

MEETING DATE: October 14, 2021

PLANNING COMMISSION

**Case No. P21-18
5990 Branch Road**

City of Medina
Planning Commission
Professional Review Report – October 14, 2021



Case No: P21-18

Address: 5990 Branch Road, Medina, OH (050-31A-26-011)

Applicant: Craig Sanders, Freeman Building Systems

Zoning: I-1 Industrial District

Request: Site plan approval to construct manufacturing and office facility

Reviewer: Arthur Schmidt, Senior Planner, OHM Advisors

Site Location Description:

The subject site is located at 5990 Branch Road in Medina, Ohio, within the Industrial District (I-1). Properties around the subject site are zoned Industrial (I-1).

Project Introduction:

The applicant is requesting a site plan approval to construct an 81,050 square foot manufacturing and office facility building. for their master plan.

Site Plan Review:

- **District Regulations: (Chapter 1141 I-1 Industrial District)**
The proposed site plan complies with the applicable zoning requirements outlined in sections 1141.01 – 1141.05.

- **Site Plan Guidelines:**
Section 1141.06 and Chapter 1109 guide the review and approval of the proposed site plan. The following are the Site Plan review guidelines from the Planning and Zoning Code Chapter 1109:
 1. Strengthen, protect, enhance and improve the existing visual and aesthetic character of the City, and to prevent the creation or perpetuation of nuisances or blight in the City.
 2. To integrate developments into the surrounding environment, as well as to ensure that each new development and redevelopment will be attractive.
 3. To protect and improve property values.
 4. To foster and encourage creative application of design principles.
 5. To ensure that the particular existing design features, which contribute to the unique character of Medina, are retained and re-created in a manner that retains and enhances the City's sense of community.

6. To ensure that new development and redevelopment are compatible and harmonious with the existing overall character of the city, especially when development is proposed in areas where the existing structures do not have architectural features that warrant replication or enhancement.
7. To bring new buildings into an orderly arrangement with landscape and nature, other buildings, and open space areas.
8. To ensure that these objectives are achieved through an impartial review

Reviewing the proposed site plan, the project meets the intent and objectives outlined in Chapter 1109 and Section 1141.06.

- **Parking & Site Lighting Plan:**
Parking and lighting as required by Section 1141.07 and Chapter 1145 have been provided and complies.
- **Landscaping, Buffering, and Screening:**
No additional improvements are required at this time.

Additional Staff Comments:

Please see the attached memo with additional comments from the City Engineer.

The Fire Department would like to comment that they will need to work with us on the location of private hydrants for the Expert Crane Application.

Recommendation:

Recommendation to the Planning Commission of the approval of site plan and manufacturing and office facility building contingent that the applicant resolve the requests from the City Engineer and Fire Department.

Prepared by:



Arthur Schmidt
Project Manager/Senior Planner
OHM Advisors

MEMO

Date: October 6, 2021
To: Planning Commission
From: Patrick Patton
RE: PC 21-18 Expert Crane

Please refer to the Checklist for Engineering Site Plan Approval – Commercial Development, attached.

The City of Medina currently has water available at the intersection of Commerce Drive and Branch Road. Water is also available along all of Commerce Drive.

Sanitary sewer is available at the intersection of Commerce Drive and Branch Road. Sanitary sewer is available along Commerce Drive a distance of approximately 640 feet north of Branch Road.

In both cases, the applicant would be required to either extend the City water line and the County sanitary sewer along Branch Road to the project site, or extend these services from Commerce Drive west to the project site.

Extending water and sanitary sewer across the City owned property between Commerce Drive and the project site will require an easement to be granted by Medina City Council. I recommend that the applicant submit a request to Medina City Council asking that an easement be granted for this purpose.

Regarding truck access, Branch Road east of Commerce Drive is a 'No Through Truck' road. Trucks will not be permitted on Branch between Commerce and SR 18. To gain access to the site, trucks will have to use Commerce Drive, either from SR 18 or from West Smith Road.

Trucks weighing in excess of 80,000 pounds will not be permitted along Branch Road between Commerce Drive and the project site.

I would note, Commerce Drive is an industrial City street. Trucks in excess of 80,000 pounds will be permitted to utilize Commerce Drive with a Special Hauling Permit. I strongly recommend that the applicant pursue construction of a driveway access between Commerce Drive and the project site to provide truck access. As with the water and sanitary sewer in this area, an easement for a driveway would also need to be granted by Medina City Council.

Please feel free to contact me with any question or comment.

Checklist for Engineering Site Plan Approval for Commercial Development

The Engineering Department must review and approve all proposed site plan improvements for every proposed commercial development. Commercial site plans submitted to the Engineering Department for review must include the following:

1. **Existing Conditions Plan** – The plan consists of a topographic survey of the existing parcel. The existing conditions plan must include the following information:
 - 1.1. Existing site contours (2 foot contours, minimum)
 - 1.2. Existing water features including streams, creeks, drainage swales, ponds, delineated wetlands, local and FEMA Floodways, etc.
 - 1.3. Existing structures, other notable geographic features
 - 1.4. Existing utility information, including utilities within and adjacent to the project site
 - 1.5. Lot details including property line and easement data
2. **Site Layout / Proposed Grading Plan** – The site layout and proposed grading plan must include all proposed improvements. It is noted that for some projects, particularly larger project, the site layout and grading plan may be submitted on separate plan sheets. The site layout / proposed grading plan must include the following (proposed location and elevations to be include for all the following):
 - 2.1. Proposed building layout and property parcel information, including proposed building set backs, proposed easements, etc.
 - 2.2. Proposed driveway, parking and sidewalk layout
 - 2.3. Proposed grading and site drainage improvements, including storm sewers, detention basins, new drainage swales, etc.
 - 2.4. Water service details, including tie in location, water lateral location, back flow prevention details, and (if applicable) water meter vault location and details.
 - 2.5. All other applicable utility details (electric, gas, telephone, cable, sanitary sewer, etc.)
 - 2.6. Please note, for some projects the City Engineer may require the applicant to submit cross sections along the site property lines
3. **Storm Water Pollution Prevention and Erosion Control Plan** – A storm water pollution prevention plan is required for all projects. The storm water pollution prevention plan must be completed in accordance with the 'Medina County Storm Water Management and Sediment Control Manual'.
4. **Storm Water Management and Sediment Control Analysis** - A storm water management and sediment control analysis must be completed on all projects which proposed to disturb more than 0.5 acres of land. For projects of this size, the applicant must complete and submit a storm water management analysis, including pre and post construction runoff calculations, detention calculations, storm water quality analysis, etc. Contact the City Engineer for details regarding required analysis. The storm water management analysis must be completed in accordance with the 'Medina County Storm Water Management and Sediment Control Manual'.
5. **Landscaping Plan** – A landscaping plan with details (quantity, location and species) of all required trees, shrubs and other vegetation. Please note, the landscaping plan will be reviewed by the City Forester.
6. **Drainage, Pavement and Landscaping Bond** – In accordance with Section 1109.02 (e) of the Codified Ordinance for the City of Medina, all applicants are required to submit a financial guarantee to cover 25% of the estimated costs to complete the drainage, hard surfacing and landscaping improvements for the proposed project. The financial guarantee may be in the form of a performance bond, letter of credit, cash deposit or other form (as approved by the City Law Director and Finance Director). Bond amount to be determined and approved by the City Engineer. The financial guarantee will be released back to the applicant after City Engineer acceptance of all drainage, hard surfacing and landscaping improvements.



CITY OF MEDINA

Planning Department

132 North Elmwood Street
 Medina, Ohio 44256
 PH (330) 722-9023 • FX (330) 722-9045
 www.mediamoh.org

Boards and Commissions Application for Zoning Approval

Project Address: 5990 Branch Rd Medina

Parcel No: 050-31A-26-011 Case No: P 21-18

Project Description: (describe below and check all that apply) Develop site to construct 81,050 SF MFG + Corporate Office Facility for Expert Crane.

Planning Commission

- Site plan approval
- Conditional zoning certificate
- Conditional sign approval
- Code or Map Amendment
- Preliminary plan
- Subdivision
- Other:

Historic Preservation Board

- Certificate of Appropriateness
- Conditional sign approval

Board of Zoning Appeals

- Variance
- Appeal

Please note: applications will not be accepted as complete by the City of Medina until the applicant and property owner fulfill the requirements listed within the submittal requirements. Application fees are accepted in cash or by check payable to the City of Medina.

Affidavit of Applicant and Property Owner

The undersigned do hereby certify that the information to the City of Medina in and with this application is true and accurate and consents to employees and/or agents of the City of Medina entering upon the premises of this application for purposes of inspection pertaining to the application. Property Owner also consents to posting of a sign seven days prior to the scheduled meeting for public notice for variance, rezoning, code amendment, conditional use requests, and requests subject to a public hearing.

Applicant: Craig Sanders Property Owner: 5990 Branch Road LLC
 Address: Freeman Building Systems Address: 5990 Branch Rd.
Wooster OH 44691 Medina OH 44256
 Email: cas@freemanbuilding.com Email: _____
 Phone: 330-267-3424 Fax: 330-263-6611 Phone: _____ Fax: _____

Craig Sanders 9-22-21
 Applicant (please sign and print) Date

James C. Doty 09-23-21
 Property Owner (please sign and print) Date

PROPOSED FACILITY FOR: EXPERT CRANE

5990 BRANCH RD - MEDINA, OHIO 44256

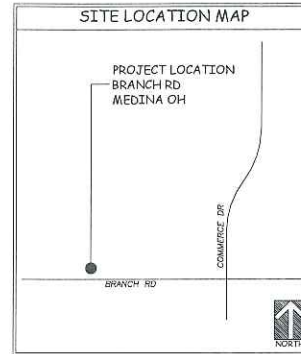
PARCEL # 050-31A-26-011

O.B.C. CODE DATA (2017)		
USE GROUP	F-2 / B	
NON SEPARATED MIXED USES PER OBC 509.3		
UNADMITTED BUILDING AREA PER OBC 507.3		
CONSTRUCTION TYPE	III B	
ALL WOOD BEAMS OR NAILERS SHALL BE FIRE RETARDANT TREATED PER OBC 603		
(PER OBC TABLES 504.4 & 505.2)		
ALLOWABLE HEIGHT	3 STORIES	
ALLOWABLE AREA	23,000 S.F. PER FLOOR	
PROPOSED BUILDING AREA F-2	69,830 S.F.	
PROPOSED BUILDING AREA B	11,220 S.F.	
TOTAL AREA	81,050 S.F.	
OCCUPANCY LOAD PER 1004.1.2	ACTUAL	PER OBC
PROPOSED F-2 FACTORY / INDUSTRIAL	50	698
PROPOSED B BUSINESS + 1/100 SQ. FT.	40	112
TOTAL OCCUPANCY =	90	810
ALLOWABLE LENGTH OF EXIT TRAVEL F-2	300 (OBC TABLE 1017.2)	
ACTUAL LENGTH OF EGRESS	300	
ALLOWABLE LENGTH OF EXIT TRAVEL B	200 (OBC TABLE 1017.2)	
ACTUAL LENGTH OF EGRESS	200	
PROPOSED B PLUMBING FIXTURES PER TABLE 2902.1		
BASED UPON OBC 1700.1 URINALS / 1000 WATER CLOSETS = 5		
BASED UPON OBC MALE 1/100 WATER CLOSETS = 3 MALE / 3 FEMALE		
BASED UPON OBC MALE 1/100 WATER CLOSETS = 2		
BASED UPON OBC MALE 1/100 URINALS = 1 (AT 50% OF WATER CLOSETS MAX)		
PROPOSED F-2 PLUMBING FIXTURES PER TABLE 2902.1		
BASED UPON OBC 1700.1 URINALS / 1000 WATER CLOSETS = 3		
BASED UPON OBC MALE 1/100 WATER CLOSETS = 3 MALE / 3 FEMALE		
BASED UPON OBC MALE 1/100 WATER CLOSETS = 2		
BASED UPON OBC MALE 1/100 URINALS = 1 (AT 50% OF WATER CLOSETS MAX)		
F-2 MAX OCCUPANCY WILL BE DETERMINED BY PLUMBING FIXTURE QUANTITIES.		
MEN OCCUPANCY WILL BE A MAXIMUM OF 250.		
LIMITED BY WATER CLOSETS AND URINALS.		
WOMEN OCCUPANCY WILL BE A MAXIMUM OF 300.		
LIMITED BY WATER CLOSETS.		
TOTAL MAXIMUM OCCUPANCY WILL BE 550 IN LIEU OF 698 PER OBC.		

