


MEETING DATE: 04/8/21

PLANNING COMMISSION

**Case No. P21-08
135 West Liberty St.**



CITY of MEDINA
Planning Commission
April 8, 2021 Meeting

Case No: P21-08
Address: 135 W. Liberty Street
Applicant: Rose Company
Subject: Site Plan review for a 46,750 sqft 4-story mixed use development
Zoning: C-2 Central Business District
Submitted by: Jonathan Mendel, Community Development Director 

Site Location:

The site is located in the middle of the north side of the 100 block of W. Liberty St.

Project Introduction:

The applicant requests a certificate of appropriateness for two actions:

- Demolish the entire existing site improvements
- Construct a new 4-story mixed use building
 - Ground floor is 11,500 sqft of flexible commercial space
 - 2nd-4th floors will have 39 residential apartments (mix of studios, 1 & 2 bedrooms units)

In addition to review by the Planning Commission, this project will be reviewed on April 8, 2021 by the Board of Zoning Appeals for a variance from Section 1135.06 of the to allow a new building with a about 11,500 sqft building footprint instead of the maximum allowed 5,000 sqft and Historic Preservation Board for Certificate of Appropriateness review.

Please find attached to this report:

1. Architectural elevations, site plan, materials/colors descriptions and floorplans by Architectural Design Studios Incorporated received March 3, 2021
2. Site aerial photograph

District Regulations – Section 1135:

Mixed use buildings without ground floor residential units is a permitted use within and complies with all other applicable design guidelines and regulations of the C-2 district.

Maximum building height is 60 feet when approved by the Planning Commission and the proposed building is 50 feet to the roof deck

The building complies with the building setback requirements, but exceeds the maximum 5,000 sqft building footprint requirement. The Board of Zoning Appeals will be reviewing a variance request for this.

Site Plan and Improvement Plan Review:

Parking

Providing parking is solely at the applicant's discretion since City of Medina Ordinance 26-78 established the downtown parking district which encompasses the subject property. The downtown parking district is exempt from the parking space requirements in Chapter 1145. Therefore, the applicant is not required to provide off-street parking for the project.

Landscaping

Given the urban location and intent of the C-2 zoning district, there is no required landscape plan, but applicant is providing a landscaped courtyard area to the rear of the site/building for the private use of visitors and occupants.

Building Design, Materials and Orientation

The proposed building and complies with all the applicable design guidelines outlined in Section 1109.04 of the Planning and Zoning Code. The proposed four story mixed use building is consistent with the intent and desire of the community within the Public Square area of the C-2 district. There is ample transparency of the public facades of the ground floor storefronts. The facades' historical commercial building styles is well executed with appropriate materials and proportions.

Staff Comments:

Building Department. No comment at this time

Police Department. No comments

Service Department. No comment at this time

Fire Department No comment at this time

Engineering Department The applicant has been working closely with the improvement development and utility plans.

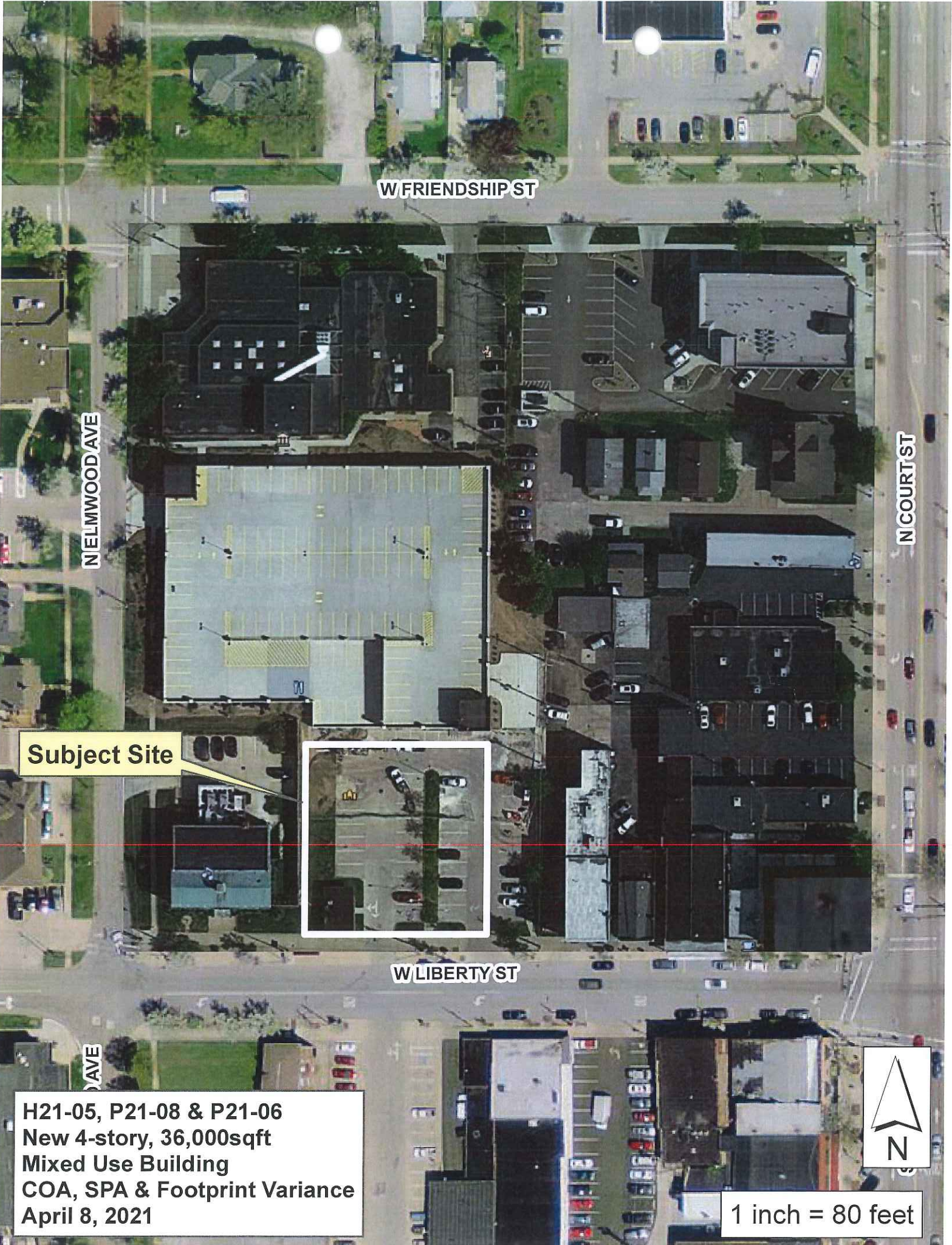
City Forester No comment at this time.

Economic Development No comment at this time.

Recommendation:

Staff recommends the Planning Commission approve the Site Plan request with the following conditions:

1. Subject to building permits from the Medina Building Department.
2. Subject to review and approval of site development plans by the Medina Engineering Department.



W FRIENDSHIP ST

N ELMWOOD AVE

N COURT ST

Subject Site



W LIBERTY ST

DAVE

H21-05, P21-08 & P21-06
New 4-story, 36,000sqft
Mixed Use Building
COA, SPA & Footprint Variance
April 8, 2021



1 inch = 80 feet



Architecture
Preservation
Graphics
Planning
Interior Design

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44256

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(phone)

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(fax)

March 2, 2021

Planning Commission & Historic Preservation Board
c/o Jonathan Mendel, Community Development Director
City of Medina
132 North Elmwood Street
Medina, Ohio 44256

Re: Liberty View
135 West Liberty Street

Dear Board Members,

We are requesting approval for the construction of the Liberty View Project. The project is a four storey mixed use building consisting of grade level commercial and three upper stories of residential apartments. The overall building facade along West Liberty is designed at 125 feet. This is divided into five, 25 foot bay with each bay representative of an apartment unit on each of the upper floors. The facade is further detailed as four separate structures, one being 50 feet in width. This gives it a heavier sense of massing similar to the Old Phoenix Block at the corner of East Washington and South Court Streets. The other three facades utilize the 25 foot bay spacing. The facades will be finished with brick masonry utilizing some hood and cornice work intended to reflect the historic detailing found in many of the buildings around the area. Many of the 1870's buildings around the Uptown Park district also utilized machined tin and cast iron elements to create the brackets and details found in their cornices and head details. Unfortunately, in some cases due to poor maintenance, these elements have deteriorated and details have been lost. The brick and cornice work proposed for the Liberty View project will utilize some similar brickwork in some areas. The brick will be laid in patterns to create details like window hoods, rowlocks, and soldier coursing. Cornices will be fabricated from more durable materials like Fypon moldings, Azek trim, and EIFS panels.

The street facades are designed to provide an individual storefront base element, body, and cornice element. Windows will have similar patterning as found on many of the original buildings in the area. These typically utilized double hung windows in a narrow vertical pattern. Our use of a bay window motif on the one building reflects back to the window detail of the brownstone building on the square. The storefront windows and doors of the past often incorporated cast iron elements, detailed to mimic wood and stone construction. The storefronts for Liberty View will adapt similar massing and details, but will use efficient aluminum storefront glazing systems integrated with masonry materials and contemporary trim materials. Sign areas will be incorporated into the storefront cornice elements and accented with awnings.

