEXT

C ENTRY/EXIT SAFETY SIGN

FILE NAME: Y:\Share\Clients\Jiffy Lube\Projects\136_Medina OH\03_Contract\AGS.01.dwg LAST SAVED BY: katz, Tim SAVED DATE: 2/17/2021 5:29 PM PLOTTED: 2/18/2021 12:50 AM

CONSULTANT



SEAL



CUSTOMER



PROJECT DESCRIPTION

JIFFY LUBE
MULTI-CARE SERVICES

PROJECT LOCATION

790 NORTH COURT STREET
MEDINA, OH 44212
(MEDINA COUNTY)

SHEET TITLE

SIGN DETAILS

SHEET MANAGEMENT

PROJECT NO.: MEDINA, OH
DATE:
CRITERIA: V2020.10-134
PROJECT MANAGER: M. PYSKO

SHEET NUMBER

AG5.01