BUILDING DESIGN CRITERIA	
STRUCTURAL DESIGN INFORMATION PER OBC 1603.1.1 - 1603.1.8	
FLOOR LIVE LOADS SLAB ON GRADE -	250 PSF
FLOOR LIVE LOADS SLAB ON BECK -	N/A
ROOF SNOW LOAD -	20 PSF
ROOF LIVE LOAD -	5 PSF
ROOF COLLATERAL LOAD -	5 PSF
GROUND SNOW LOAD -	20 PSF
SNOW EXPOSURE FACTOR C_e -	1.00
SNOW IMPORTANCE FACTOR I_s -	1.00
THERMAL FACTOR C_t -	1.00
BASIC WIND SPEED (3-SEC. 50-YR) -	115 MPH
WIND IMPORTANCE FACTOR -	1.00
OCCUPANCY CATEGORY -	II
WIND EXPOSURE -	B
HEIGHT COEFFICIENT - (HT > 35') -	1.00
INTERNAL PRESSURE COEFFICIENT -	0.18
WIND PRESSURE -	12.8 PSF MAX
SEISMIC IMPORTANCE FACTOR -	1.00
OCCUPANCY CATEGORY -	II
MAPPED SPECTRAL RESPONSE ACCELERATIONS S_{ds} -	0.142
SITE CLASS -	C
SPECTRAL RESPONSE COEFFICIENT S_R -	0.286
SEISMIC DESIGN CATEGORY -	II
BASIC SEISMIC FORCE - RESISTING SYSTEM: PRE-ENG. METAL BLDG	
DESIGN BASE SHEAR -	1.9 kips
RESPONSE MODIFICATION FACTOR -	R=7
ANALYSIS PROCEDURE USED -	EQUVALENT LATERAL FORCE
SOIL BEARINGS - PER SUBSURFACE REPORT -	2,000 PSF

NOTE #1:
MEP CONTRACTORS WILL SUBMIT DRAWINGS AND SPECIFICATIONS FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF THEIR RESPECTIVE WORK.

GENERAL NOTES	
1) ALL REFERENCES IN THIS SECTION ARE TO THE OBC (OHIO BUILDING CODE 2017). ALL AREAS OF THIS BUILDING ARE TO MEET OR EXCEED THE STANDARDS PRESCRIBED THEREIN.	
2) ROOM DIMENSIONS AND CEILING HEIGHTS MEET THE REQUIREMENTS OF SECTION 1208.2.	
3) OCCUPANT LOAD FOR WORK AREA MEETS THE REQUIREMENTS OF SECTION 1004.1.1.	
4) CAPACITY OF EGRESS COMPONENTS EXCEEDS THE REQUIREMENTS OF TABLE 1005.1. QUANTITY OF EXITS EXCEEDS THE REQUIREMENTS OF TABLE 1019.1. DOOR WIDTHS MEET THE REQUIREMENTS OF SECTION 1005.1.	
5) HARDWARE FOR ALL EGRESS DOORS SHALL MAINTAIN THE DOORS READILY OPERABLE FROM THE SIDE WHICH EGRESS IS TO MAKE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. DRAW BOLTS, HOOKS AND OTHER SIMILAR DEVICES ARE PROHIBITED ON ALL EGRESS DOORS. THE USE OF MANUALLY OPERATED PUSH BOLTS OR SURFACE BOLTS IS PROHIBITED, REFER TO SECTION 1008.1.3.4.	
6) ALL DOOR HARDWARE SHALL COMPLY WITH ICC A117.1-2009 REQUIREMENTS.	
7) ALL DOORS WITH GLASS SHALL MEET OR EXCEED THE REQUIREMENTS FOR HUMAN IMPACT LOADS, PER SECTION 2408.1.	
8) INTERIOR FINISH AND TRIM TO MEET OR EXCEED THE REQUIREMENTS OF CHAPTER 8.	
9) FIRE EXTINGUISHING EQUIPMENT SHALL COMPLY WITH THE PROVISIONS OF SECTION 906.1.	
10) WORK BY ELECTRICAL CONTRACTOR. ALL WORK TO CONFORM WITH LOCAL, STATE AND NATIONAL ELECTRIC CODES.	
11) WORK BY PLUMBING CONTRACTOR. ALL WORK TO CONFORM WITH LOCAL, STATE AND NATIONAL ELECTRIC CODES.	
12) WORK BY HVAC CONTRACTOR. ALL WORK TO CONFORM WITH LOCAL, STATE AND NATIONAL CODES.	
13) CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS.	
14) ALL DETAILS AND SECTIONS ARE CONSIDERED TYPICAL AND ARE TO BE USED BY THE CONTRACTOR TO DEVELOP COMPLETE DETAILS OF CONSTRUCTION FOR EACH PHASE OF WORK.	
15) DESIGN, DETAILING AND IMPLEMENTATION OF ALL SHORING AND BRACING THAT MAY BE REQUIRED FOR THE PROJECT DURING CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.	
16) DO NOT SCALE PLANS, DETAILS OR SECTIONS. IF THERE IS ANY QUESTION ABOUT DETAILS OR DIMENSIONS, CONTACT FREEMAN BUILDING SYSTEMS FOR MORE INFORMATION.	



SCOPE OF WORK
CONSTRUCT NEW BLDG OF F-2 & B USE GROUPS
MANUFACTURING / OFFICE

DRAWING INDEX	
TITLE SHEET	6001
SPECS / CODE DATA	6002
EXISTING SITE CONDITIONS	C101
PROPOSED SITE LAYOUT	C102
LANDSCAPE PLAN	L101
LANDSCAPE DETAILS	L101
OVERALL FLOOR PLAN / ROOM FINISH SCHEDULE	A101
ENLARGED FLOOR PLANS / ROOM FINISH SCHEDULE	A102
EXTERIOR ELEVATIONS	A101
SITE PHOTOGRAPHIC	EL100
SITE FIXTURE CUT SHEETS	EL101

ICC A117.1-2009 DETAILS NOT TO SCALE

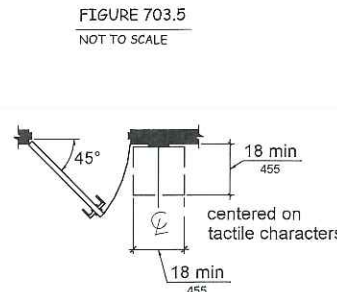
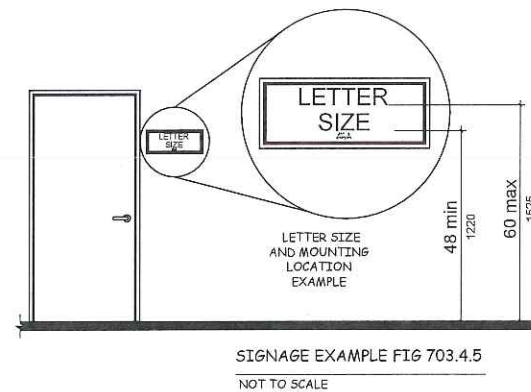
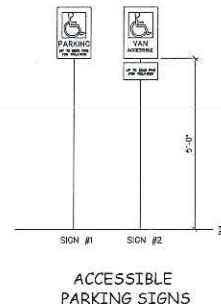
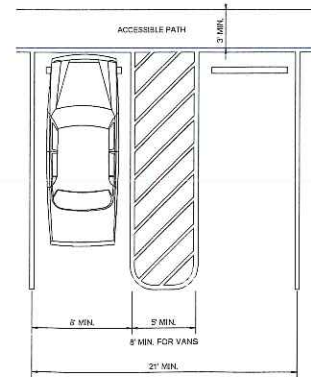


FIGURE 703.11
NOT TO SCALE



PROJECT DESIGN RESPONSIBILITIES

PROJECT ENGINEER OF RECORD
STRUCTURAL ENGINEER
SIXMO
ARCHITECTS/ENGINEERS
PATRICK THORNTON
1101 AUBURN AVE
CLEVELAND OH 44113
PH: 216-767-5400
FAX: 216-767-5477

CIVIL ENGINEERING
ALBER & RICE CONSULTING ENGINEERS
HOWIE HALL
31913 COOK RD
NORTH RIDGEVILLE OH 44039
PH: 216-252-7840

PLUMBING / HVAC ENGINEER
SIXMO
ARCHITECTS/ENGINEERS
PATRICK THORNTON
1101 AUBURN AVE
CLEVELAND OH 44113
PH: 216-767-5400
FAX: 216-767-5477

ELECTRICAL ENGINEER
SIXMO
ARCHITECTS/ENGINEERS
PATRICK THORNTON
1101 AUBURN AVE
CLEVELAND OH 44113
PH: 216-767-5400
FAX: 216-767-5477

FIRE SUPPRESSION
NOT USED

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FREEMAN
BUILDING SYSTEMS

PO BOX 125 WOODSTER, OH 44091 (330) 264-5424 | PO BOX 144 MANVEL, OH 44041 (330) 524-3000

Engineer Name and Address
SIXMO
ARCHITECTS/ENGINEERS
1101 AUBURN AVE
CLEVELAND, OH 44113
O: 216-767-5400

Project Name and Address
PROPOSED FACILITY FOR EXPERT CRANE
5990 BRANCH RD
MEDINA OH, 44256

Private Rest Room	09.21.2021
No.	Revision / Issue
	Date

Job No: 2140
Date: September 20, 2021
Scale: NTS

TITLE SHEET
6001

CONCRETE AND REINFORCING STEEL

ALL CONCRETE SHALL CONFORM TO THE FOLLOWING REFERENCED STANDARDS (2002):
 ACI 318-02: BUILDING CODE REQUIREMENT FOR REINFORCED CONCRETE.
 ACI 315: DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.
 ACI 308: RECOMMENDED PRACTICES FOR HOT WEATHER CONCRETE PLACEMENT.
 ACI 306: RECOMMENDED PRACTICES FOR COLD WEATHER CONCRETE PLACEMENT.
 ACI 301: SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
 ACI 304: RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE.

ALL CAST-IN-PLACE FOOTER CONCRETE SHALL BE 3000 PSI AT 28 DAYS WITHOUT AIR ENTRAINMENT.

ALL CAST-IN-PLACE PIER CONCRETE SHALL BE 4000 PSI AT 28 DAYS WITHOUT AIR ENTRAINMENT.

ALL CAST-IN-PLACE INTERIOR SLAB CONCRETE SHALL BE 4000 PSI AT 28 DAYS WITHOUT AIR ENTRAINMENT AND WITH APPROPRIATE CURE SEALER AND HAVE SMOOTH TROWEL FINISH.

ALL CAST-IN-PLACE EXTERIOR SLAB CONCRETE SHALL BE 4000 PSI AT 28 DAYS WITH STANDARD AIR ENTRAINMENT AND WITH APPROPRIATE CURE SEALER AND HAVE BROOM FINISH.

REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A-615 GRADE 60.

ALL REINFORCING BAR BENDS SHALL COMPLY WITH CRSI STANDARDS.

ALL REINFORCING BAR LAPS SHALL BE EQUIVALENT TO 36 BAR DIAMETERS.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A105. ONLY FLAT SHEETS SHALL BE USED. ALL WELDED WIRE FABRIC SPLICES SHALL BE NOT LESS THAN (2) SPACING OF CROSS WIRES OR 6", WHICHEVER IS GREATER.

ALL CONCRETE FORM WORK SHALL BE STRAIGHT AND FREE OF DISTORTION OR DEFECTS. FORMS SHALL RETAIN HORIZONTAL AND VERTICAL ALIGNMENT UNTIL REMOVAL OF SUCH.

USE OF CALCIUM CHLORIDE OR WATER REDUCER MIXTURES MUST BE APPROVED BY GENERAL CONTRACTOR PRIOR TO PLACEMENT OF CONCRETE.

CONCRETE SHALL BE COMPOSED OF PORTLAND CEMENT, FINE AND COARSE AGGREGATE, WATER AND AIR ENTRAINING AGENTS AS REQUIRED. ALL CONCRETE SHALL HAVE WATER/CEMENT RATIO CORRESPONDING CEMENT FACTORS SUFFICIENT TO MEET STRENGTH AND WORKABILITY REQUIREMENTS.

ALL CONCRETE SLABS SHALL HAVE CONTROL JOINTS SAW CUT WITHIN 8 HOURS AFTER CONCRETE PLACEMENT. SAW CUTS SHALL BE ON GRADE TO HAVE A MAXIMUM OF 1/2" O/C PER CONTROL JOINT. DEPTH OF SAW CUT TO BE NO MORE THAN AN 1/3 OF THE SLAB THICKNESS.

SITE MIX CONCRETE SHALL NOT BE PERMITTED.

ALL WATER THAT HAS ACCUMULATED IN OPEN FOUNDATION EXCAVATIONS SHALL BE COMPLETELY REMOVED PRIOR TO PLACEMENT OF ANY CONCRETE IN EXCAVATIONS. ALL SOIL SURROUNDING AND UNDER FOOTING SHALL BE PROTECTED FROM FREEZING.