The final design is unique in character, utilizing contemporary materials, but incorporating the patterns and massing of the historic structures within the district. The building utilizes a storefront facade and cornice structure that visually supports the masonry body of the building above. Each facade utilizes a different window pattern. These mimic various buildings within the district, but they are unique and specific to each of these facades. Each building is then provided with a finishing cornice element. Some fairly simple in character and some a little more highly styled like seen on the south and west facades of the buildings on the square. By

mixing the patterns, colors, and brickwork for the facades, and setting the building along the ROW of Liberty Street, you can see from the rendering how the Liberty View project will visually extend the lines of Sully's and the other historic facades along Liberty Street to the west. Stopping slightly short of the western property line, the area opens up allowing the Pease Federal Building to stand comfortably in its current location.

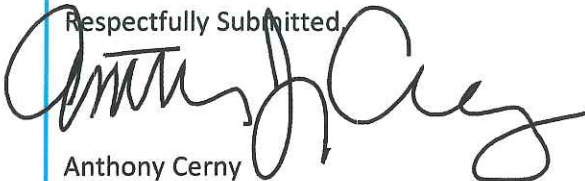
The east facade of the building faces onto the drive that services the new parking structure to the north. This is the location for the entrance to the apartment lobby space. Above on this facade is a total of 12 apartments, 4 per floor that face out over this drive. This facade, though not as visible as the Liberty Street facade is finished with the same materials and similar details to the facades on Liberty Street. Unlike most of the historic structures around the square where the sides of the buildings are essentially minimally delineated, this east facade carries similar character and detailing as the main facade. The back of the building transitions to a masonry and brick base element with a facade of EIFS above. The detailing on the back of the building is simpler and more contemporary in character, but still reflects the massing, patterns, and proportions of the district. Utilization of two different body colors for the EFIS helps to break down the scale of the building, reinforcing the sense of individual buildings and not one large building.

The building is a total of 46,750 sf in area. The building is approximately 50' to the roof with the detailing on the Liberty Street cornice extending up a few more feet. The tallest building is the one named Sophia, which is 57' to the top of the central cornice element. At the east end, the Sophia Victoria Rose building is right at the 50' height. The names on the buildings are just holding places at the moment and the final building names are to be determined. The specifics of the building are as follows;

- Four storey mixed-use facility consisting of ground level retail with individual storefronts along West Liberty Street with three floors residential apartments
- 46,750 sf total building
- 9,100 sf commercial/retail space on first floor
- 39 apartments
 - 30 single bedroom apartments - 800 sf
 - 6 two bedroom apartments - 1,015 sf
 - 3 studios apartments - 530 sf
- Estimated Cost of Construction \$9,300,000

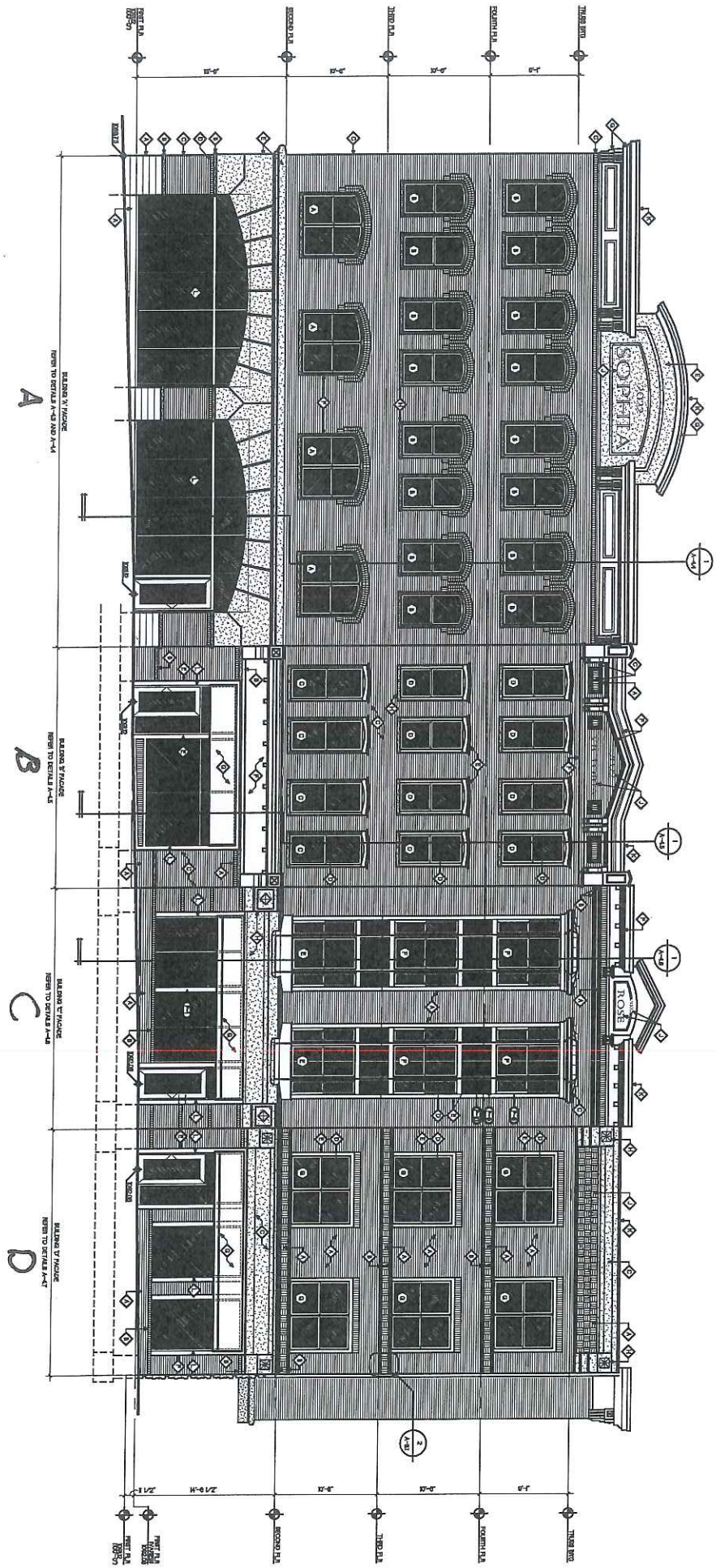
The elevations are noted with the intended materials and colors for the project. The selected materials are numerous due to the development of multiple individual building facades. We will bring samples of the building materials to the meeting for review.

Respectfully Submitted



Anthony Cerny
Architectural Design Studios, Inc

1 SOUTH ELEVATION
SCALE 3/8" = 1'-0"

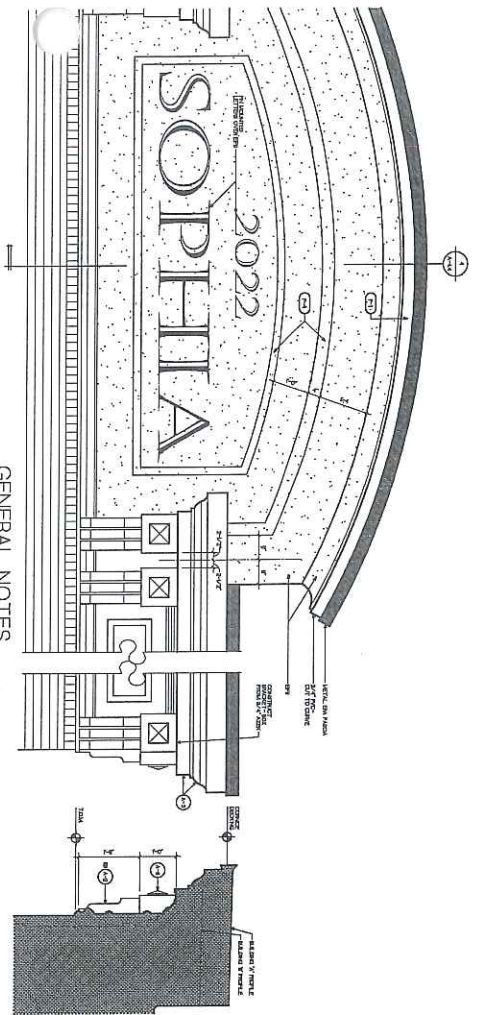


Building "A"

	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Split Face 8" x 16"	Rockcast	Buffstone	Mortar - Limestone #58H
B	Bullnose 4"	Rockcast	Buffstone	Mortar - Limestone #58H
C	Modular Brick	Belden	St. Anne Blend 'A'	Mortar - Limestone #58H
D	Modular Brick	Belden	St. Anne Blend 'A'	Mortar - Limestone #58H
E	EIFS	DRYVIT	#105 Suede	Limestone Finish
F	Window Frame & Trim	Andersen	Sandtone SW #9174 Moth Wing	
G	Cornice			Refer to Details Sheets FA-4.3 & A-4.4 for paint color
H	Sillstone 4"	Rockcast	Buffstone	
J	Injection Molded Letters	Gemini	#0314 Old Copper	Stud Mounted
K	Fascia	Metal Era	Medium Bronze	
L	Aluminum Storefront Framing	Tubelite	Light Champagne	