NO CONCRETE SLABS SHALL HAVE JOINTS IN THE HORIZONTAL PLANE UNLESS SHOWN AND APPROVED. ELECTRICAL CONDUITS PLACED IN CONCRETE SLABS SHALL NOT BE LARGER THAN 1/3 OF THE SLAB THICKNESS.

FOOTING STEPS MAY BE 1 VERTICAL TO 2 HORIZONTAL WITH A MAXIMUM STEP OF 2'-0".

PROTECT CONCRETE FROM PHYSICAL DAMAGE OR REDUCED STRENGTH DUE TO WEATHER EXTREMES DURING MIXING, PLACEMENT AND CURING.

PLACE CONCRETE IN A CONTINUOUS OPERATION WITHIN PLANNED JOINTS OR SECTIONS. CONSOLIDATE PLACED CONCRETE USING MECHANICAL VIBRATING EQUIPMENT WITH HAND RODDING AND TRAMPING SO THAT CONCRETE IS WORKED AROUND ALL REINFORCEMENTS AND OTHER EMBEDDED ITEMS AND INTO ALL PARTS OF FORMS.

CONCRETE EXPOSED TO FREEZING AND THAWING SHALL HAVE 5% TO 7% AIR CONTENT.

PROVIDE A MINIMUM CLEARANCE 3" OF CONCRETE COVER OVER REINFORCING STEEL BELOW GRADE. WELDED WIRE FABRIC SHALL BE SUPPORTED BY CHAIRS.

PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. DO NOT CUT ANY REINFORCING THAT MAY CONFLICT WITH PLUMBING OR ELECTRICAL PLACEMENTS. DRILL CORING CONCRETE IS NOT PERMITTED WITHOUT PERMISSION FROM THE GENERAL CONTRACTOR.

PIPES LARGER THAN 1 1/2" DIAMETER SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE EXCEPT WHERE SPECIFICALLY APPROVED BY THE GENERAL CONTRACTOR.

MASONRY

ALL MASONRY WORK SHALL BE INSTALLED BY CRAFTSMEN SKILLED IN THEIR TRADE. INSTALL MASONRY AND MASONRY ACCESSORIES PER PLANS, AND AS REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE BEST TRADE PRACTICES.

ALL DESIGN, MATERIALS, LABOR AND CONSTRUCTION OF THE MASONRY SHALL CONFORM TO THE BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-02/SAC 5-02/TMS 402-02) AND THE SPECIFICATION FOR MASONRY STRUCTURES (ACI 530-02/SAC 5-02/TMS 602-02).

MASONRY MATERIALS SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:
 HOLLOW LOAD BEARING CONCRETE BLOCK: ASTM C90, GRADE N, TYPE 1, MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI.
 SOLID LOAD BEARING CONCRETE BLOCK: ASTM C145, GRADE N.
 MORTAR, UNIT MASONRY: ASTM C270 TYPE N.
 MORTAR: ASTM C476, TYPE M.
 MASONRY REINFORCING: ASTM A82, GALVANIZED.
 GROUT: CONFORM TO ASTM C476, SPECIFIED BY PROPORTION, TYPE 1 PORTLAND CEMENT, FINE AND COARSE AGGREGATE. 28 DAY COMPRESSIVE STRENGTH SHALL BE 3,000 PSI. NON SHRINKING.
 FM = 1,500 PSI.
 AGGREGATE FOR MORTAR SHALL BE ASTM C144, AGGREGATE FOR GROUT ASTM C404.
 PROVIDE 24" SOLID MASONRY UNDER BEAMS BEARING ON WALL.

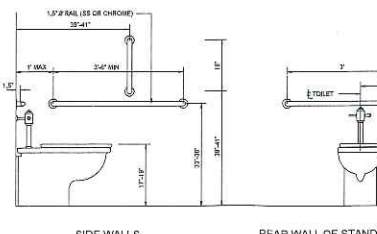
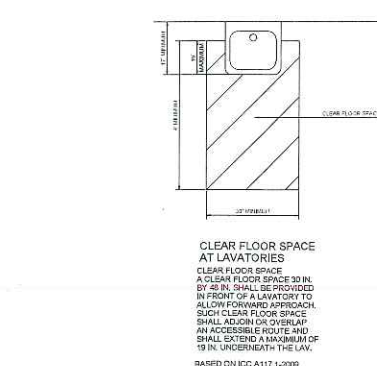
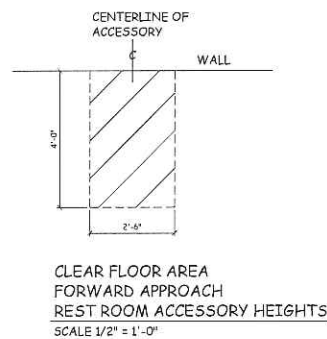
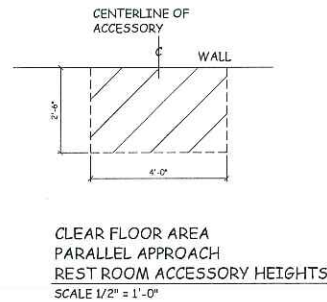
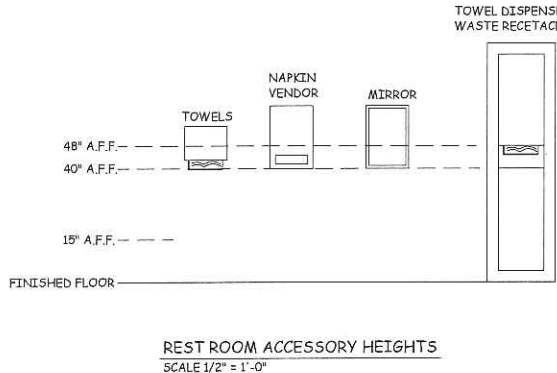
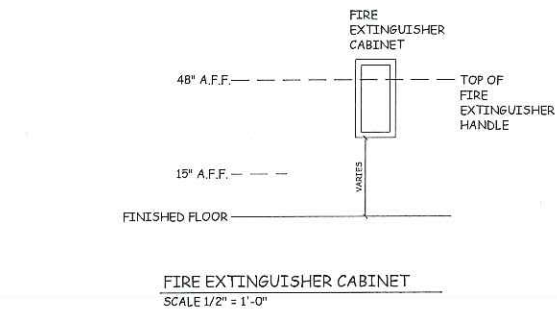
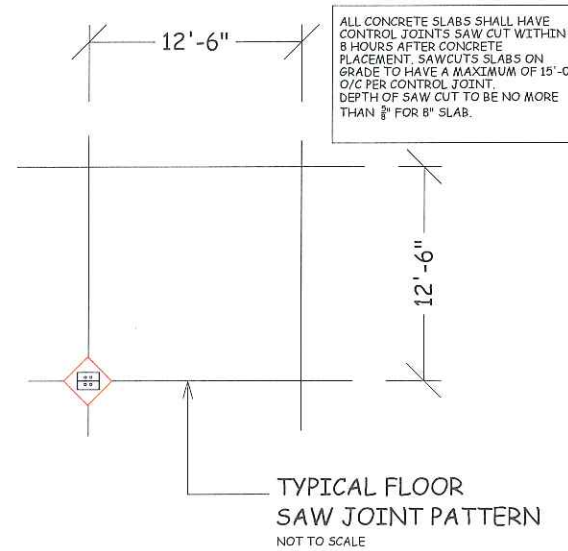
HORIZONTAL JOINT REINFORCEMENT SHALL BE FACTORY FABRICATED FROM COLD DRAWN STEEL WIRE ASTM A82 ZINC COATED. REINFORCEMENT SHALL CONSIST OF TWO OR MORE DEFORMED LONGITUDINAL WIRES, MINIMUM 9 GAUGE, FORMING A TRUSS TYPE DESIGN AND SHALL BE TREATED FOR CORROSION RESISTANCE. REINFORCING WIDTH SHALL BE 1 1/2" TO 2" LESS THAN WALL THICKNESS. REINFORCED HORIZONTAL JOINTS SHALL BE AT 18" O/C VERTICALLY EXCEPT AT OPENINGS.
 REINFORCING ENDS TO LAP 6" MINIMUM. STOP REINFORCING AT ALL CONTROL JOINTS.
 ANCHORS AND TIES SHALL BE OF FERROUS METAL OF THE TYPE SPECIFIED WITH ZINC COATING ASTM A153.
 MASONRY CONTRACTOR SHALL PROTECT ALL PARTIALLY COMPLETED MASONRY WHEN WORK IS NOT IN PROGRESS.
 REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A-615 GRADE 60. WELDING OF REINFORCING STEEL SHALL CONFORM TO AWS/AWS D1.4-92. NO WELDING.

SPECIAL INSPECTIONS REQUIRED PER OBC SECTION 1704.3

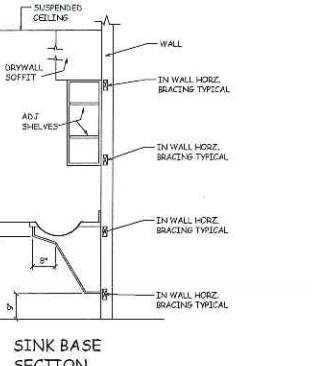
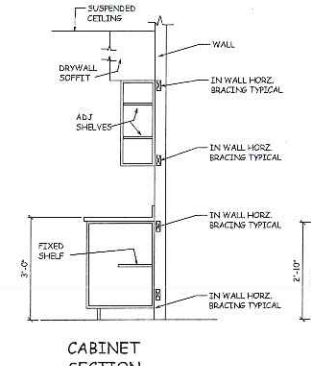
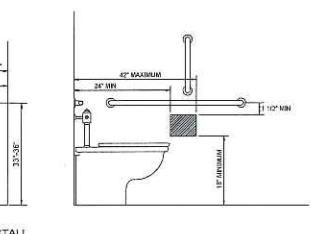
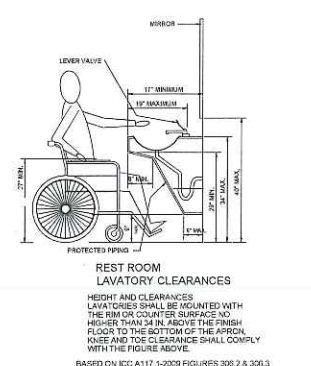
- 2. STEEL CONSTRUCTION (1705.2 OBC)**
 STRUCTURAL STEEL-HIGH STRENGTH BOLTS AND WELD AT SITE PER AISC.
 INSPECTION OF STEEL FRAME JOINT DETAILS FOR COMPLIANCE.
- 3. CONCRETE CONSTRUCTION (1705.3 OBC)**
 STRUCTURAL CONCRETE, INSPECTION AND LABORATORY TESTS PER ACI-318, REINFORCEMENT PLACEMENT
- 4. MASONRY CONSTRUCTION (1705.4 OBC)**
 REINFORCED MASONRY INSPECTION AND TESTING PER NCMA, GROUT, MORTAR, REINFORCING PLACEMENT.
- 6. SOIL CONDITIONS (1705.6 OBC)**
 CONTROLLED EARTH WORK
 SOIL COMPACTION
 INSPECT BEARING SURFACE FOR FOOTING
 VERIFICATION OF ALLOWABLE SOIL BEARING CAPACITY MINIMUM

ABOVE TESTING TO BE PERFORMED BY:
 WERTZ GEOTECHNICAL ENGINEERING
 400 COLLIER DR
 DOYLESTOWN OH, 44230
 PH: (330)-454-1113

ATTENTION:
 LEROY WERTZ, P.E.