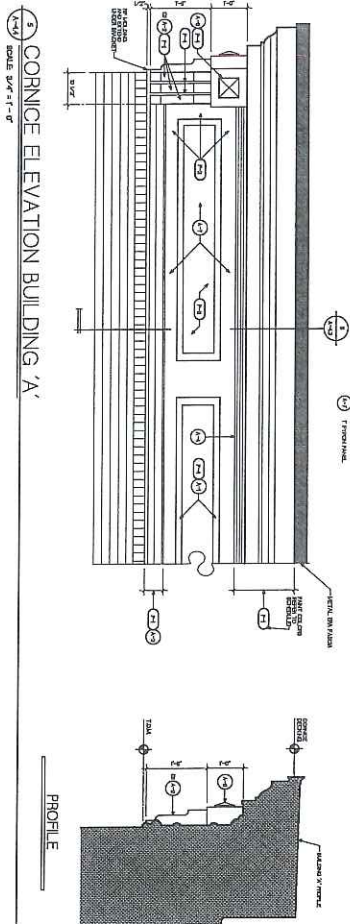
NOTES:

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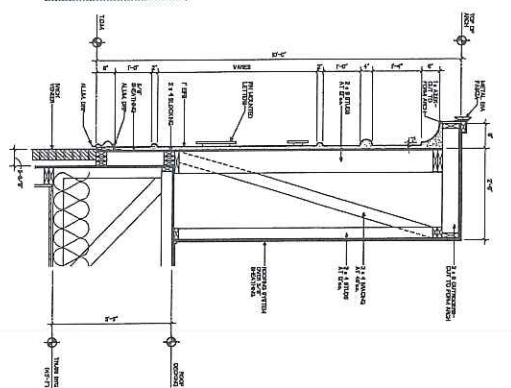


GENERAL NOTES
BUILDING 'A'

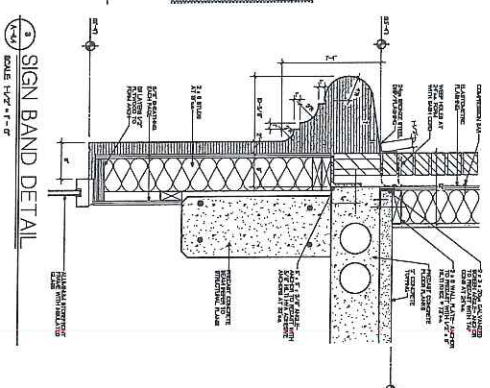
- 1 FINISH FACED ALUMINUM
- 2 FINISH FACED ALUMINUM
- 3 FINISH FACED ALUMINUM
- 4 FINISH FACED ALUMINUM
- 5 FINISH FACED ALUMINUM
- 6 FINISH FACED ALUMINUM



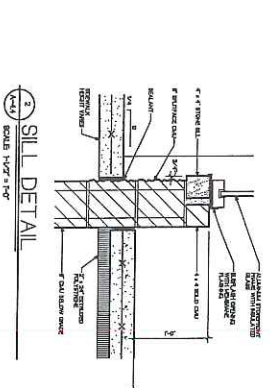
CORNICE ELEVATION BUILDING 'A'
SCALE 3/4" = 1'-0"



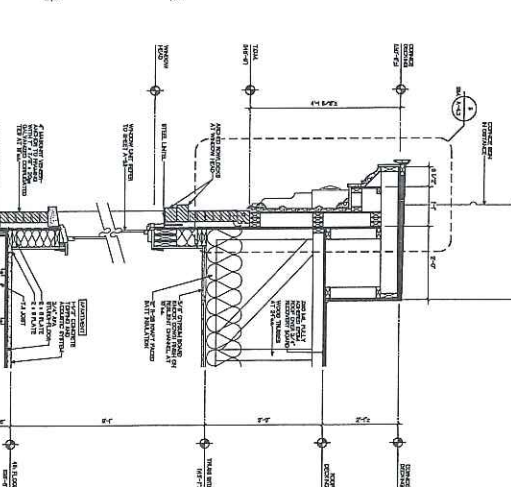
SIGN SECTION
SCALE 3/4" = 1'-0"



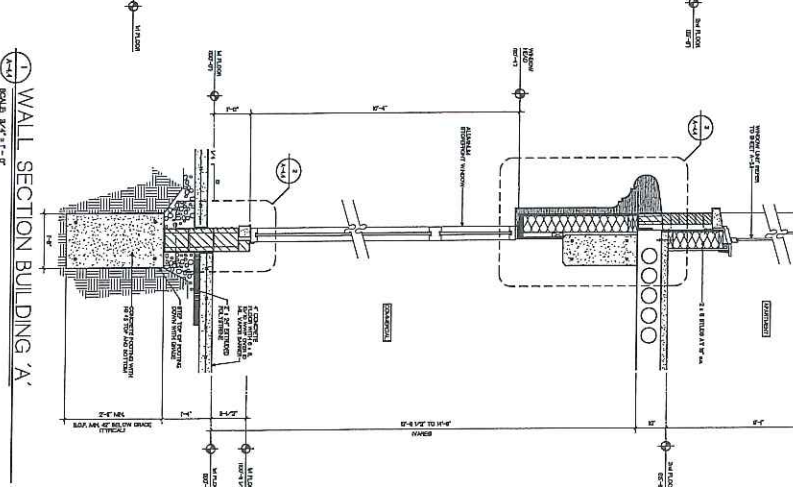
SIGN BAND DETAIL
SCALE 1/2" = 1'-0"



SILL DETAIL
SCALE 1/2" = 1'-0"



WALL SECTION BUILDING 'A'
SCALE 3/4" = 1'-0"



WALL SECTION BUILDING 'A'
SCALE 3/4" = 1'-0"

PLOTTED 1/28/2022

<p>LIBERTY VIEW</p> <p>135 WEST LIBERTY STREET MEDINA, OHIO 44256</p>	<p>ISSUED</p>	<p>ROSE COMPANY ARCHITECTURAL & INTERIOR DESIGN</p> <p>23 Public Square, Suite 200 Columbus, OH 43260 614.265.1100</p>	<p>ARCHITECTURAL DESIGN STUDIOS</p> <p>Architectural Interior Design Landscape Architecture Civil Engineering Mechanical Engineering Electrical Engineering Structural Engineering Environmental Engineering</p>
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Building "B"

	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Modular Brick	Belden	Midland Blend 'A'	Mortar - Hearthstone #51H
B	Chamfered 5 5/8" #HD-2258	Rockcast	Buffstone	Mortar - Limestone #58H
C	Modular Brick	Belden	Rosewood Clear 'A'	Mortar - Hearthstone #51H
D	Windows	Andersen	Canvas	
E	Window Trim & Head		SW #2834 Birdseye Maple	
F	Cornice			Refer to Details Sheet A-4.5 for paint color
G	Awning	Sunbrella	Eastland Redwood	
H	Sillstone 4"	Rockcast	Buffstone	
J	Injection Molded Letters	Gemini	Metallic Gold	Stud mounted
K	Fascia	Metal Era	Sierra Tan	
L	Aluminum Storefront Framing	Tubelite	Medium Bronze	

NOTES:

Building "C"

	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Modular Brick	Belden	Meadow Blend 'A'	
B	Modular Brick	Belden	Brandywine Velour 'A'	
C	Roof - Copper Standing Seam			
D	Window	Andersen	Sandtone	
E	Window Trim & Panel		SW #9149 Inky Blue SW #2837 Aurora Brown SW #7045 Intellectual Gray	
F	Cornice			Refer to Sheet A-4.6 for paint color
G	Awning	Sunbrella	Mediterranean Tweed	
H	EIFS	Dryvit	#105 Suede	Limestone Finish
J	Injection Molded Letters	Gemini	Old Copper	Stud mounted
K	Fascia	Metal Era	Slate Blue	
L	Aluminum Storefront Framing	Tubelite	Dark Bronze	

NOTES:

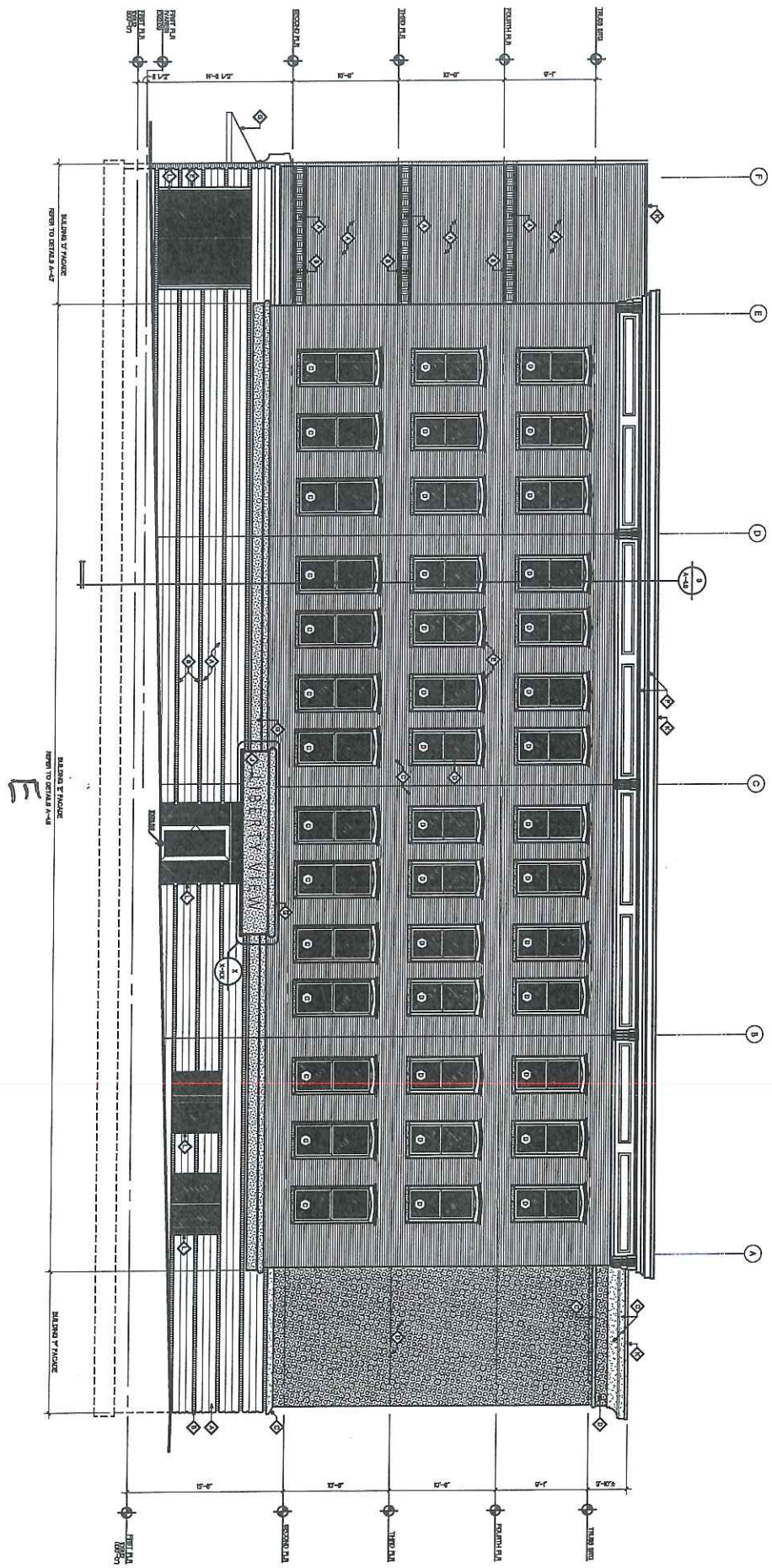
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Building "D"

	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Modular Brick	Belden	Kingsport Dart Buckingham	Discontinued
B	Modular Brick	Belden	Brandywine Velour 'A'	
C	EIFS	DRYVIT	#111 Prairie Clay	Sandblast Finish
D	Window	Andersen	Sandtone	
E	Window Trim		SW #2818 Renwick Heather	
F	Window Trim		Light Champagne	.060 aluminum brake metal to match storefront framing
G	Awning	Sunbrella	Eastridge Cocoa	
H	Medallions 12"x 12"	Pineapple Grove	Oak Leaf - Brownstone	
J	Injection Molded Letters	Gemini	Metallic Gold	Stud mounted
K	Fascia	Metal Era	Sierra Tan	
L	Aluminum Storefront Framing	Tubelite	Light Champagne	

NOTES:

1 EAST ELEVATION
 1-32 BOILER ROOM = F-0'



Building "E"

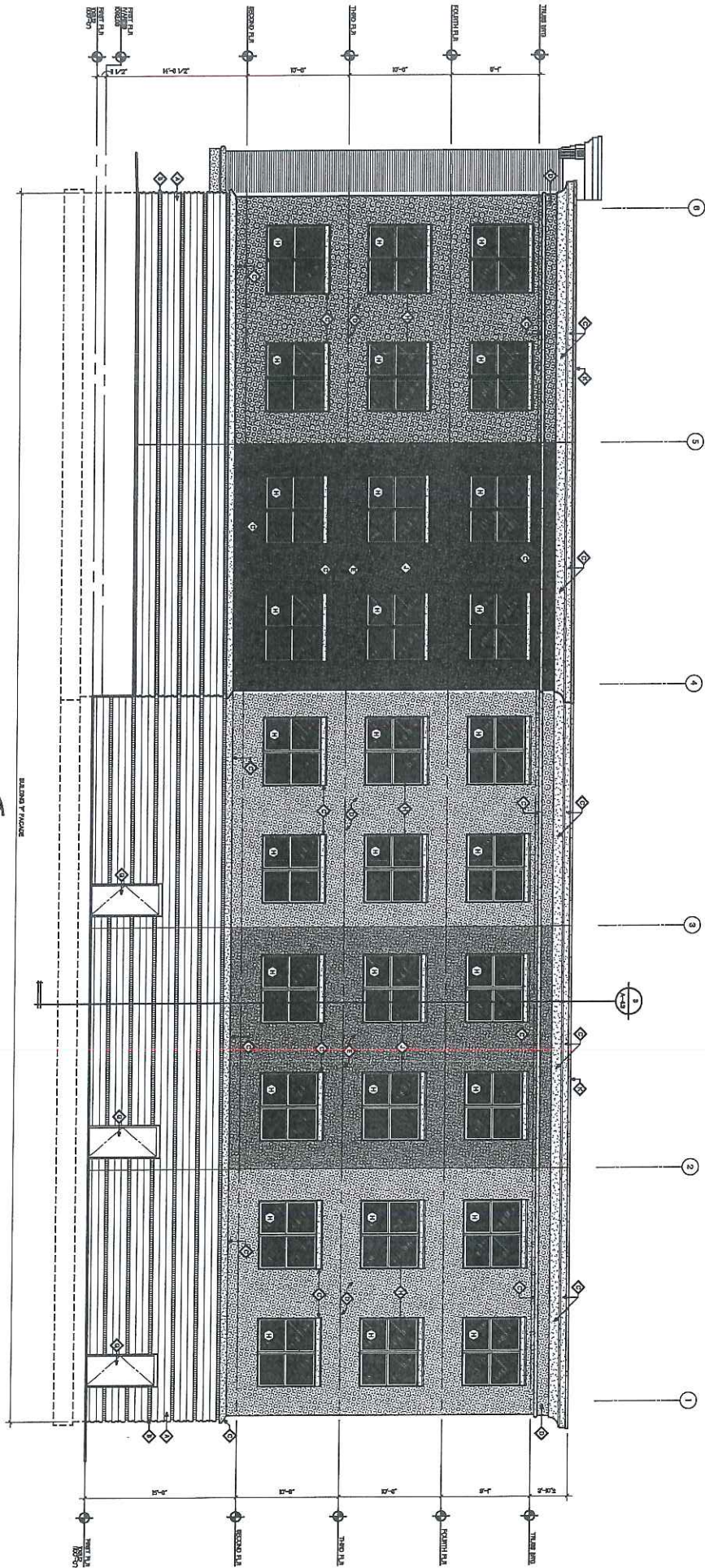
	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Split Face 8" x 16"	Schory	Chalk	
B	Modular Brick	Belden	Rosewood Clear A	
C	Modular Brick	Belden	Rosewood Clear A	
D	Windows	Andersen	Canvas	
E	Window Trim & Head		SW #2860 Sage	
F	Cornice		Refer to Details this Sheet for Cornice Paint Colors	
G	EIFS	DRYVIT	#105 Suede	Limestone
H	Sillstone (4")	Rockcast	Buffstone	
J	Injection Molded Letters	Gemini	#0314 Old Copper	
K	Fascia	Metal Era	Medium Bronze	Stud Mounted
L	Aluminum Storefront Framing	Tubelite	Medium Bronze	

NOTES:

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1 NORTH ELEVATION

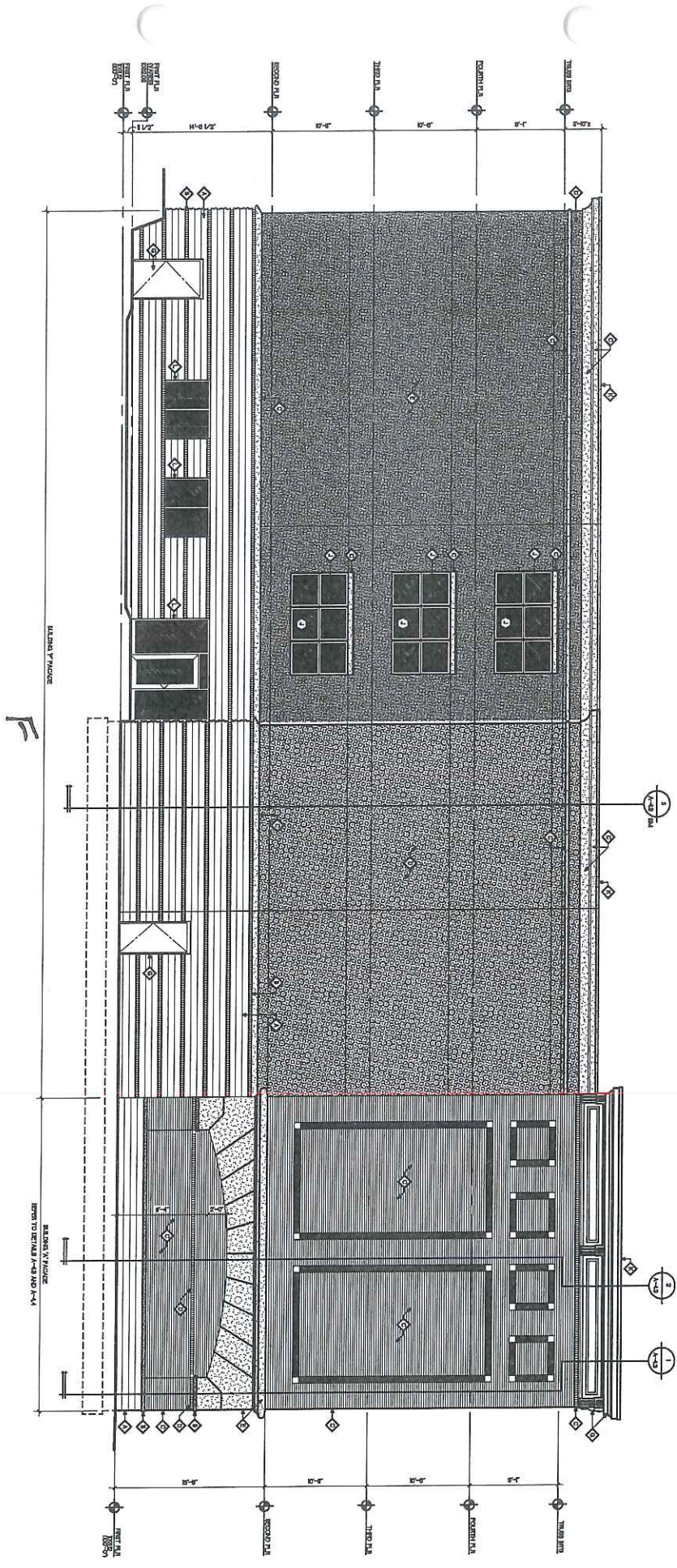
SCALE 3/8" = 1'-0"