GRAB BARS AT WATER CLOSETS
 BASED ON ICC A117.1-2009 FIGURES 604.5.1 & 604.5.2
 *NONCOMBUSTIBLE WOOD BLOCKING PLACED IN WALLS FOR GRAB BAR SUPPORTS



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 CLEVELAND, OH 44113
 O: 216-767-5400

Engineer Name and Address
 SIXMO ARCHITECTS/ENGINEERS
 1101 AUBURN AVE.
 CLEVELAND, OH 44113
 O: 216-767-5400

Project Name and Address
 PROPOSED FACILITY FOR EXPERT CRANE
 5990 BRANCH RD
 MEDINA OH, 44256

Private Rest Room	09.21.2021
No.	Revision / Issue
Date	

Job No.: 2140
 Date: September 20, 2021
 Scale: NTS

CODE DATA
G002



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 P.O. BOX 141, WAINSFIELD, OHIO 44601 (330) 551-3800

PRELIMINARY
 NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

- EXISTING DRAINAGE STRUCTURES
- ST-1 11-12' 14"R -1124.45
 - ST-2 11-12' 12"R -1124.00
 - ST-3 11-12' 14"R -1124.84
 - ST-4 11-12' 14"R -1124.82
 - ST-5 11-12' 14"R -1124.26
 - ST-6 11-12' 12"R -1123.25
 - ST-7 11-12' 12"R -1123.25
 - ST-8 11-12' 12"R -1123.25
 - ST-9 11-12' 12"R -1123.25
 - ST-10 11-12' 12"R -1123.25
 - ST-11 11-12' 12"R -1123.25
 - ST-12 11-12' 12"R -1123.25

Architect Name and Address

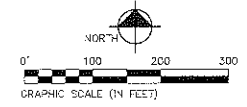


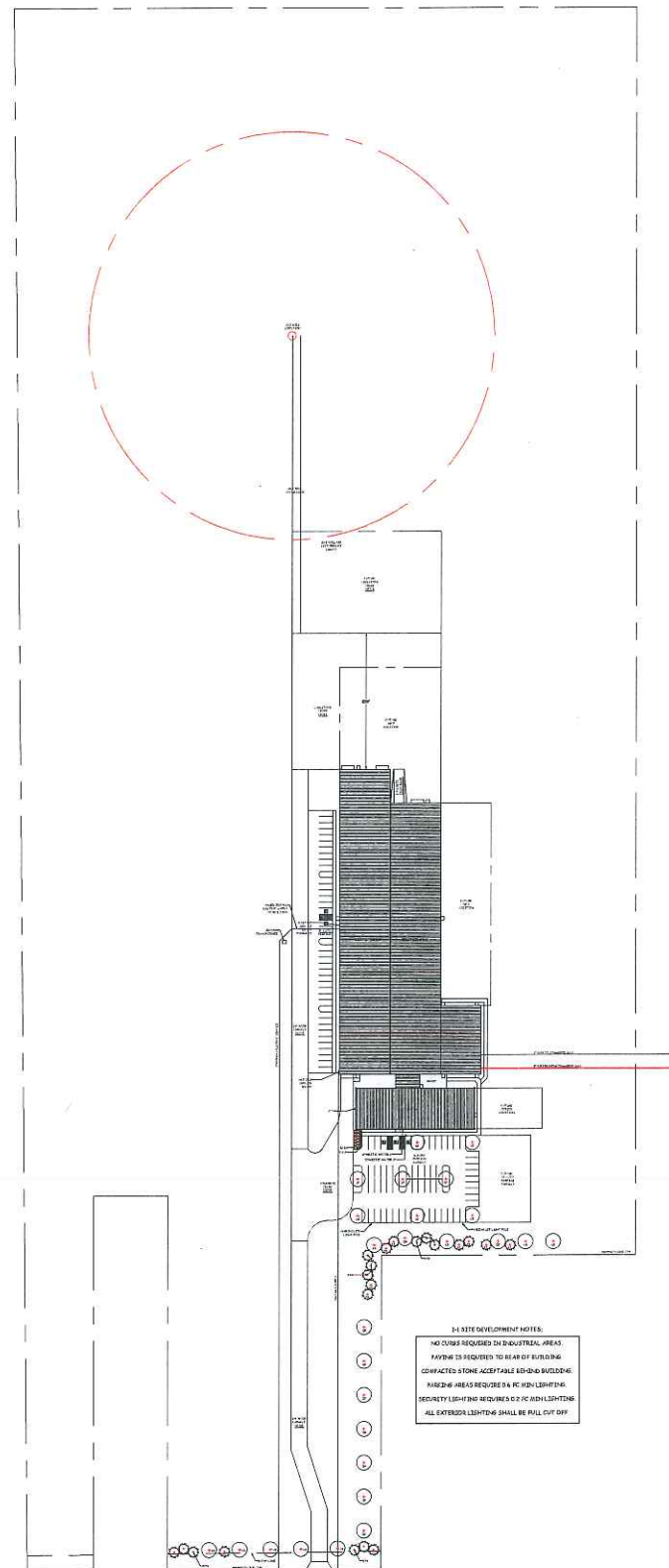
ALBER & RICE
 SURVEYING - CIVIL - STRUCTURAL
 2507 The Hill, North Register, Ohio 43081

Project Name and Address
PROPOSED FACILITY FOR EXPERT CRANE
 5990 BRANCH RD
 MEDINA OHIO, 44256

Sheet Title
EXISTING SITE PLAN

Job # **2140** Draw # **C101**
 Date **9/20/21**
 Scale **1" = 100'**





WITHOUT AERIAL OVERLAY

34 SITE DEVELOPMENT NOTES:
 NO CURBS REQUIRED ON INDUSTRIAL AREAS
 PAVING IS REQUIRED TO BE 4" OF BURNING
 CONTACTED WITH ACCESSIBLE PAVING
 PARKING AREAS REQUIRE 24" FC HIGH LIGHTING
 SECURITY LIGHTING REQUIRE 22" FC HIGH LIGHTING
 ALL EXTERIOR LIGHTING SHALL BE FULL CUT OFF



WITH AERIAL OVERLAY

PROPOSED
SITE LAYOUT
 SCALE 1" = 100'-0"



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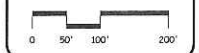
FREEMAN
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 PO BOX 725 WOODSTER, OH 44091 | (330) 763-5224 | PORTAUX 14141 WAINWIELD, OH 44091 | (330) 924-4300

Engineer Name and Address
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 ARCHITECTS/ENGINEERS
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 O: 216-767-8400

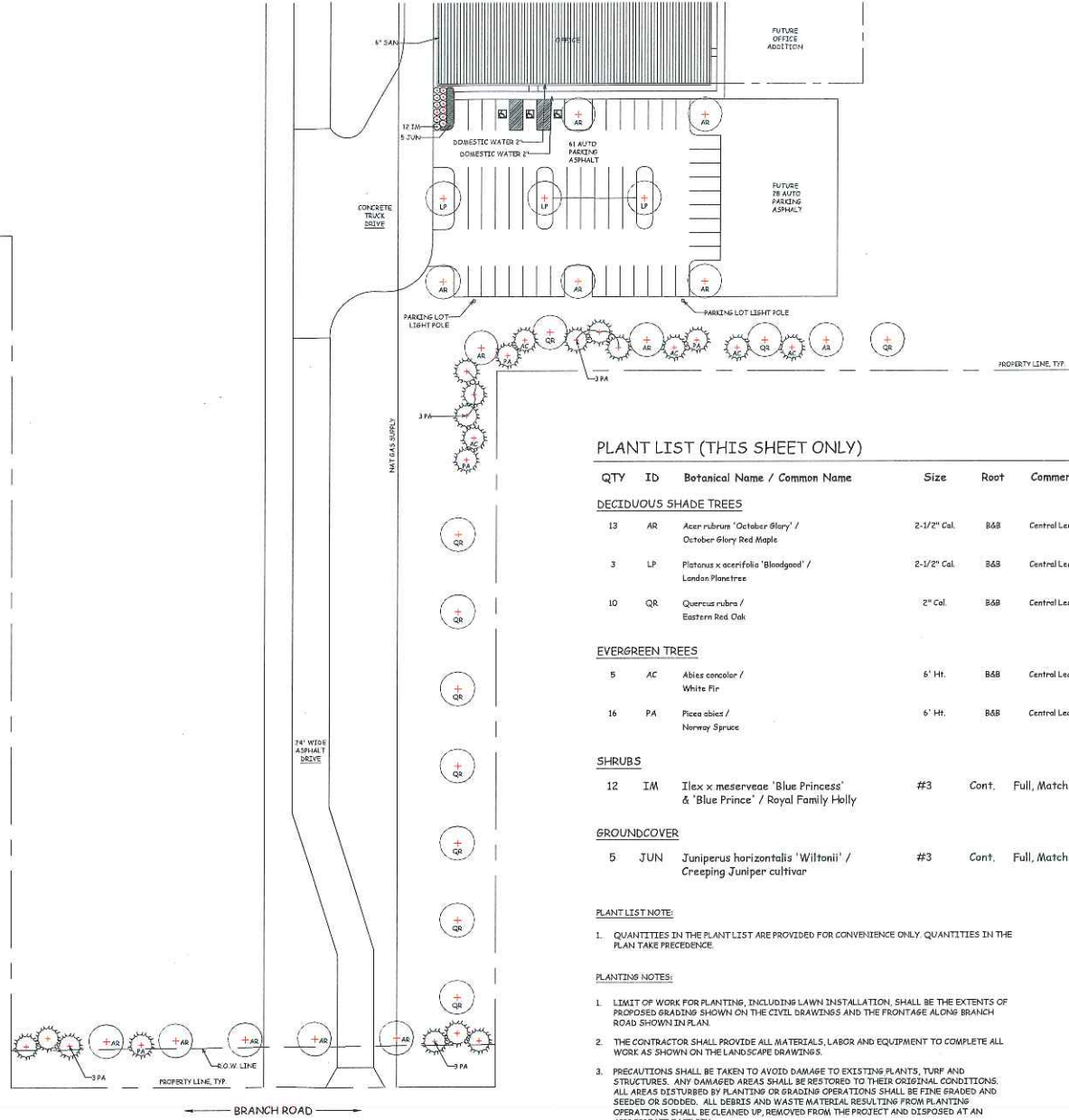
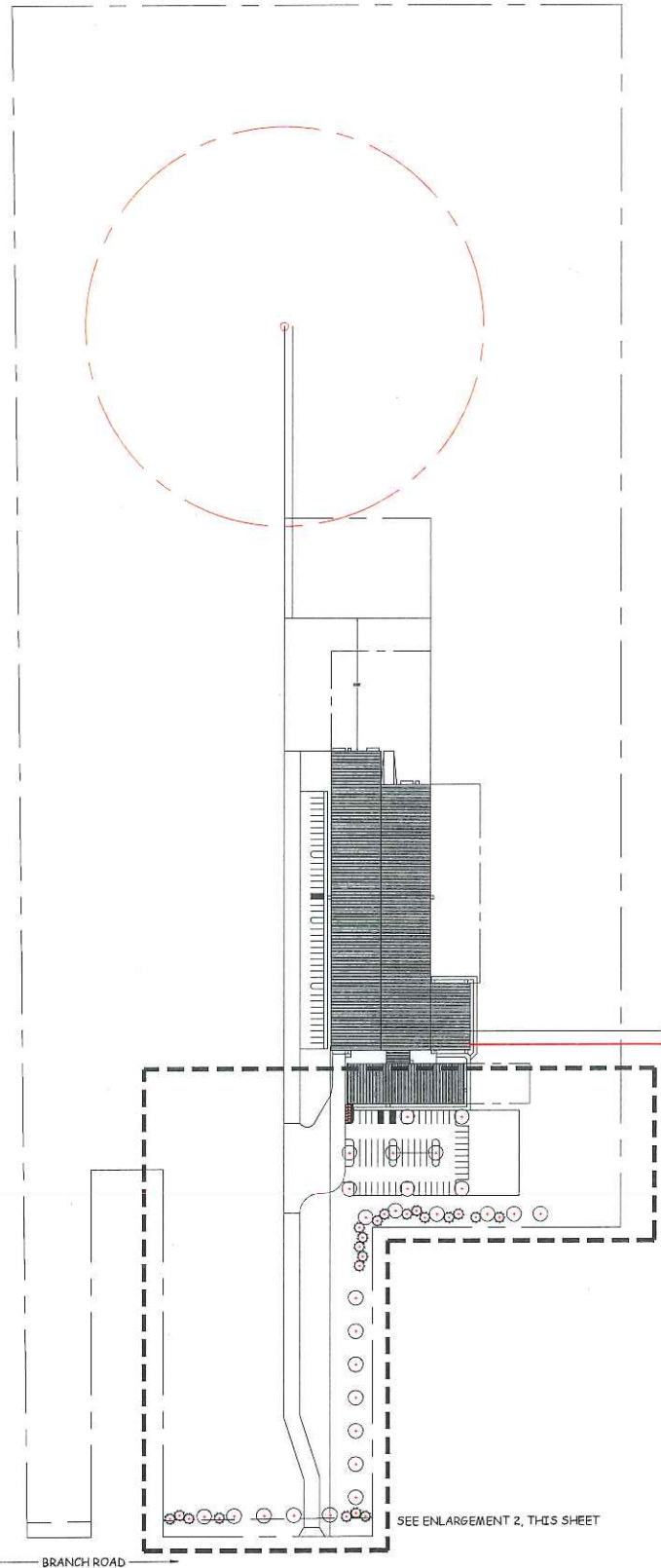
Project Name and Address
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 FACILITY
 FOR
 EXPERT CRANE
 5990 BRANCH RD.
 MEDINA OH, 44256

Private Rest Room	09.21.2021
No.	Revision / Issue Date




Job No.: 2140
 Date: September 20, 2021
 Scale: 1" = 100'-0"



PROPOSED
 SITE LAYOUT
C102



LEGEND

-  PROPOSED SHADE TREE
-  PROPOSED EVERGREEN TREE
-  NORTH

PLANT LIST (THIS SHEET ONLY)

QTY	ID	Botanical Name / Common Name	Size	Root	Comments
DECIDUOUS SHADE TREES					
13	AR	Acer rubrum 'October Glory' / October Glory Red Maple	2-3/2" Cal.	B&B	Central Leader, Full, Matched
3	LP	Platanus x acerifolia 'Bloodgood' / London Plane tree	2-1/2" Cal.	B&B	Central Leader, Full, Matched
10	QR	Quercus rubra / Eastern Red Oak	2" Cal.	B&B	Central Leader, Full
EVERGREEN TREES					
5	AC	Abies concolor / White Fir	6' Ht.	B&B	Central Leader, Full, Matched
16	PA	Picea abies / Norway Spruce	6' Ht.	B&B	Central Leader, Full, Matched
SHRUBS					
12	IM	Ilex x meserveae 'Blue Princess' & 'Blue Prince' / Royal Family Holly	#3	Cont.	Full, Matched
GROUND COVER					
5	JUN	Juniperus horizontalis 'Wiltonii' / Creeping Juniper cultivar	#3	Cont.	Full, Matched, 60" O.C. Spacing

PLANT LIST NOTE

- 1. QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR CONVENIENCE ONLY. QUANTITIES IN THE PLAN TAKE PRECEDENCE.