F

SLAB EDGE

1 WEST ELEVATION
 SCALE 3/8" = 1'-0"



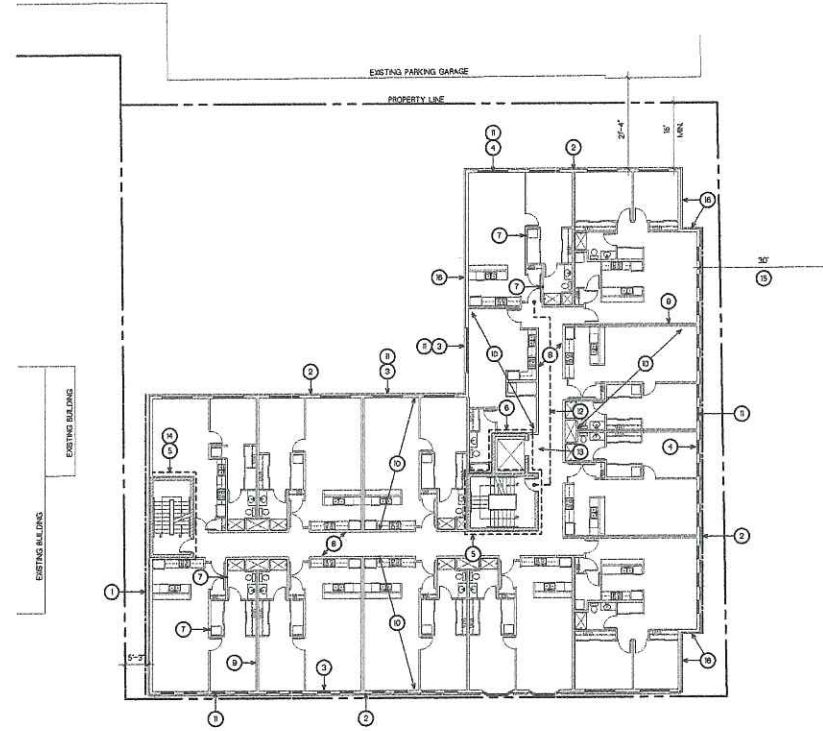
Building "F"

	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Split Face 8" x 16"	Schoy	Chalk	
B	Modular Brick	Belden	Rosewood Clear 'A'	
C	EIFS	DRYVIT	#104 Dover Sky	Sandblast Finish
D	EIFS	DRYVIT	#305 Plum	Quarzputz Finish
E	EIFS	DRYVIT	#526 Fern Ridge	Quarzputz Finish
F	Not Used			
G	Paint	Sherwin Williams	Paint H.M. Doors SW #7546 Prairie Grass	
H	Window	Andersen	Sandtone	
J	Window	Andersen	Dark Bronze	
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Medium Bronze	

NOTES:

Liberty View - Exterior Paint Colors

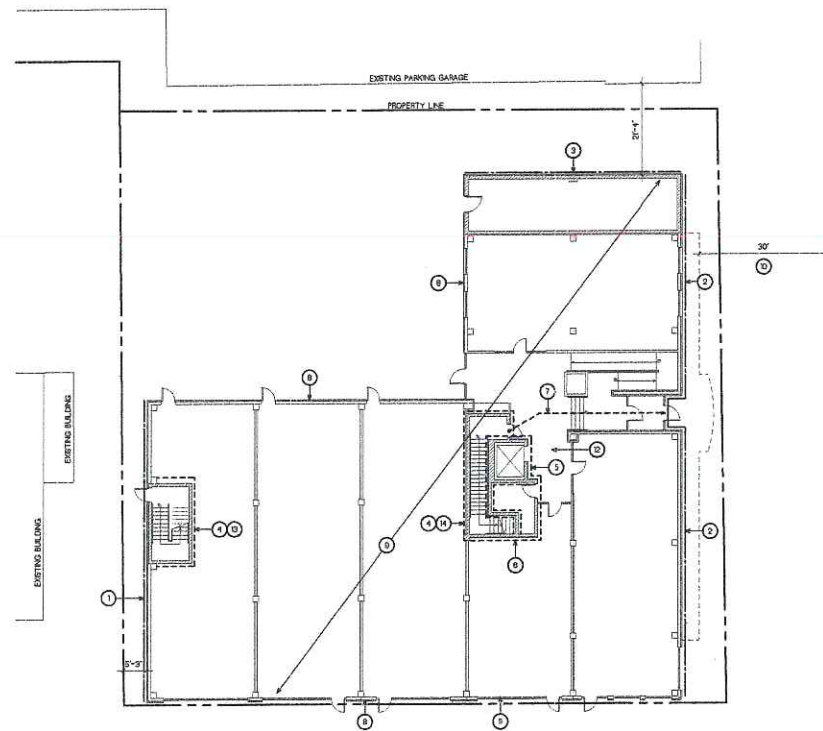
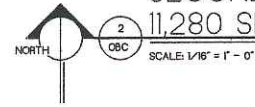
	COLOR	Mfr #	Product	Sheen	NOTES
	P-1 Moth Wing	SW 9174		Semi-Gloss	
	P-2 Birdseye Maple	SW 2834		Semi-Gloss	
	P-3 Roycroft Vellum	SW 2833		Semi-Gloss	
	P-4 Roycroft Copper Red	SW 2839		Semi-Gloss	
	P-5 Roycroft Vellum	SW 2833		Semi-Gloss	
	P-6 Birdseye Maple	SW 2834		Semi-Gloss	
	P-7 Harvest Gold	SW 2858		Semi-Gloss	
	P-8 Inky Blue	SW 9149		Semi-Gloss	
	P-9 Aurora Brown	SW 2837		Semi-Gloss	
	P-10 Intellectual Gray	SW 7045		Semi-Gloss	
	P-11 Intellectual Gray	SW 7045		Semi-Gloss	
	P-12 Renwick Heather	SW 2818		Semi-Gloss	
	P-13 Sage	SW2860		Semi-Gloss	
	P-14 Roycroft Brass	SW2843		Semi-Gloss	
	P-15 Roycroft Vellum	SW2833		Semi-Gloss	
	P-16 Birdseye Maple	SW2834		Semi-Gloss	
	P-17				
	P-18				
	P-19				
	P-20				
	P-21				



SECOND, THIRD, & FOURTH FLOOR PLAN OBC NOTES

- 1 1 HOUR RATED EXTERIOR BEARING WALL, TYPE 5A CONSTRUCTION R-2 USE, MIN 5' FIRE SEPARATION DISTANCE PER OBC TABLE 601 & 602
- 2 NON-FIRE RATED EXTERIOR NONBEARING WALL, TYPE 5A CONSTRUCTION, R-2 USE, GREATER THAN OR EQUAL TO 30' FIRE SEPARATION DISTANCE PER OBC TABLE 601 & 602
- 3 UNLIMITED UNPROTECTED OPENINGS PERMITTED PER OBC TABLE 705B FOR EXTERIOR WALL WITH 20' MIN FIRE SEPARATION DISTANCE FOR A SPRINKLERED BUILDING
- 4 75% UNPROTECTED OPENINGS PERMITTED PER OBC TABLE 705B (NORTH OPENINGS + 25% FOR EXTERIOR WALL WITH 15' TO 20' FIRE SEPARATION DISTANCE FOR A SPRINKLERED BUILDING)
- 5 2 HOUR RATED FIRE BARRIER EXIT STAR ENCLOSURE PER OBC 502 & 704
- 6 2 HOUR RATED FIRE BARRIER ELEVATOR SHAFT PER OBC 502, 707, AND 8002
- 7 4" BATHROOM EXHAUST AND DRYER VENTS WITH INDIVIDUAL RING CONTROLS TO ROOF, TYPICAL THROUGH PENETRATION OF HORIZONTAL ASSEMBLY IN ACCORDANCE WITH OBC SECTION 717.1 (EXCEPTION ITEMS #1 - #5, NO SHAFT CONSTRUCTION REQUIRED)
- 8 5 HOUR RATED FIRE PARTITION CORRIDOR WALLS PER OBC TABLE 1003 & SECTION 708 FOR BUILDING WITH SPRINKLER SYSTEM
- 9 5 HOUR RATED FIRE PARTITION WALLS BETWEEN APARTMENTS PER OBC SECTION 703B EXCEPTION #2 FOR BUILDING WITH SPRINKLER SYSTEM
- 10 5 HOUR RATED HORIZONTAL FLOOR/CEILING SEPARATION BETWEEN APARTMENTS PER OBC SECTION 402.3 & 712.4.3 EXCEPT FOR BUILDING WITH SPRINKLER SYSTEM
- 11 OPENABLE APARTMENT WINDOWS WITH WINDOW OPENING CONTROL DEVICES PER OBC SECTION 703B & 703A (TYPICAL)
- 12 48" DEAD END CORRIDOR, 50' MAX DEAD END CORRIDOR PERMITTED PER OBC SECTION 1004 EXCEPTION #2 FOR R-2 BUILDING WITH SPRINKLER SYSTEM
- 13 ELEVATOR AREA OF REFUGE IS NOT REQUIRED PER OBC SECTION 1004 EXCEPTION #2 FOR A BUILDING WITH SPRINKLER SYSTEM
- 14 STAIRWAY AREA OF REFUGE IS NOT REQUIRED PER OBC SECTION 1003 EXCEPTION #5 FOR A BUILDING WITH SPRINKLER SYSTEM
- 15 760 BLD' EASEMENT ZONE
- 16 1 HOUR RATED EXTERIOR BEARING WALL, TYPE 5A CONSTRUCTION R2 USE PER OBC TABLE 601

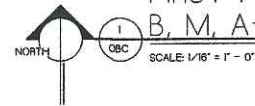
SECOND, THIRD, FOURTH FLOOR PLAN
11,280 SF - R2 - TYPE 5A



FIRST FLOOR PLAN OBC NOTES

- 1 2 HOUR RATED NONBEARING EXTERIOR WALL, TYPE IA CONSTRUCTION, TYPE IA USE, 5' TO 10' FIRE SEPARATION DISTANCE PER OBC TABLE 601 & 602
- 2 NONRATED NONBEARING EXTERIOR WALL, TYPE IA CONSTRUCTION, TYPE IA USE, GREATER THAN 30' FIRE SEPARATION DISTANCE PER OBC TABLE 601 & 602
- 3 1 HOUR RATED EXTERIOR BEARING WALL, TYPE IA CONSTRUCTION, TYPE IA USE PER OBC TABLE 601
- 4 2 HOUR RATED FIRE BARRIER EXIT STAR ENCLOSURE PER OBC 502 & 704
- 5 2 HOUR RATED FIRE BARRIER ELEVATOR SHAFT PER OBC 502, 502.2, 707
- 6 2 HOUR RATED FIRE BARRIER ELEVATOR EQUIPMENT ROOM ENCLOSURE PER OBC SECTION 502.4 & 707
- 7 EXIT DISCHARGE IN ACCORDANCE WITH OBC SECTION 1003 EXCEPTION #1, 50% OF INTERIOR EXIT STAIRWAYS ARE PERMITTED TO EGRESS THROUGH AREAS ON THE LEVEL OF EXIT DISCHARGE. EXIT DISCHARGE MUST BE READ, VISIBLE AND FIRST FLOOR MUST BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM
- 8 0 HOUR RATED NONBEARING EXTERIOR, TYPE IA, FIRE SEPARATION DISTANCE GREATER THAN OR EQUAL TO 30' PER OBC TABLE 601 & 602
- 9 3 HOUR HORIZONTAL ASSEMBLY FLOOR/CEILING ABOVE SEPARATING RESIDENTIAL ABOVE FROM FIRST FLOOR PER OBC TABLE SECTION 903
- 10 760 BLD' EASEMENT ZONE
- 11 UNLIMITED UNPROTECTED OPENINGS PERMITTED ON SOUTH WALL PER OBC SECTION 705B EXCEPTION #1 WHERE WALL FACES A STREET AND HAS A FIRE SEPARATION DISTANCE OF MORE THAN 10'
- 12 ELEVATOR AREA OF REFUGE IS NOT REQUIRED PER OBC SECTION 1004 EXCEPTION #2 FOR BUILDING WITH SPRINKLER SYSTEM
- 13 STAIRWAY AREA OF REFUGE IS NOT REQUIRED PER OBC SECTION 1003 EXCEPTION #5 FOR A BUILDING WITH SPRINKLER SYSTEM

FIRST FLOOR PLAN - 10,912 SF
B, M, A-2 NON SEPARATED - TYPE IA



OBC INFORMATION

Scope of Design

This project involves construction of a four story building comprised of three stories of apartments above first floor commercial space. The 1 floors provide (13) apartments per floor for a total of (39) residential units. The first floor tenants are currently undetermined. OBC complies the first floor is based on non separated B, M, A-2 use tenant spaces.

The building compliance is designed in accordance with OBC Section 510.2 Horizontal Building Separation Allowance. In accordance with this section a three hour fire separation is constructed between the first floor and the floors two through four. Under this section, the three stories of residential R-2 apartments are considered a separate and distinct building from the first floor. Under this scenario, the two areas can be considered independent of each other for the purposes of determining area limitations, continuity of fire walls, limitation of number of stories, and type of construction the following compliant conditions. While the R-2 Residential section is physically 4 stories above grade, under this section, it is considered a storey building and is subject to the OBC limitations afforded a three storey structure. The overall building is compliant with the following conditions applicable to OBC 510.2.

1. The first floor mixed use A, B, M commercial building is separated from the three story R-2 residential building by a 3 hour fire rated horizontal assembly.
2. The first floor building is compliant with type 1A construction.
3. Shaft, stairway enclosures through the horizontal assembly are minimum 2 hour fire rated construction with openings protection.
4. The building above the horizontal assembly is an R-2 Residential occupancy.
5. The commercial building below the horizontal assembly is protected throughout by an NFPA 13 automatic sprinkler system in accordance Section 903.3.1.1.
6. The overall building height in feet is compliant with Section 504.4 based upon the smaller allowable heights for the two buildings as measured from the grade plane. Under Table 503.4, an R occupancy with NFPA 13R sprinkler system is permitted to be 60' tall. The total height of building, to the roof of the penthouse, does not exceed 60' from the grade plane.

Use Groups

First Floor = B, M, A-2 non-separated These uses are anticipated as probable uses based upon typical first floor occupancies of other buildings in the area.
Floors 2-4 = R-2

Construction Types

First Floor = Type IA noncombustible
Floors 2-4 = Type SA combustible

Building Areas

Floor areas are calculated in accordance with the OBC definition for Floor Area, Gross, measuring the space within the inside of the perimeter.
First Floor = 10,912 sf
Floors 2-4 = 11,280 sf per floor - 33,840 sf (Total for Floors 2-4)
Total = 46,680 sf - In accordance with OBC 1510.2.2, the area of the penthouse is not included in the analysis of building area.

Allowable Areas

First Floor = Unlimited (OBC 508.3.3/ Table 506.2, IA, B, M, A-2)
Floors 2-4 = 35,120 sf per floor - 45,360 sf total ($A_1 = (A_2 \times I_1) \times S_1$)
 $A_1 =$ Table 506.2, 5A, R-2, 12,000 sf $I_1 = 1/P = 0.25/W/30$
 $A_2 =$ Table 506.2, 5A, R-2, 12,000 sf $P = 255'$
 $I_1 = 0.26$ $P = 502'$
 $S_1 = 1$ (3 for the total R-2 area) $W = 30'$

Occupancy

First Floor = 258 (Anticipate 2,400 sf A-2/15 = 172, 8,275 sf office/100=83, 695sf Utility/300=3)
Floors 2-4 = 171 (11,280 sf /200 (R-2) = 57 occupants per floor x 3 floors)

Fire Suppression

A fire suppression system shall be provided throughout the building in accordance with OBC 903. The system will be monitored in accordance with OBC 901.6. General design/layout documents are provided herein. Final design and installation documents for the fire suppression system shall be provided under separate cover by the Fire Suppression Contractor.
First Floor = NFPA 13R sprinkler system
Floors 2-4 = NFPA 13R sprinkler system

Fire Alarm

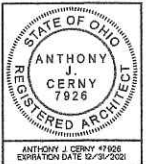
A fire alarm system in accordance with OBC 907 and in compliance NFPA 72 is to be provided throughout the building. The system will be monitored in accordance with OBC 901.6. Manual fire alarm boxes are not required as the building is equipped with a sprinkler system and occupant notification appliances will activate upon sprinkler water flow per OBC Section 907.2.9 exception #3. Smoke alarms shall be provided per OBC Section 907 for the R-2, Residential section of the building. General design/layout documents are included herein. Final design and installation documents for the fire alarm system shall be provided under separate cover by the Fire Alarm Contractor.