PLANTING NOTES

- 1. LIMIT OF WORK FOR PLANTING, INCLUDING LAWN INSTALLATION, SHALL BE THE EXTENTS OF PROPOSED GRADING SHOWN ON THE CIVIL DRAWINGS AND THE FRONTAGE ALONG BRANCH ROAD SHOWN IN PLAN.
- 2. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL WORK AS SHOWN ON THE LANDSCAPE DRAWINGS.
- 3. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING PLANTS, TURF AND STRUCTURES. ANY DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITIONS. ALL AREAS DISTURBED BY PLANTING OR GRADING OPERATIONS SHALL BE FINE GRADED AND SEEDED OR SOILED. ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE CLEANED UP, REMOVED FROM THE PROJECT AND DISPOSED AT AN APPROPRIATE FACILITY.
- 4. ALL PLANTS SHALL CONFORM TO THE INFORMATION PROVIDED IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION. ANY PLANT MATERIAL EXHIBITING A SPINDLY OR LOP-SIDED HABIT OR ANY OTHER FEATURE THAT DETRACTS FROM ITS HEALTH OR APPEARANCE WILL BE REJECTED.
- 5. LOCATE PLANTS AS SHOWN ON DRAWINGS. FOR AREAS REPRESENTED WITH A HATCH, SPACE PLANTS EVENLY PER PLANT LIST, PLANTING DETAILS AND FOR BEST APPEARANCE.
- 6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE LANDSCAPED AREA PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONDITIONS ARISE THAT NECESSITATE RELOCATING THE PLANT MATERIAL, THE LANDSCAPE ARCHITECT IS TO BE CONSULTED PRIOR TO DOING SO.
- 7. OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT BEFORE MAKING ANY PLANT SUBSTITUTIONS OR QUANTITY CHANGES.
- 8. ALL LAWN AREAS SHALL BE SEEDED IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
- 9. ALL PLANT BEDS SHALL HAVE A GRANULAR PRE-EMERGENT WEED CONTROL APPLIED PER MANUFACTURER'S RECOMMENDATIONS PRIOR TO MULCHING.
- 10. ALL PLANT BEDS SHALL BE CONTAINED WITH A 3" DEEP SPADED EDGE UNLESS OTHERWISE NOTED ON DRAWINGS.
- 11. ALL PLANT BEDS AND PLANTING AREAS TO BE MULCHED TO A DEPTH OF 3" UNLESS OTHERWISE NOTED ON DRAWINGS.
- 12. SEE L201 FOR TYPICAL PLANTING DETAILS.

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MEDINA OH, 44256

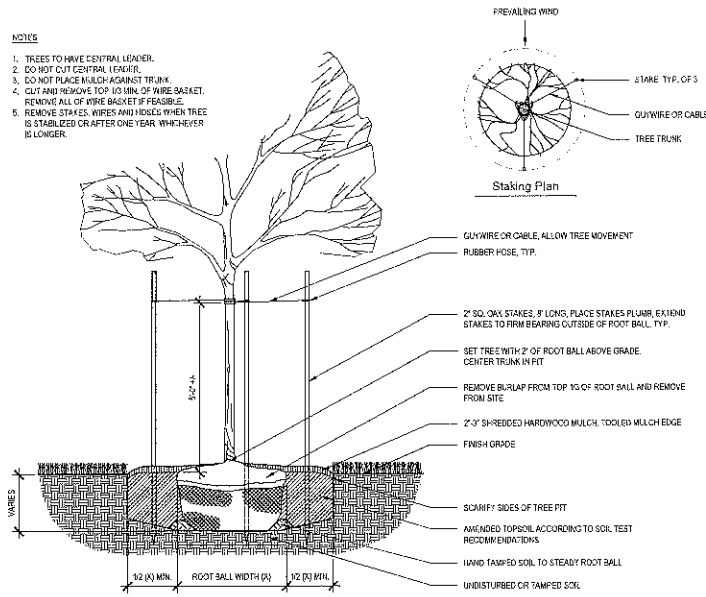
No.	Revision / Issue	Date

Job No.: 2140
Date: September 20, 2021
Scale: As Shown

LANDSCAPE PLAN
L101

NOTES

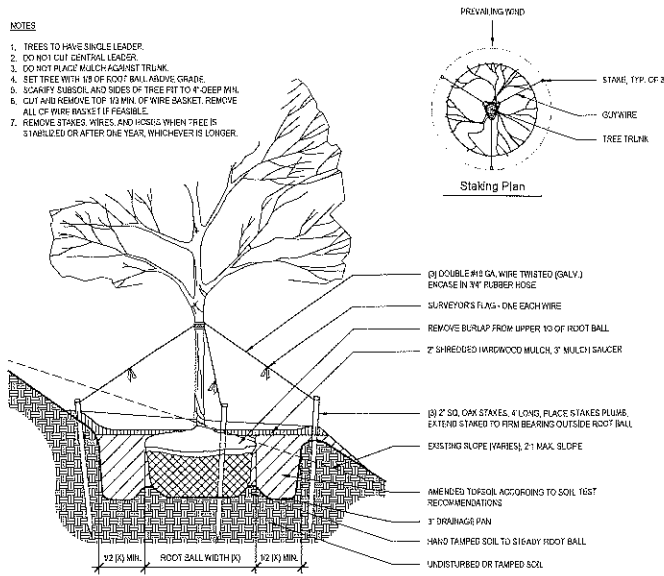
1. TREES TO HAVE CENTRAL LEADER.
2. DO NOT CUT CENTRAL LEADER.
3. DO NOT PLACE MULCH AGAINST TRUNK.
4. CUT AND REMOVE TOP 1/3 MIN. OF WIRE BASKET.
5. REMOVE STAKES, WIRES AND HOSES WHEN TREE IS STABILIZED OR AFTER ONE YEAR, WHICHEVER IS LONGER.



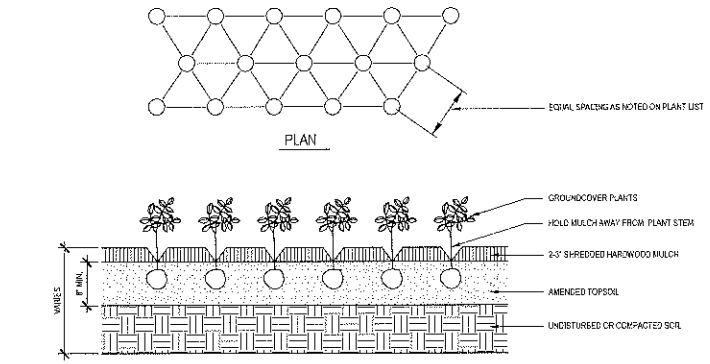
1 TYPICAL DECIDUOUS TREE PLANTING, STAKED
1/2"=1'-0"

NOTES

1. TREES TO HAVE SINGLE LEADER.
2. DO NOT CUT CENTRAL LEADER.
3. DO NOT PLACE MULCH AGAINST TRUNK.
4. SET TREE WITH 1/3 OF ROOT BALL ABOVE GRADE.
5. SCARIFY SUBSOIL AND SIDES OF TREE FIT TO 4" DEEP MIN.
6. CUT AND REMOVE TOP 1/3 MIN. OF WIRE BASKET. REMOVE ALL OF WIRE BASKET IF FEASIBLE.
7. REMOVE STAKES, WIRES AND HOSES WHEN TREE IS STABILIZED OR AFTER ONE YEAR, WHICHEVER IS LONGER.



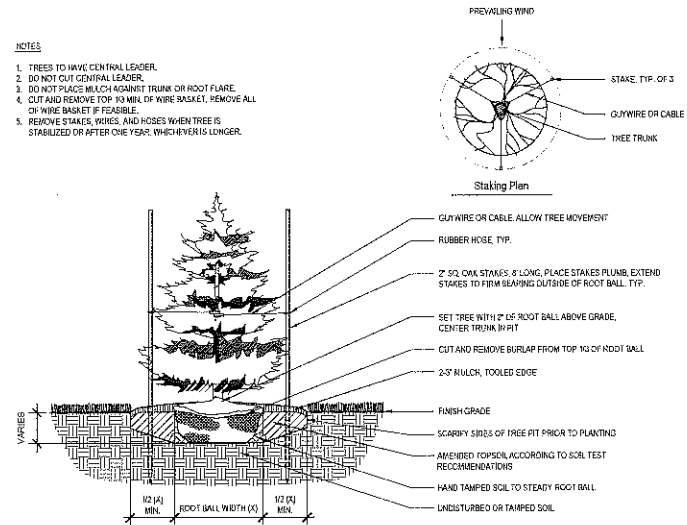
2 TYPICAL DECIDUOUS TREE PLANTING ON SLOPE, STAKED
1/2"=1'-0"



7 TYPICAL GROUNDCOVER PLANTING
NTS

NOTES

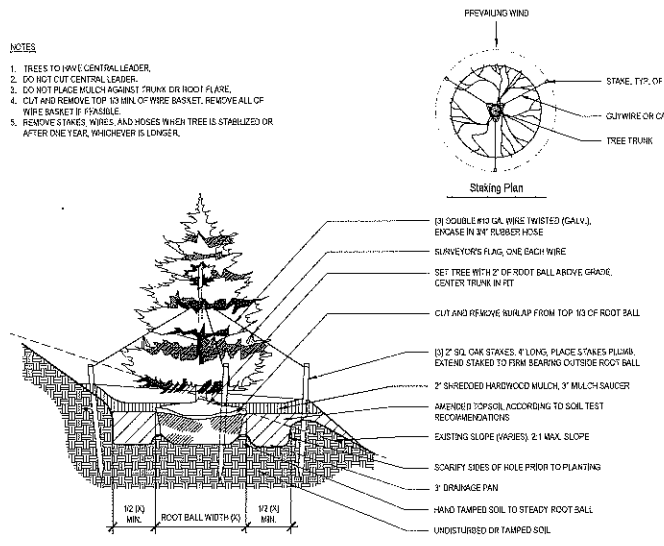
1. TREES TO HAVE CENTRAL LEADER.
2. DO NOT CUT CENTRAL LEADER.
3. DO NOT PLACE MULCH AGAINST TRUNK OR ROOT FLARE.
4. CUT AND REMOVE TOP 1/3 MIN. OF WIRE BASKET. REMOVE ALL OF WIRE BASKET IF FEASIBLE.
5. REMOVE STAKES, WIRES AND HOSES WHEN TREE IS STABILIZED OR AFTER ONE YEAR, WHICHEVER IS LONGER.



3 TYPICAL EVERGREEN TREE PLANTING, STAKED
1/2"=1'-0"

NOTES

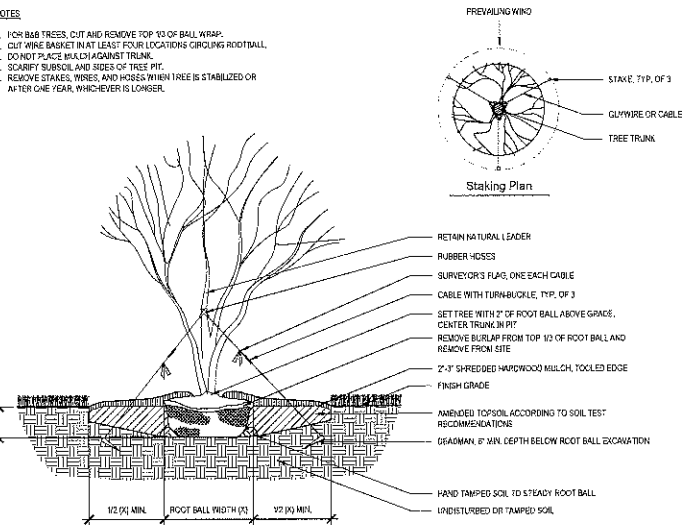
1. TREES TO HAVE CENTRAL LEADER.
2. DO NOT CUT CENTRAL LEADER.
3. DO NOT PLACE MULCH AGAINST TRUNK OR ROOT FLARE.
4. CUT AND REMOVE TOP 1/3 MIN. OF WIRE BASKET. REMOVE ALL OF WIRE BASKET IF FEASIBLE.
5. REMOVE STAKES, WIRES AND HOSES WHEN TREE IS STABILIZED OR AFTER ONE YEAR, WHICHEVER IS LONGER.