DESIGN LOADS

Floor Live Load - 40 psf (Residential)	Table 1607.1	Mapped Spectral Accelerations	$S_s = 12.3\%$
Floor Live Load - 100 psf (Corridors)	Table 1607.1		$S_1 = 5.0\%$
Floor Live Load - 100 psf (Commercial)	Table 1607.1	Spectral Response Accelerations, Short & 1sec	$S_{MS} = 1.98$
Roof Live Load - 20 psf	Table 1607.1		$S_{MS} = 1.12$
Ground Snow Load P_g - 25 psf	Section 1608.2	Design Response Spectrum, Short & 1sec	$S_{DS} = 1.32$
Flat Roof Snow Load P_f - 12.5 psf	7" C, " C, " I" P_g		$S_{DS} = .08$
Thermal Factor C_t - 1.0	ASCE Table 7.3-2	Seismic Use Category & Importance Factor I_f	$I_f = 1.0$
Snow Exposure C_e - 0.9	ASCE Table 7.3-1	Seismic Site Soil Class	D
Snow Importance I_s - 1.00	ASCE Table 1.5-1	Seismic Design Category	B
Ultimate Design Wind Speed - 115 mph	Figure 1609.1(3)	Rain Loads	5.41"/15 min.
Building Risk Category - II	Table 1604.5	Soil Load Bearing - 4,000 psf	2.61"/60 min.
Wind Importance I_w - 1.00	Table 1604.5		Geotechnical Report
Wind Exposure B	Section 1609.4		

1. The Contractor shall have foundation excavations inspected by a Geotechnical Engineer. Penetrometer or similar soils test shall be performed at the point of bearing or excavation for the foundations. Weak, organic and/or unstable conditions shall be reported to the Architect and footings redesigned to accommodate actual soil conditions. Submit Geotechnical reports to Architect and City Building Department.
2. Seismic Design Data based upon ASCE 7 Hazards Report - 41,139226 Lat.-81,865251 Long
3. Reference the structure documents for more specific design loads and details.
4. Reference the mechanical documents for more specific design requirements for building ventilation.

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OBC

SITE PLAN NOTES

- ① EXISTING ASPHALT AT ENTRANCE TO EXISTING PARKING DECK.
- ② EXISTING CONCRETE PAD.

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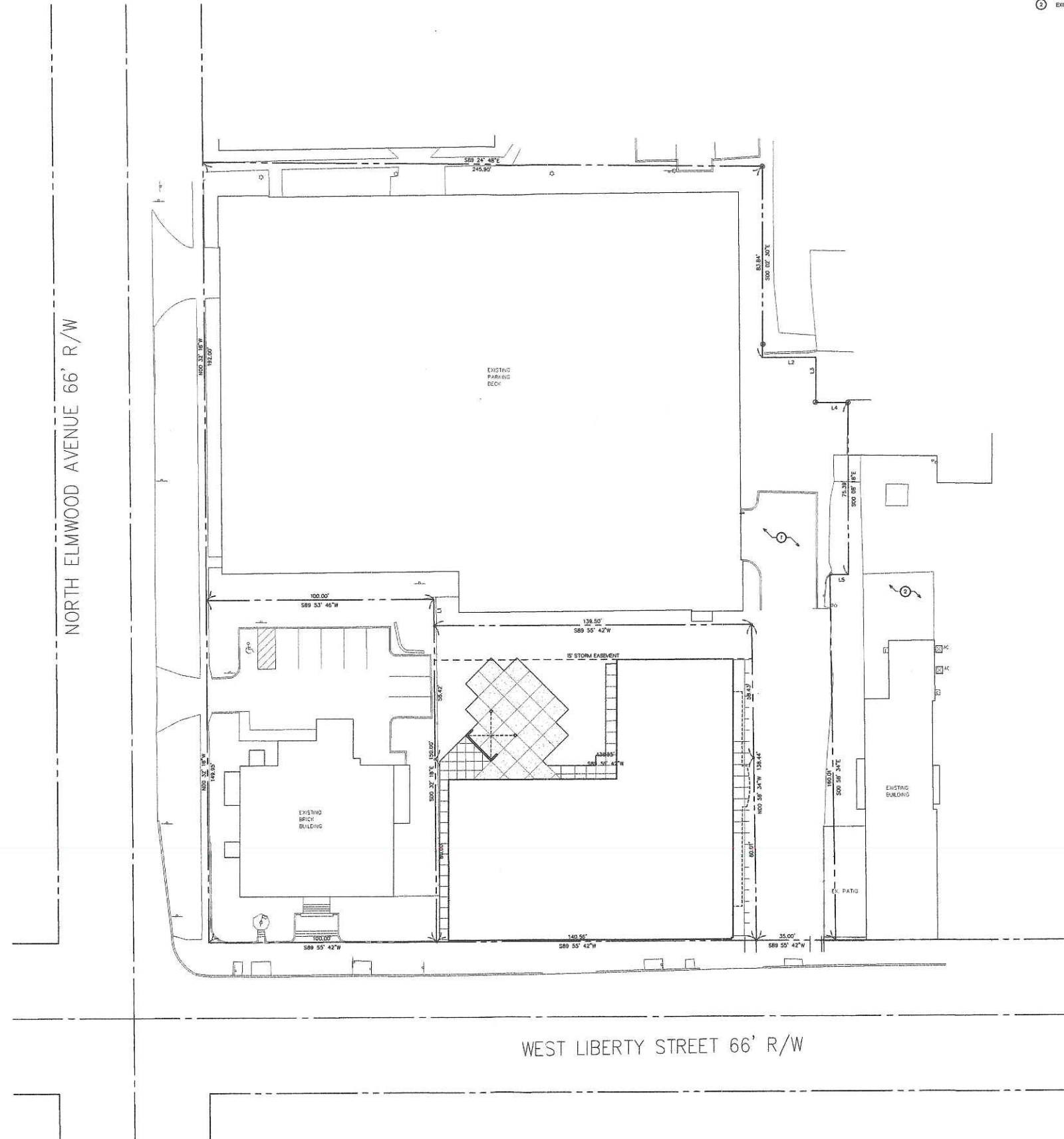
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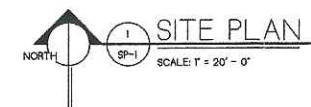
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SP-1



Parcel Line Table

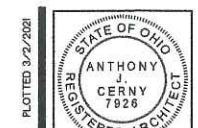
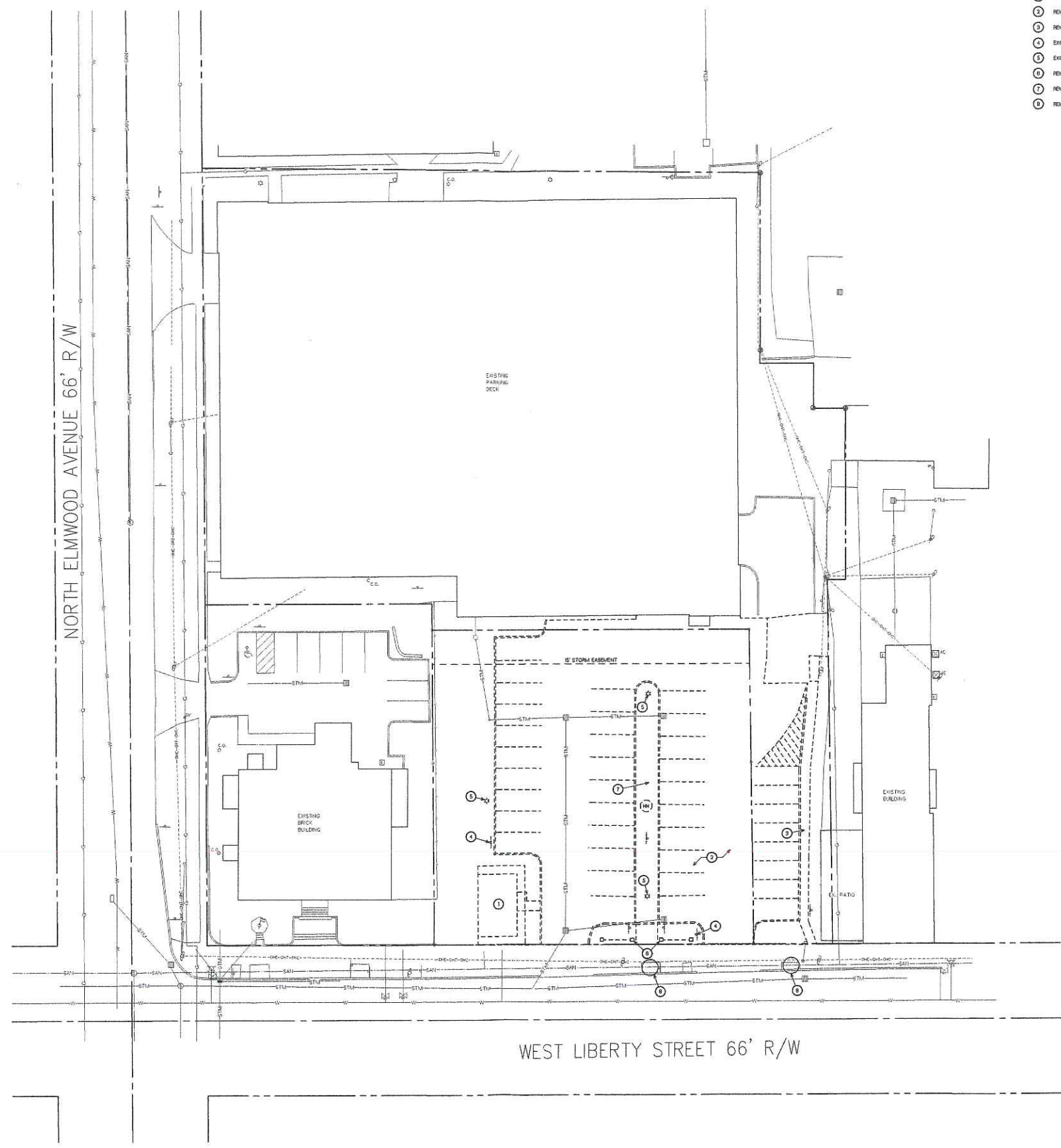
Line #	Length	Direction
L1	11.58'	N00 32' 18"W
L2	23.65'	N89 45' 42"E
L3	20.00'	N00 08' 18"W
L4	14.00'	N89 45' 42"E
L5	8.00'	S89 55' 42"W



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SITE DEMOLITION PLAN NOTES

- ① REMOVE EXISTING CONCRETE BLOCK BUILDING.
- ② REMOVE EXISTING CONCRETE PARKING LOT INCLUDING CONCRETE CURBING.
- ③ REMOVE EXISTING CONCRETE SIDEWALK.
- ④ EXISTING SIGNS TO BE REMOVED AND TURNED OVER TO THE CITY OF MEDINA.
- ⑤ EXISTING LIGHT POLES TO BE REMOVED AND TURNED OVER TO THE CITY OF MEDINA.
- ⑥ REMOVE EXISTING BRICK PERS AND METAL FENCE.
- ⑦ REMOVE EXISTING LANDSCAPE ISLAND AND PLANTINGS.
- ⑧ REMOVE EXISTING TREES.



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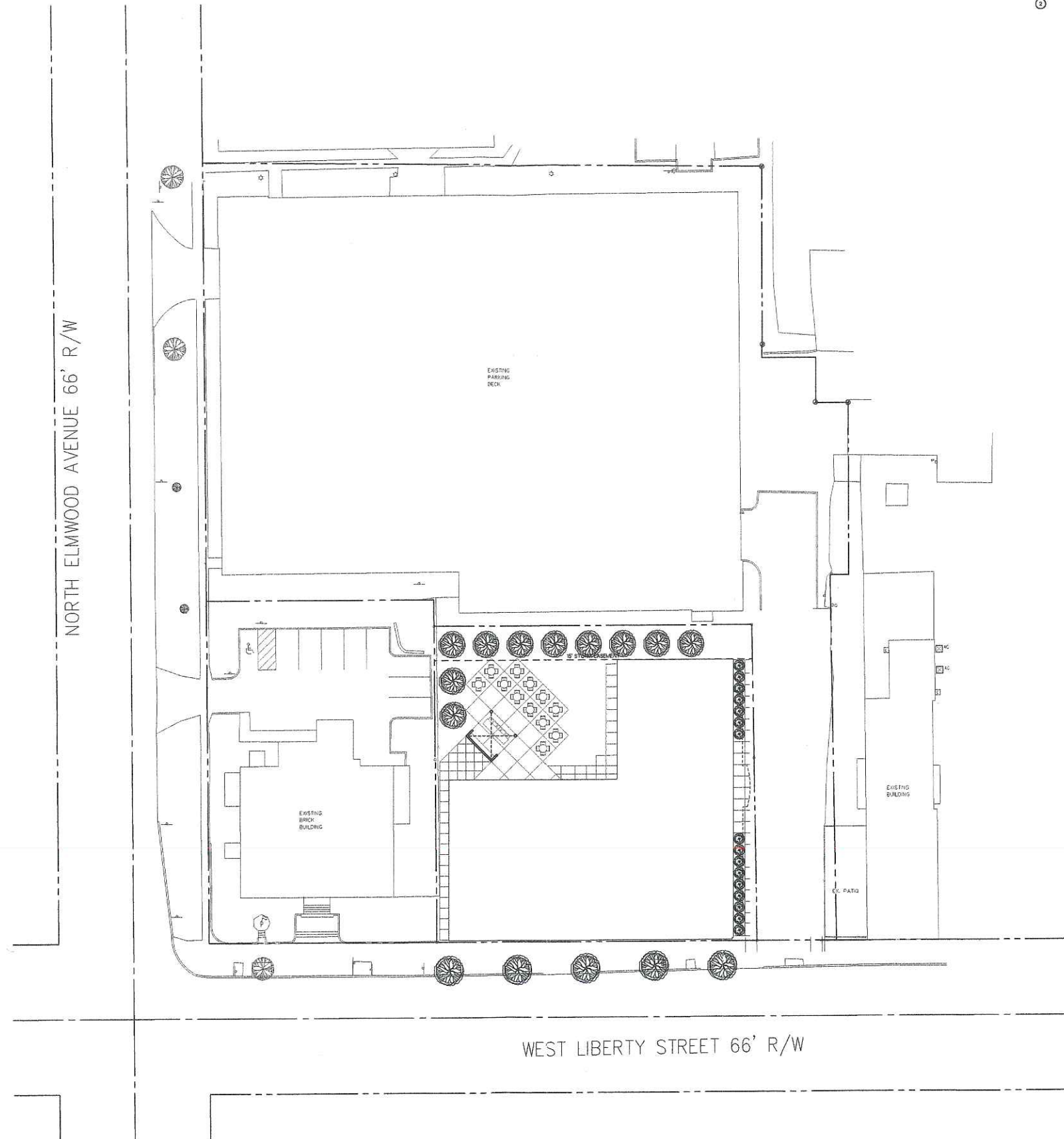
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SP-2

SITE DEMOLITION PLAN
 SCALE: 1" = 20' - 0"



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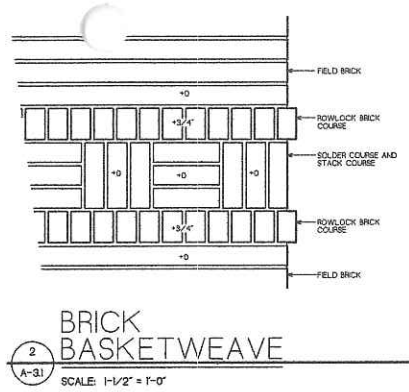
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SP-5

SITE LANDSCAPE PLAN
 SCALE: 1" = 20' - 0"



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Building "A"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Split Face 8" x 16"	Rococast	Buffstone	
B	Buttress 4"	Rococast	Buffstone	
C	Modular Brick	Belden	St. Anne Clear	
D	Modular Brick	Belden	St. Anne Blend 'A'	
E	EIFS	DRYVIT	#111 Prairie Clay	Limestone Finish
F	Window Frame & Trim	Andersen	Sandtone	SW #9174 Moth Wing
G	Corice			Refer to Details Sheets FA-4.3 & A-4.4 for paint color
H	Sillstone 4"	Rococast	Buffstone	
J	Injection Molded Letters	Gemini	#0314 Old Copper	Stud Mounted
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Light Champagne	

NOTES:

Building "B"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Modular Brick	Belden	Midland Blend 'A'	
B	Chamfered S 5/8" PHD-2256	Rococast	Buffstone	
C	Modular Brick	Belden	Rosewood Clear 'A'	
D	Windows	Andersen	Canvas	
E	Window Trim & Head		SW #	Siriseye Maple
F	Corice			Refer to Details Sheet A-4.5 for paint color
G	Awning	Sunbrella	Eastland Redwood	
H	Sillstone 4"	Rococast	Buffstone	
J	Injection Molded Letters	Gemini		Stud mounted
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Medium Bronze	

NOTES:

Building "C"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Modular Brick	Belden	Meadow Blend 'A'	
B	Modular Brick	Belden	Brandywine Velour 'A'	
C	Roof - Copper Standing Seam			
D	Window	Andersen	Sandtone	
E	Window Trim & Panel		SW #2119 Downing Slate SW #2837 Aurora Brown SW #2618 Renwick Heather	
F	Corice			Refer to Sheet A-4.6 for paint color
G	Awning	Sunbrella	Mediterranean Tweed	
H	Not Used			
J	Injection Molded Letters	Gemini		Stud mounted
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Dark Bronze	

NOTES:

Building "D"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Modular Brick	Belden	Kingsport Dart	
B	Modular Brick	Belden	Brandywine Velour 'A'	
C	EIFS	DRYVIT	#111 Prairie Clay	Sandblast Finish
D	Window	Andersen	Sandtone	
E	Window Trim	Andersen	SW #7829 Grapy	
F	EIFS Corice			Refer to details on Sheet A-4.7
G	Awning	Sunbrella	Eastridge Coconut	
H	Metalitions 12" x 12"	Pineapple Grove	Oak Leaf - Brownstone	
J	Injection Molded Letters	Gemini		Stud mounted
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Light Champagne	

NOTES:



ELEVATION NOTES
1 xxxxx
2 xxxxx

SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

PLOTTED 3/2/2021

ANTHONY J. CERNY #7926
EXPIRATION DATE 12/31/2021

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