4 TYPICAL EVERGREEN TREE PLANTING ON SLOPE, STAKED
1/2"=1'-0"

NOTES

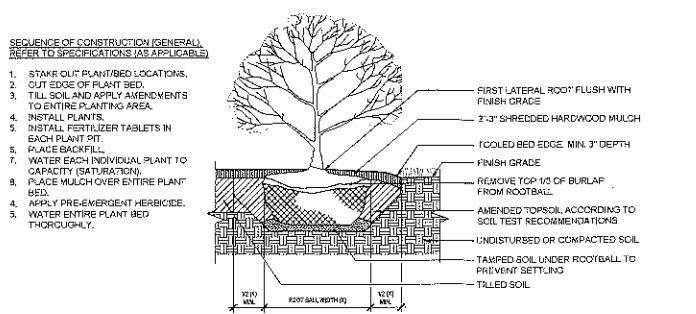
1. FOR B&B TREES, CUT AND REMOVE TOP 1/3 OF BALL WRAP.
2. CUT WIRE BASKET IN AT LEAST FOUR LOCATIONS CIRCLING ROOTBALL.
3. DO NOT PLACE MULCH AGAINST TRUNK.
4. SCARIFY SUBSOIL AND SIDES OF TREE FIT.
5. REMOVE STAKES, WIRES AND HOSES WHEN TREE IS STABILIZED OR AFTER ONE YEAR, WHICHEVER IS LONGER.



5 TYPICAL MULTI-STEMMED TREE PLANTING, STAKED
1/2"=1'-0"

**SEQUENCE OF CONSTRUCTION (GENERAL)
REFER TO SPECIFICATIONS AS APPLICABLE**

1. STAKE OUT PLANTING LOCATIONS.
2. CUT EDGE OF PLANT BED.
3. TILL SOIL AND APPLY AMENDMENTS TO ENTIRE PLANTING AREA.
4. INSTALL PLANTS.
5. INSTALL FERTILIZER TABLETS IN EACH PLANT PIT.
6. PLACE BACKFILL.
7. WATER EACH INDIVIDUAL PLANT TO CAPACITY (SATURATION).
8. PLACE MULCH OVER ENTIRE PLANT BED.
9. APPLY PRE-EMERGENT HERBICIDE.
10. WATER ENTIRE PLANT BED THOROUGHLY.



6 TYPICAL SHRUB PLANTING
3/4"=1'-0"

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10700 C/O WOODSTER, CHAMPEL (216) 251-1224

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Project Name and Address

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FOR
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MEDINA OH, 44256

No. Revision / Issue Date

No.	Revision / Issue	Date

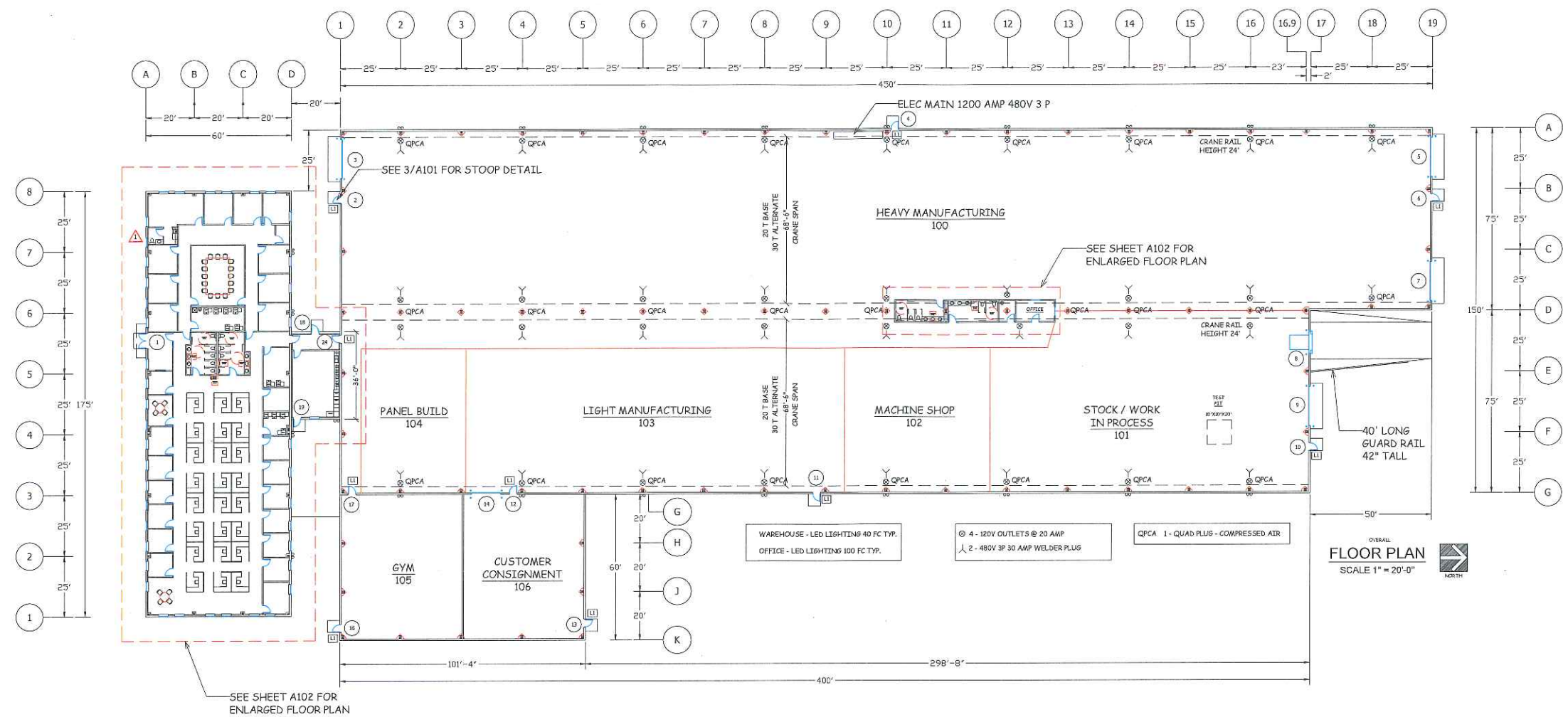
Job No.: 2140
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PLANTING
DETAILS
L201

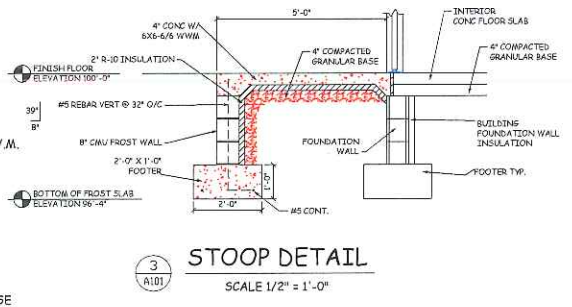
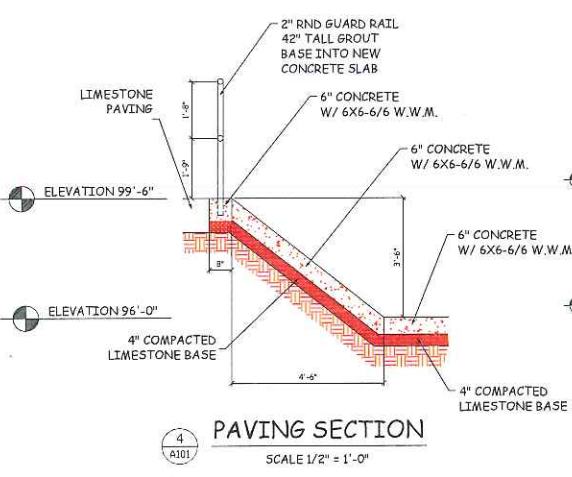
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OVERALL
FLOOR PLAN
SCALE 1" = 20'-0"

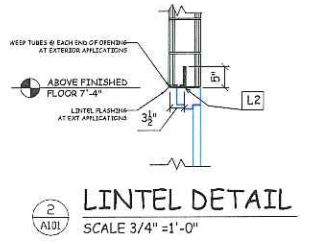
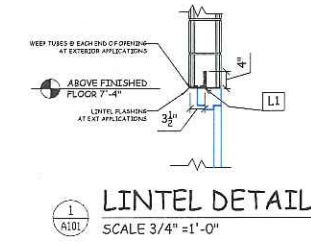


- NOTES:**
- #1 REST ROOM WALLS WITH IN 24" OF URINALS OR WATER CLOSETS TO HAVE SMOOTH, HARD, NONABSORBENT SURFACE FINISH 48" A.F.F. PROVIDE EPOXY PAINTED WALLS. PER DGC SECTION 1210.2.2.
 - #2 INTERIOR WALL AND CEILING FINISHED TO BE IN ACCORDANCE WITH ASTM E 84 AND TO HAVE CLASS C FLAME SPREAD IN 200. SMOKE DEVELOPMENT 0-45. FOR OSC TABLE 803.11 FOR FUSE GROUP WITH SMOKELESS FOR VERTICAL EXITS AND EXIT PASSAGEWAYS.
 - #3 INTERIOR FLOOR FINISHES TO BE IN ACCORDANCE WITH NFPA 253 - CLASS II PER OSC SECTION 804.
 - #4 INTERIOR TRIM MATERIALS SHALL HAVE A MINIMUM CLASS C FLAME SPREAD AND SMOKE DEVELOPED INDEXES. COMBUSTIBLE TRIM SHALL NOT EXCEED 10 PERCENT OF AGGREGATE WALL OR CEILING AREA PER OSC 806.3.

NO.	ROOM NAME	ROOM FINISH SCHEDULE												REMARKS		
		FLOOR	BASE	WALLS	CEILING	CL.G. HGT.	WALLS	CEILING	CL.G. HGT.	WALLS	CEILING	CL.G. HGT.				
100	HEAVY MFG															
101	STOCK/WORK															
102	MACHINE SHOP															
103	LIGHT MFG															
104	PANEL BUILD															
105	GYM															
106	CONSIGNMENT															
107	OFFICE															
108	UTILITY															
109	MENS REST ROOM															SEE NOTE #1
110	WOMENS REST ROOM															SEE NOTE #1

LINTEL SCHEDULE			
MARK	DESCRIPTION	DETAIL	BEARING
L1	2 - 4x3 1/2x5/16 ANGLES	1/A101	6"
L2	2 - 5x3 1/2x5/16 ANGLES	2/A101	6"

PROVIDE FULL HEIGHT, SOLID BEARING AT THE BEARING ENDS OF ALL STEEL BEAMS AND LINTELS



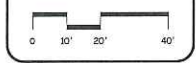
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CLEVELAND, OH 44113
O: 216-767-5400

Project Name and Address
PROPOSED FACILITY FOR EXPERT CRANE
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MEDINA OH, 44256

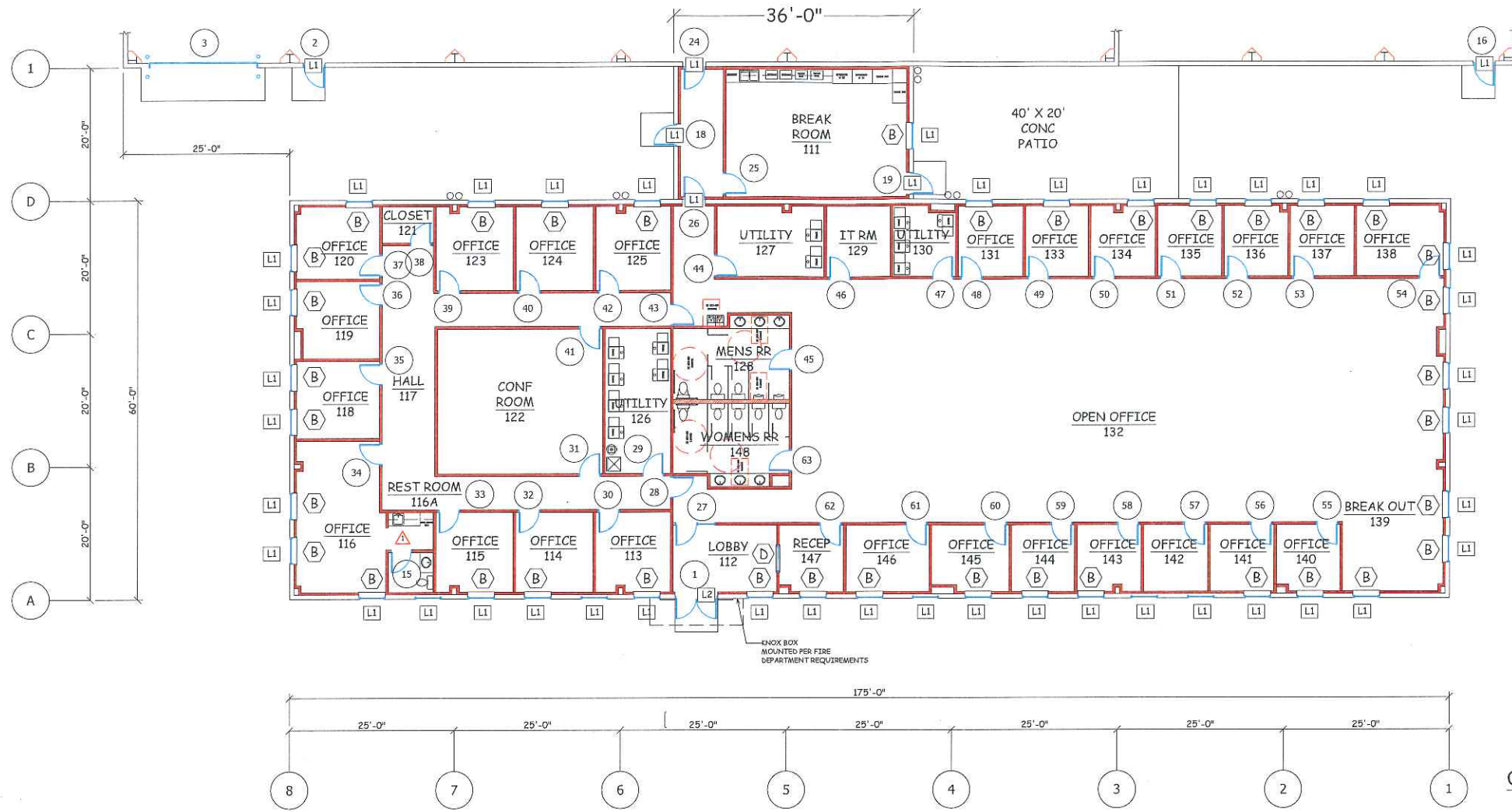
No.	Revision / Issue	Date

Private Rest Room 09.21.2021

Job No.: 2140
Date: September 20, 2021
Scale: 1" = 20'-0"



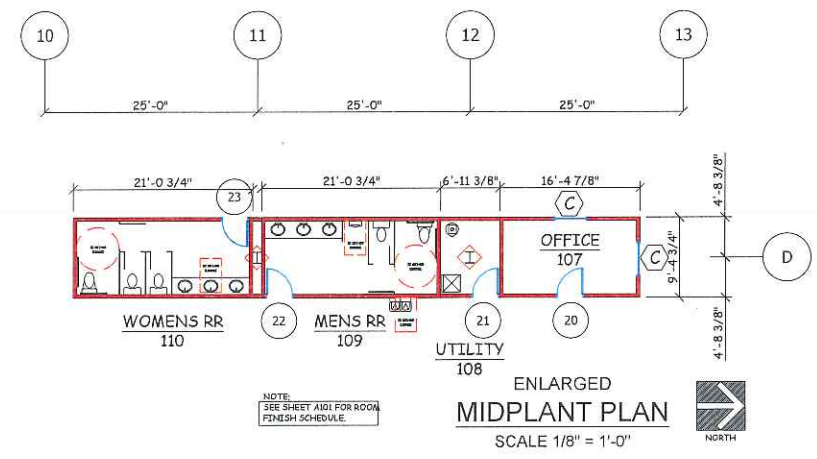
OVERALL FLOOR PLAN / DETAILS
A101



ENLARGED OFFICE PLAN
SCALE 1/8" = 1'-0"

- NOTES:**
- #1 REST ROOM WALLS WITHIN 24" OF URINALS OR WATER CLOSETS TO HAVE SMOOTH, HARD, NONABSORBENT SURFACE FINISH 48" A.F.F. PROVIDE EPOXY PAINTED WALLS. PER OBC SECTION 1210.2.2.
 - #2 INTERIOR WALL AND CEILING FINISHED TO BE IN ACCORDANCE WITH ASTM E 84 AND TO HAVE CLASS C FLAME SPREAD 75-200, SMOKE DEVELOPMENT 0-450. PER OBC TABLE 803.1.1 FOR F-USE GROUP WITH SPRINKLES FOR VERTICAL EXITS AND EXIT PASSAGEWAYS.
 - #3 INTERIOR FLOOR FINISHES TO BE IN ACCORDANCE WITH NFPA 253 - CLASS II PER OBC SECTION 804.
 - #4 INTERIOR TRIM MATERIALS SHALL HAVE A MINIMUM CLASS C FLAME SPREAD AND SMOKE DEVELOPMENT INDEXES. COMBUSTIBLE TRIM SHALL NOT EXCEED 10 PERCENT OF AGGREGATE WALL OR CEILING AREA PER OBC 805.3.
 - #5 FLOORING TO BE BELOW STATIC VCT
 - #6 PROVIDE TEMPERATURE AND HUMIDITY CONTROL SYSTEMS
 - #7 SEE DETAIL S/A-4 FOR CEILING CONSTRUCTION
 - #8 WET WALL CERAMIC WALL TILE 6'-8" ABOVE FINISH FLOOR

NO.	ROOM NAME	ROOM FINISH SCHEDULE											REMARKS				
		FLOOR	BASE	WALLS	CEILING	CLP. HGT.	DOOR	WALL	CEILING	CLP. HGT.	WALL	CEILING					
111	REAR CORridor																
112	LOBBY																
113	OFFICE																
114	OFFICE																
115	OFFICE																
116	OFFICE																
116A	RESTROOM																SEE NOTE #1, #8
117	OFFICE																
118	OFFICE																
119	OFFICE																
120	OFFICE																
121	CLOSET																
122	CONFERENCE ROOM																
123	OFFICE																
124	OFFICE																
125	OFFICE																
126	UTILITY																
127	UTILITY																
128	MEN'S RESTROOM																SEE NOTE #1, #8
129	IT ROOM																SEE NOTE #5, #6, #7
130	UTILITY																SEE NOTE #7
131	OFFICE																
132	OPEN OFFICE																
133	OFFICE																
134	OFFICE																
135	OFFICE																
136	OFFICE																
137	OFFICE																
138	OFFICE																
139	BREAK OUT																
140	OFFICE																
141	OFFICE																
142	OFFICE																
143	OFFICE																
144	OFFICE																
145	OFFICE																
146	OFFICE																
147	RECEPTION																
148	OFFICE																
149	RECEPTION																
148	WOMEN'S RESTROOM																SEE NOTE #1, #8



ENLARGED MIDPLANT PLAN
SCALE 1/8" = 1'-0"

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Project Name and Address
PROPOSED FACILITY FOR EXPERT CRANE
5990 BRANCH RD.
MEDINA, OH, 44256

No.	Revision / Issue	Date

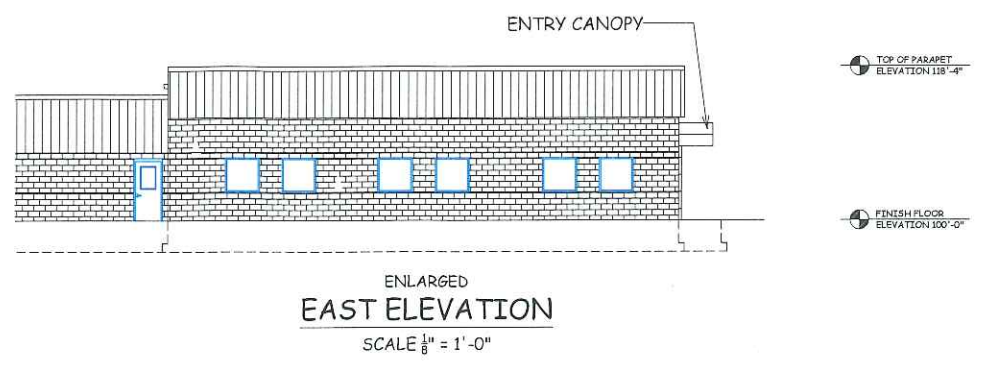
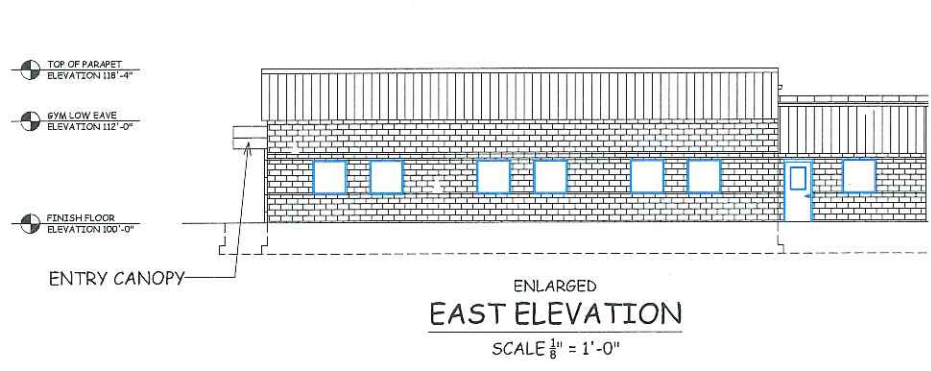
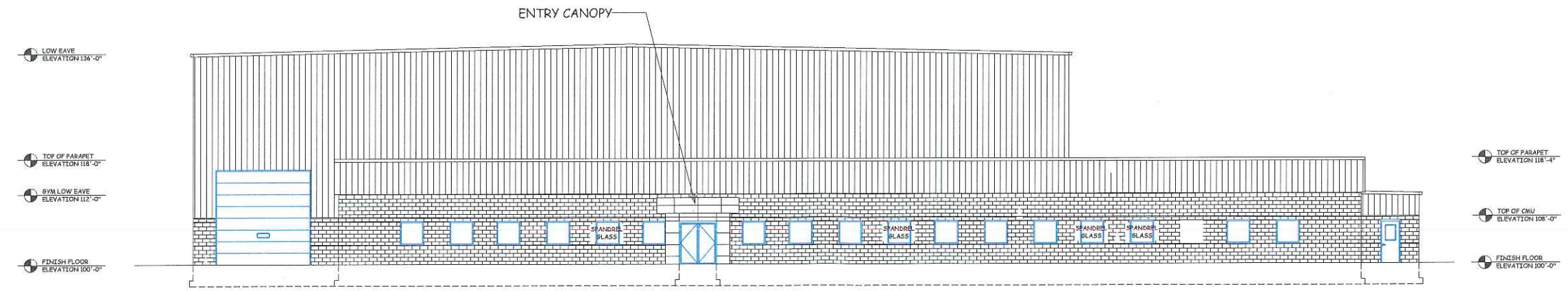
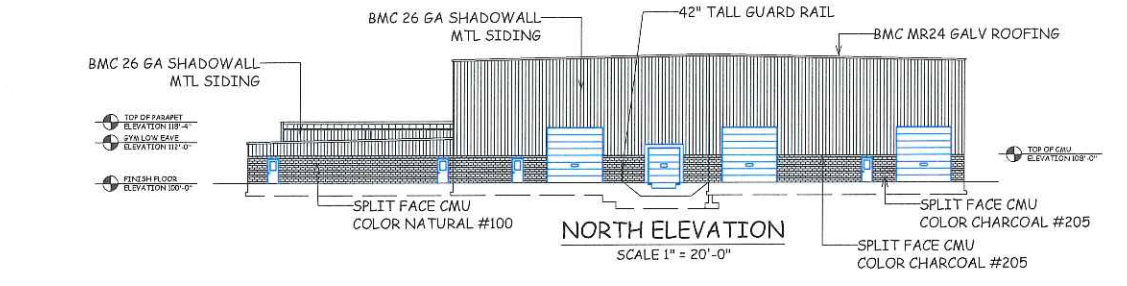
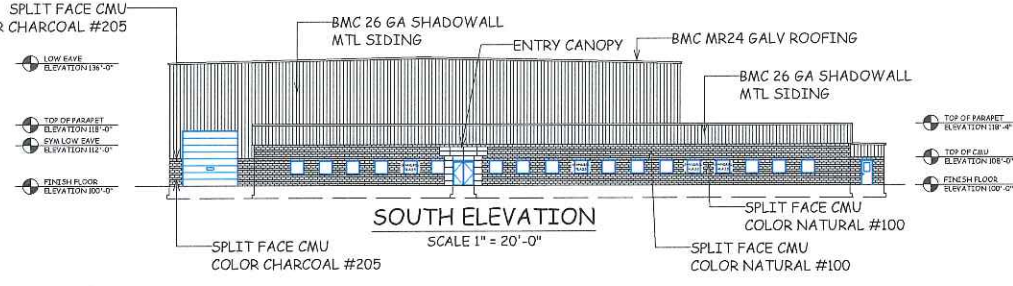
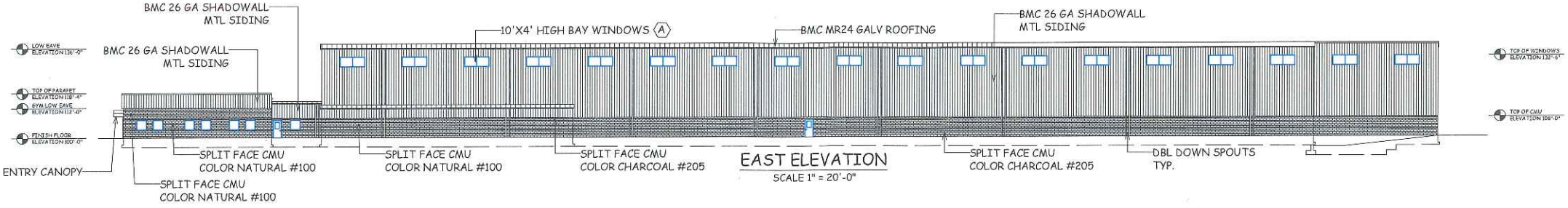
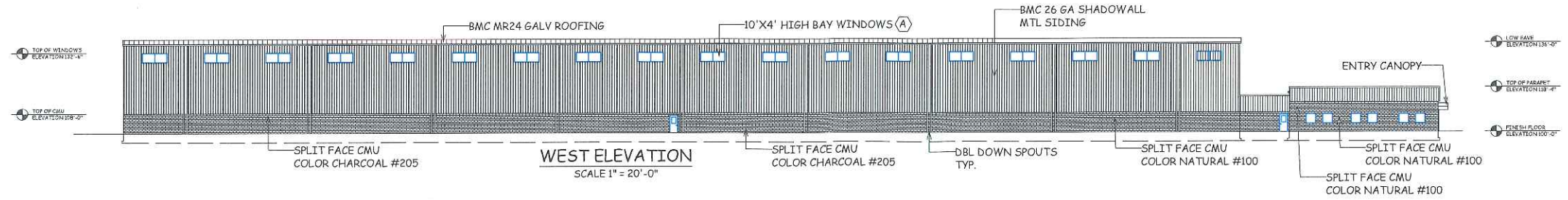
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Date: September 20, 2021
Scale: 1/8" = 1'-0"

ENLARGED FLOOR PLANS
A102

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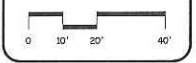


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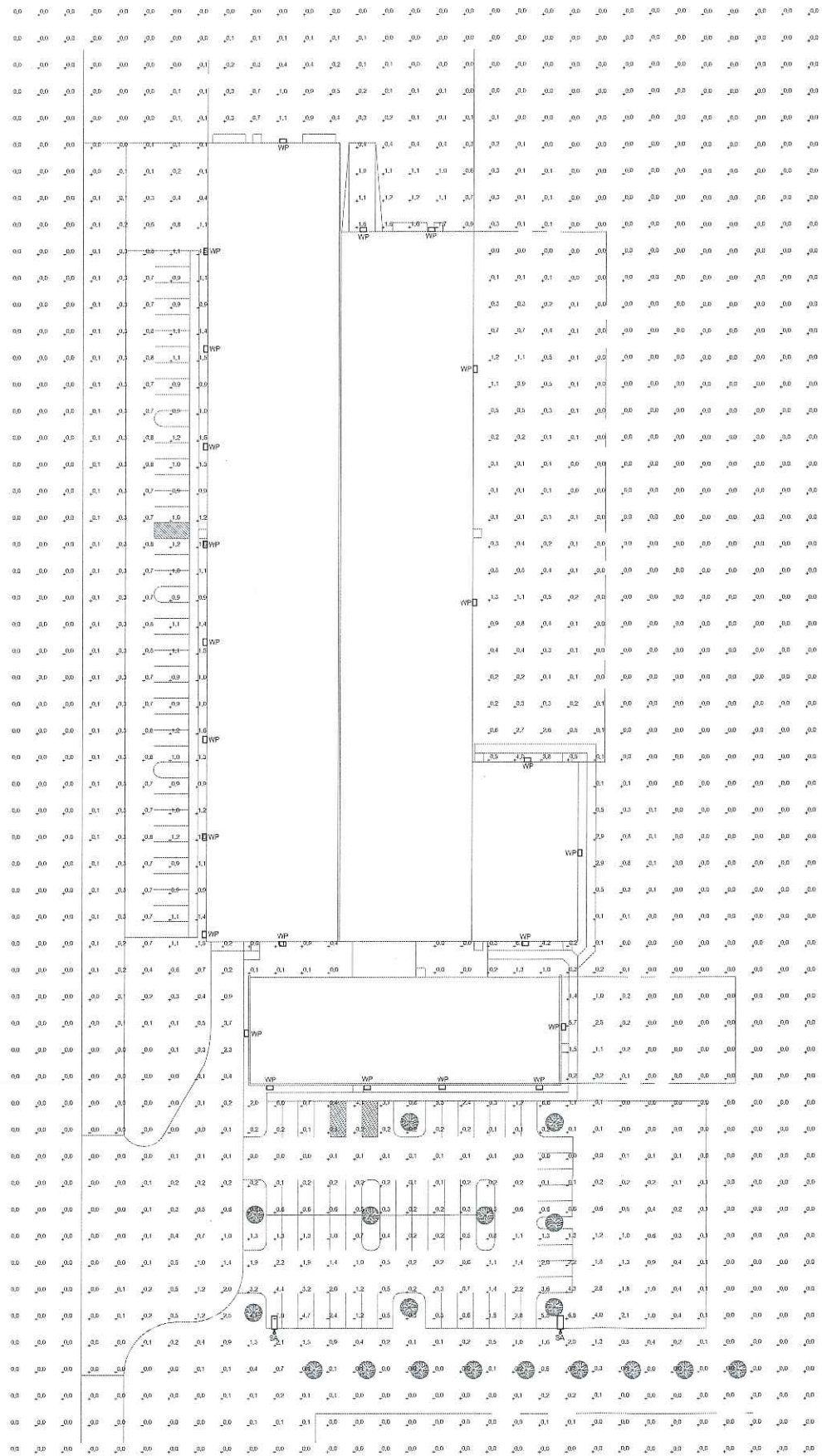
Project Name and Address
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 MEDINA OH, 44256

No.	Revision / Issue	Date

Job No.: 2140
 Date: September 20, 2021
 Scale: 1" = 20'-0"



OVERALL FLOOR PLAN / DETAILS
A201



A EXTERIOR PHOTOMETRICS
SCALE 1/16" = 1'-0"

LIGHT FIXTURE SCHEDULE						
TYPE	SOURCE	WATTAGE	DESCRIPTION	MANUFACTURER	CATALOG #	VOLTAGE
SA	LED	147W	PARKING AREA FIXTURE 22K LUMENS, 5200K, SQUARE POLE MOUNTING, PROVIDED WITH INTEGRAL PHOTOCELL AND EXTERNAL GLASS SHIELD. INSTALL ON 55' POLE	LITHONIA	REX2 LED-P3-SK-R4-MVOLT-XXX-PE-EGS-CDBXD	277V
WP	LED	23W	FULL CUT OFF WALL PACK, 3000 LUMENS, 5000K, BRONZE FINISH PROVIDED WITH INTEGRAL PHOTOCELL	LITHONIA	WJG2 LED-P3-SK-60CR-IW-MVOLT-SRM-PE-CDBXD	277V

NOTES:
 1. PROVIDE ALL REQUIRED ACCESSORIES AND MOUNTING HARDWARE FOR A COMPLETE INSTALLATION.
 2. ALL FIXTURES SHALL BE SECURED PER OBC, STATE, AND LOCAL SEISMIC REQUIREMENTS.
 3. VERIFY ALL FINISHES AND FIXTURE COLORS WITH ARCHITECT.
 4. NO SUBSTITUTIONS UNLESS APPROVED BY OWNER, ARCHITECT, AND ENGINEER.

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No.	Revision/Issue	Date

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Project Name and Address
**PROPOSED FACILITY
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Proj. Title
 EXTERIOR PHOTOMETRICS

Job # 3140 27 21 Sheet
 Date 9/2/2021
 Scale AS NOTED **EL100**

WDGE2 LED Architectural Wall Sconce Visual Comfort Optic

Depth (D1) 7"

Depth (D2) 1.5"

Height 10"

Width 11.5"

Weight (without option) 13.5 lbs

WDGE LED Family Overview

Luminaire	Series	Standard (D1, H)	Mount	Depth (D1)	Depth (D2)	Height	Width	Weight
WDGE2 LED	Visual Comfort	10W	10W	Standard / 7"	Standard / 1.5"	Standard / 10"	Standard / 11.5"	Standard / 13.5
WDGE2 LED	Visual Comfort	10W	10W	Standard / 7"	Standard / 1.5"	Standard / 10"	Standard / 11.5"	Standard / 13.5
WDGE2 LED	Visual Comfort	10W	10W	Standard / 7"	Standard / 1.5"	Standard / 10"	Standard / 11.5"	Standard / 13.5

Ordering Information EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DBXDK

Series	Package	Color Temperature	CR	Stock Status	Notes	Shipping Weight
WDGE2 LED	P3	2700K	90	In Stock	Standard Voltage (120V/240V)	13.5 lbs
WDGE2 LED	P3	3000K	90	In Stock	Standard Voltage (120V/240V)	13.5 lbs

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Accessories

Power Package: P1, P2, P3, P4, P5
 Mounting Hardware: MH1, MH2, MH3, MH4, MH5
 Lens: L1, L2, L3, L4, L5, L6, L7, L8, L9, L10
 Diffuser: D1, D2, D3, D4, D5, D6, D7, D8, D9, D10

Performance Data

Lumen Output Data Table with columns for Luminaire, Package, Color Temp, CR, etc.

Electrical Load

Lumen Output in Emergency Mode (4000K, 80 CRI)

Lumen Ambient Temperature (LAT) Multipliers

Projected LED Lumen Maintenance

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Photometric Diagrams

Emergency Egress Options

Emergency Battery Backup

Dual Switching (DS) Option

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RSX2 LED Area Luminaire

Depth (D1) 29.3" (74.4 cm) (depth measured)
 Length 13.4" (34.0 cm)
 Height 3.0" (7.6 cm) Main Body
 7.2" (18.3 cm) Arm
 Weight (EPA mount) 30.0 lbs (13.6 kg)

Ordering Information EXAMPLE: RSX2 LED P6 40K R3 MVOLT SPA DBXDK

Series	Package	Color Temperature	CR	Stock Status	Notes	Shipping Weight
RSX2 LED	P6	2700K	90	In Stock	Standard Voltage (120V/240V)	30.0 lbs
RSX2 LED	P6	3000K	90	In Stock	Standard Voltage (120V/240V)	30.0 lbs

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Ordering Information

Accessories
 Round Tension Mount - Pole Top Splitters
 Drift/Side Location by Configuration Type
 RSX Pole Mount - Pole Top
 RSX Standard Arm & Adjustable Arm

External Shields
 House Side Shield
 External Glass Shield
 External 360 Full View

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Projected LED Lumen Maintenance

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Photometric Diagrams

Performance Data

Lumen Output

Package	Color Temp	CR	100'	150'	200'	250'	300'	350'	400'
P6	2700K	90	11,000	8,000	5,500	4,000	3,000	2,200	1,600
P6	3000K	90	11,000	8,000	5,500	4,000	3,000	2,200	1,600

Electrical Load

Projected LED Lumen Maintenance

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Performance Data

Lumen Output

Package	Color Temp	CR	100'	150'	200'	250'	300'	350'	400'
P1	2700K	90	11,000	8,000	5,500	4,000	3,000	2,200	1,600
P1	3000K	90	11,000	8,000	5,500	4,000	3,000	2,200	1,600

Electrical Load

Projected LED Lumen Maintenance

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KADEN DOUGLASS PROFESSIONAL ENGINEER

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Rep. No. **FIXTURE OUT SHEETS**

Job # **3140 27 21**
 Date **9/2/2021**
 Issued **EL101**
 None